



PLANNING COMMISSION MEETING AGENDA
TUESDAY SEPTEMBER 16, 2025

7:30 PM REGULAR MEETING

1. Call to Order
2. Roll Call
3. Approval of Minutes:
 - a. July 15, 2025, Planning Commission Meeting Minutes.
 - b. September 2, 2025, City Council Meeting Minutes (For Information Only).
4. **PUBLIC HEARING:** AT&T (Applicant) requests that the City consider the following action for the property located at 3310 County Line Road, Independence, MN (PID No. 07-118-24-33-0004):
 - a. A conditional use permit amendment to allow the upgrade and replacement of cellular antennas on the existing wireless tower and ground equipment located on the subject property.
5. **PUBLIC HEARING:** Greg A Jurvakainen (Applicants) and Carter Berkleman (Owner) request that the City consider the following action for the properties located at 6785 Highway 12, Independence, MN (PID No. 22-118-24-42-0001) and the property to the south that does not have an address but is identified by the following PID Number (PID No. 22-118-24-31-0002):
 - a. A minor subdivision to allow a lot line rearrangement between the two subject properties. The minor subdivision would add approximately 50' to the south side of the 6785 Highway 12 property.
6. **PUBLIC HEARING:** Scott Kirchner (Applicant) and Leroy Kowalke Et Al (Owner) requests that the City consider the following action for the Property located at 6551 County Road 6, Independence, MN (PID No. 34-118-24-12-0001):
 - a. A minor subdivision to allow a rural view lot subdivision. The proposed rural view lot would be 16.9 acres and located on the south side of County Road 6 along the east property line.
 - b. A variance to allow a rural view lot to exceed the maximum size of 10 acres.
7. Open/Misc.
8. Adjourn.



PLANNING COMMISSION MEETING AGENDA
TUESDAY, JULY 15, 2025

7:30 PM REGULAR MEETING

1. **Call to Order**

Pursuant to due call and notice thereof, a work session of the Independence Planning Commission was called to order by Chair Thompson at 7:30 p.m.

2. **Roll Call**

PRESENT: Gardner, Tearse, Volkenant, Dumas, Alternate Usset
ABSENT: Thompson and Story
STAFF: City Administrator Kaltsas, Administrative Services Director Simon
VISITORS: See Sign in

3. **Approval of Minutes:**

- a. June 24, 2025, Planning Commission Meeting Minutes.
- b. June 24, 2025, City Council Meeting Minutes (For Information Only).

Motion by Dumas, seconded by Usset to approve the minutes. Ayes: Gardner, Dumas, Tearse, Volkenant and Usset. Nays: None. Absent: Thompson & Story. Abstain: None. Motion Approved. 5-0

4. **PUBLIC HEARING:** Sean Keating (Applicant/Owner) requests that the City consider the following action for the Properties located at 1875 Highsted Dr., Independence, MN (PID No.s 20-118-24-42-0002 and 20-118-24-42-0001):

- a. A minor subdivision to allow a lot line rearrangement to realign the existing property line that separates the two properties. The proposed lot line rearrangement would shift the boundary away from the existing house and to the east which would bring the existing house into conformance with applicable building setbacks.

City Administrator Mark Kaltsas presented the request, explaining that Sean Keating owns both subject properties at 1875 Highstead Drive. He noted there was "a unique situation where there's 2 properties and there's a home which was constructed, and the property line dividing those 2

properties actually runs through a little piece of the home." Kaltsas stated he was "not sure the history of how that actually occurred or when or where that occurred," but noted both properties would be considered legal nonconforming in their current condition.

Kaltsas detailed that Highstead Drive comes off Pioneer Creek Drive just west of County Road 92. The property at 1875 Highstead has the existing home and is zoned agriculture, guided by the city's comprehensive plan as agriculture. In the before condition, it's about 29 acres. The second property with an unassigned address is directly adjacent and also zoned agriculture, comprising 10.42 acres in the before condition.

The applicant proposed to relocate the lot lines to "create more of a proper lot that would then also allow frontage for the existing 1875 Highstead property." Kaltsas explained, "In the after condition, we'd really end up with still a 29 acre and a 10 acre parcel. We just have a different orientation of the 10 acre parcel. It'd be more of a north south orientation rather than an east west."

This rearrangement would bring both properties into full compliance with all setbacks and provide frontage on the Highstead cul-de-sac to both properties, "even though it's really creating kind of a quasi flag lot. It's a much better situation than what existed in the precondition."

Staff noted advantages to the lot line rearrangement, with the only requirement being that the applicant provide requisite drainage and utilities as required for any subdivision. The city had not received any written or oral comments prior to the meeting.

Chair Gardner questioned the 60-foot wide access that makes it a flag lot, asking if it was preferable to having an easement. Kaltsas confirmed, "Having a full access owning actually out to the right of way would, I think, is a better situation for the owners if it ever sells as 2 properties. It just gives you a much better control than having an easement would."

Gardner initially thought there was a gap between the two property lines but realized it was just the graphic representation. Kaltsas confirmed the properties are contiguous.

Chair Gardner opened the public hearing. No members of the public came forward to speak.

Motion by Timothy Usset, seconded by Commissioner Dumas, to close the public hearing. Motion carried unanimously.

Motion by Timothy Usset to recommend approval of the requested minor subdivision located at 1875 Highstead Drive, subject to staff recommendations 1 through 4. Motion seconded. Motion carried unanimously. 5-0

Kaltsas informed the applicant that this would go to City Council on August 5th.

5. **PUBLIC HEARING:** Scott Kirchner (Applicant) and Leroy Kowalke Et Al (Owner) requests that the City consider the following action for the Property located at 6551 County Road 6, Independence, MN (PID No. 34-118-24-12-0001):

- a. A minor subdivision to allow a rural view lot subdivision. The proposed rural view lot would be 10 acres and located on the south side of County Road 6 along the east property line.

Kaltsas presented the request, noting that Scott Kirchner is now the owner as the sale has closed. The property is located on both the north and south sides of County Road 6, just west of the intersection with County Road 90. The property is currently vacant with wetlands, wooded areas, and upland pasture. It's zoned agriculture and guided for long-term agriculture, "just on the west side of our north south dividing line between rural residential and long term agriculture."

The property is approximately 71 acres in the before condition. The applicant is asking to split off a 10-acre parcel on the south side of County Road 6. In the after condition, there would be a 10-acre parcel on the south side and a remainder parcel of approximately 61 acres including property on both the north and south sides as well as some property south of the Luce Line Trail.

Kaltsas explained the city's rural view lot provisions: "for every 40 acres of contiguous land owned, you have the ability to realize 1 rural view lot density." Rural view lots must be between 2.5 and 10 acres, have minimum frontage on a public road (300 lineal feet for 5-10 acre lots), maintain a lot depth ratio of no more than 1:4, and have at least 2.5 acres of upland. The proposed lot meets all requirements with 10 acres, 839 feet of frontage, approximately 1:1.5 depth ratio, and nearly 100% upland.

Kaltsas noted requirements including an on-site septic report (to be provided before council consideration), obtaining driveway access from Hennepin County, park dedication, and providing drainage and utility easements for both properties. He mentioned that Hennepin County's engineer "said that they don't foresee any issue granting an access off of County Road 6."

Regarding future eligibility, Kaltsas stated, "the applicant would not have any rural view lot eligibilities in the future." He also noted the split property issue: "You're still going to have a property that has a north side and a south side bisected by County Road 6."

Commissioner Dumas asked about the triangle south of the Luce Line Trail and access issues. Scott Kirchner, the applicant, came forward to explain: "The triangle you're referencing is right there south of the Luce Line, so it does not encompass this proposed 10 acre parcel." He clarified they plan to build their home on the north side of County Road 6 on what they call "the north 40," while the triangle would remain as "god's country or hunting land."

Kirchner confirmed they're maintaining trail access and view it "as an amenity to the area and something that the community can enjoy." He had received email confirmation from the county approving driveway access for a single-family residence and would have septic sites identified after the hay is cut the following week. A wetland delineation confirmed no wetlands on the proposed 10-acre parcel.

Commissioner Dumas asked about access to the northern property. Kirchner explained it would be "on the southwest corner of the northern 40, right pretty much straight across from Ingerson" where there's an existing field drive, and the county has approved driveway access.

Kirchner then raised a point of disagreement about rural view lot eligibility, arguing that with County Road 6 dividing the property, the situation is comparable to 80 contiguous acres. He stated, "if you look at 80 contiguous acres, it doesn't have a county road running through the middle of it. That 80 contiguous acres could have a primary home and 2 rural view lots... But in this case, having County Road 6 running through the property... you would only end up with 2 roof lines potentially on the south side, and 1 on the north side being ours."

Chair Gardner asked if Kirchner would pursue two rural view lots if allowed, to which Kirchner replied, "Yeah. Absolutely." Discussion ensued about nominal 80s and 40s, with Gardner noting "none of these 80 acre parcels ever come up to be have 80 acres in them." He thought there would be wiggle room in the nominal status.

Kaltsas responded that someone could argue this is a nominal 80, noting it's unique with "multiple bites out of it from the roads." Including road right-of-ways, there's approximately 78 acres total. He mentioned they've done some nominal 40s previously but wasn't sure about 80s specifically.

The discussion continued about precedent and interpretation versus hardship. Timothy Usset stated, "I guess I would say that's not what we're considering. That's not on the written proposals."

Chair Gardner suggested, "you're always welcome to come back in and ask for another one in the future." After further debate about whether to include the restriction about future eligibility, Usset stated he would "make the motion to approve it as written, but I think we just need to keep the issue separate."

Chair Gardner opened the public hearing. No members of the public came forward to speak.

Motion by Leith Dumas, seconded, to close the public hearing. Motion carried unanimously.

Motion by Timothy Usset to recommend approval of the minor subdivision to allow a rural view lot located at 6551 County Road 6, subject to staff recommendations 1 and 2, inclusive of 2a through e. Motion seconded by Robert Gardner. Motion carried unanimously. 5-0

Kaltsas noted this would go to City Council on August 5th, clarifying that the meeting time is 5 o'clock due to the Night to Unite celebration.

6. Open/Misc.

There was brief discussion about the changed meeting time for the August 5th City Council meeting, but no other business was brought forward.

7. Adjourn.

**Motion by Tearse, seconded by Usset to adjourn the meeting at 8:28pm. Motion
Approved. 5-0**

Respectfully Submitted,

Amber Simon/Recording Secretary



CITY COUNCIL MEETING MINUTES
TUESDAY JULY 15, 2025

CITY COUNCIL MEETING TIME: 6:30 PM

1. Call to Order

Mayor Brad Spencer called the meeting to order on Tuesday, September 02, 2025, at 6:30 PM

2. Pledge of Allegiance

Mayor Spencer led the Pledge of Allegiance.

3. ROLL CALL

PRESENT: Spencer, McCoy, Betts, Fisher, Grotting

ABSENT: None

STAFF: City Administrator Kaltsas, Administrative Services Director Simon,
Public Works Supervisor Ben Lehman, WHPS Chief DuRose

VISITORS: See Sign in Sheet

4. ****Consent Agenda****

Mayor Spencer stated that the consent agenda items would be considered routine and acted on by one motion unless someone would like to remove an item for discussion. The consent agenda

a. Approval of City Council Minutes from the July 30, 2025, City Council Workshop.

b. Approval of City Council Minutes from the August 19, 2025, Regular City Council Meeting and Public hearing on Lake Independence.

c. Approval of Accounts Payable; (Batch #1 - Checks No. 23884-23904).

d. Large Assembly Permit: 2026 Copeland Road – Private Wedding – September 13, 2025.

5. Reports of Boards and Committees by Council and Staff.

6. Lake Minnetonka Communications Commission – 2026 Approved Budget. The 2026 Budget is presented for information only.

Mayor Spencer (Administration)

entertain a motion for approval of the consent agenda? So Move to approve. Alright. Well, we'll move by McCoy, seconded by Betts. All in favor signify by saying aye. Aye.

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Mayor Spencer (Administration)

Now let's do boards and committee meetings, reports of meetings. Brad?

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Mayor Spence r(Administration)

I just have the joint meeting with Maple Plain. I was unable to watch the golf ball tournament, unfortunately. Oh. Yeah. You missed that. I real nailed it. I yeah. I'm not tell you how it ended. I saw the big Well, if you left at the end of the fifth inning, the firefighters would have won at 20 to 10, but they didn't. What was the ump bias? The ump was an ex chief, and the West African public safety triumphed 22 to 20 in a big comeback. Wow. Yeah. So, it was very exciting. Was there a good was enjoyed by all. Did the police have a good picture?

You know, he was pretty good, but you know what he really did is he flipped the last out to first base. That was a big play right there for the for the big w. You know? The police pitcher was given some feedback by his teammates for next year. Oh, okay. Well, it's good to know. I would say that Encouragement. Right? Yeah. The police pitcher was probably at a little bit less wild loft than the fire pitcher. I would say that. He had a little altitude problem sometimes. Believe that was How about you, Lynn? Any meetings? I did the joint council meeting with Maple Plain. Alright.

Council member McCoy (Administration)

Joint council with Maple Plain and attended the West Suburban Fire family fun night up in Hamel. That was a good time. Nice. Yeah. That is a fun event. Alright.

Mayor Spencer (Administration)

Council member Grotting. Joint council meeting. Okay.

Uh, my meetings, I went to, uh, the memorial service for Larry Bartels, who passed away. He's a former council member and a longtime servant in Delmonel.

Mayor Spencer (Administration)

The joint council meeting on the fire district merger on the 20 first. I did, of course, attend the first responder softball game on the 20 fifth. And then I had the I had the honor to be a witness of the reading to the children by the chief-by-chief DuRose and chief Dennison, which was absolutely stunning. So, we had a good turnout, lots of kids. It was fun. I I I am amazed the turnout on that. It was great. It was very good. You guys did a fabulous job. Thank you. Thank you. We're representing. Is that the main plain library? Oh, it was, uh, like, a Friday or something at lunchtime or Thursday or something. Wednesday story time. Yeah. There're quite a few kids there. So, we've got pictures, so we can document them. Amber?

Mayor Spencer (Administration)

Any meetings? No. Mark?

Council member McCoy (Administration)

I had 2 meetings other than the ones that were mentioned. 1 with a lobbyist group that we're talking to for that Highway 12 project, and we're gonna meet with some groups on Thursday

after the coalition meeting to kind a talk through and see if there's something that we can do. So that was actually a really good meeting. And today, met with the kind a Maple Plain fire team and the and the attorney who's gonna help us do the transition docs and the new contract for Maple Plain Fire. So getting that ready. So just a couple of things with that. I think we're in good shape. Scott, the attorney on that? It is. It's Scott. Yep.

Mayor Spencer (Administration)

K.

Mayor Spencer (Administration)

Okay. Well, thank you, everybody. Anyone have anything they want to add to the agenda for tonight?

Mayor Spencer (Administration)

Alright. So, uh, Lake Minnetonka Communications or Cable Commission, uh, budget. Brad, you're the representative. You want to give us the bullet points on this thing? Yeah. I won't read you through all the numbers, but if you look at the chart that Jim prepared,

Council member Fisher (Administration)

we did 2 different columns for 26, and that was obviously if the sale went through on the existing building versus if it did not. At this point, we just had an update. I got an update from Jim today that the purchase agreement should now be finally accepted, and they have a nonrefundable earnest money attached to that as of the final acceptance date. So, it should go forward and close within 90 days. So it'll be close to the end of the year, obviously.

They are already preparing the Long Lake facility to move into it as far as some I know there were some demo and different things they had to do to get it set up. The primary difference here, and I don't know if you guys are aware, but Jim Lundberg will be retiring at the end of the year. And so that's biggest thing is Tyler will be taking over. So when you'll see the salary differences, when it says franchise salaries, if you look below it under peg, that's where the salary now falls. Okay. And peg, and that's where we Jim put them for this.

Otherwise, it's just basically showing you the 2 different costs and obviously getting out of the current facility, you're not gonna have things like utilities because they're all included with the rent, refuse and recycling, all that's covered within the existing rent. So that's why the 1 column on the far right is less in cost in some way, but now you have rent, which is 25000 dollars Right. A year based on the rent there, which is pretty reasonable. Yeah.

Yeah. So overall, it looks like the budget will be positive for next year without having to use additional funds. And then the revenue from the sale of the building, which they own, will be just put off to the side to cover different costs. And there will be about estimate of about a hundred and 20000 dollars to move between the 2 facilities. So that will come out of the proceeds from that sale. Okay. And Jim's still gonna retire even though the sale of the building occurred? Yeah. I had spoken to him 1 on 1 after the last meeting and he still wishes to think that's the best for the group that he should step away. Know? It's been a long time that he's been He's done yeah. The little bit of time that I've been exposed, you guys have been exposed much longer. I mean, what a professional. What a great gentleman and very organized and everything else. But if you notice franchise franchise fees, excuse me, keep dropping. Oh, like you said. And so that's the challenge with it is that it's and that's what Jim's point is, is that as it goes forward, we're gonna see less and less revenue unless something changes with being able to charge peg fees on

Internet, which you can't do. Correct. So, you know, what a lot of people don't understand is that the fees that we receive from Mediacom are based only on the cable subscribers, not the Internet access subscribers. So that people could continue to use Mediacom for their Internet sources and just drop off the cable, which is what's happening, cable cord cutting, and revenues just keep going. So yep. There's really not much they can do about it. You know, Mediacom, even when I disconnected the other day, they argued that they're really not in the cable business anymore. Right. Right. Um, it's a interesting challenge. It's sad to see Jim go. Okay.

Mayor Spencer (Administration)
Alright.

Mayor Spencer (Administration)
Alright. So you wanted a motion to approve this budget? Sure. Why not? Go ahead. I'll make a motion to approve that. Alright. Motion by Fisher. Is there a second? Second. Seconded by Betts. All in favor signify by saying aye. Aye. Opposed same sign. Motion carried.

Mayor Spencer (Administration)
Anything from the chief? I have nothing tonight, Mr. Mayor. Well, there is being no further items on the agenda. I take entertain a motion to adjourn. So moved. Moved by McCoy. Seconded. Seconded by Grotting. All in favor signify by saying aye. Aye. Opposed same sign. Motion is adjourned.

included the following items:

Motion by Councilmember Fisher, seconded by Councilmember Betts, to approve the consent agenda. All in favor. Motion carried. 5-0

5. Adjourn.

Anything from the chief? I have nothing tonight, Mr. Mayor. Well, there is being no further items on the agenda. I take entertain a motion to adjourn. So, moved. Moved by McCoy. Seconded. Seconded by Grotting. All in favor signify by saying aye. Aye. Opposed same sign. Motion is adjourned.

City of Independence

Request for an Amendment to the Conditional Use Permit to Allow the Upgrade and Replacement of Antennas and Ground Equipment on the Existing Telecommunications Tower

<i>To:</i>	Planning Commission
<i>From:</i>	Mark Kaltsas, City Planner
<i>Meeting Date:</i>	September 16, 2025
<i>Applicant:</i>	AT&T Wireless
<i>Owner:</i>	Delano United Methodist Church
<i>Location:</i>	3310 County Line Road

Request:

AT&T (Applicant) requests that the City consider the following action for the property located at 3310 County Line Road, Independence, MN (PID No. 07-118-24-33-0004):

- a. A conditional use permit amendment to allow the upgrade and replacement of cellular antennas on the existing wireless tower and ground equipment located on the subject property.

Property/Site Information:

The property is located on the east side of County Line Road, just north of TH 12. The property is comprised of the existing church building and parking lot, open space and wetlands. The property has the following characteristics:

Property Information for 3310 County Line Road

Zoning: *Agriculture*

Comprehensive Plan: *Agriculture*

Acreage: 6.89 Acres

3310 County Line Road



The City has received an application from AT&T to replace/upgrade several antennas, radio equipment and ground equipment on the existing wireless communications tower located on the subject property. There are currently two (2) different carriers on the existing tower. The City initially issued a conditional use permit to allow the construction of this wireless communications tower in 2001. The city approved an amendment to the ATT conditional use permit in 2019 to allow the replacement and upgrade of existing antennas on the tower. A condition of that amendment (and all new CUPs for wireless communications towers) requires any increase or expansion in the number and/or size of the antennas, radios or base equipment to obtain an amendment to the conditional use permit.

- Relocate 3 existing antennas
- Install 3 new antennas
- Remove 12 existing RRH radios
- Install 6 new RRH radios
- Install 3 new RRU radios
- Install 6 new filters
- Install new DC trunk cable
- Install new baseband XMU on existing cabinet

EXISTING

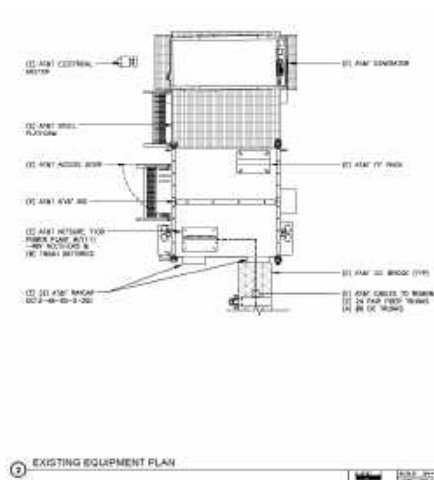
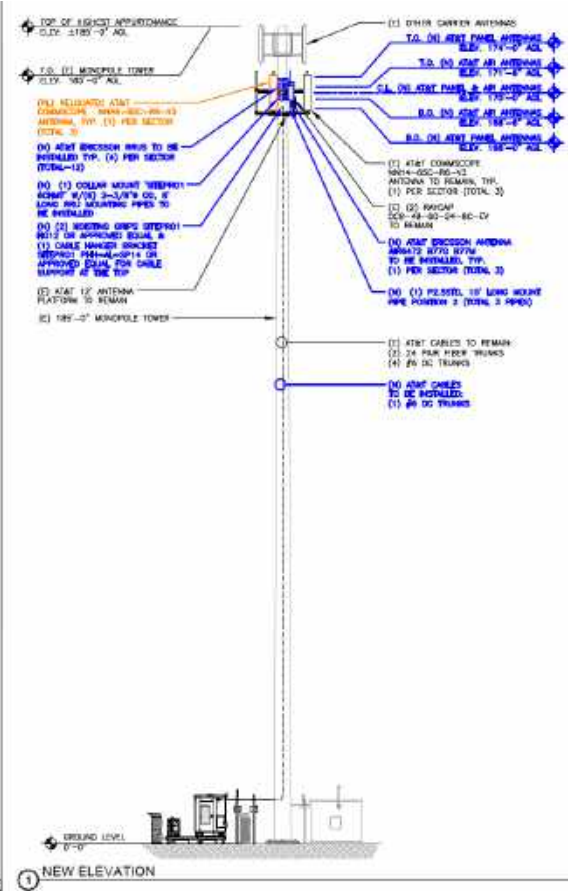
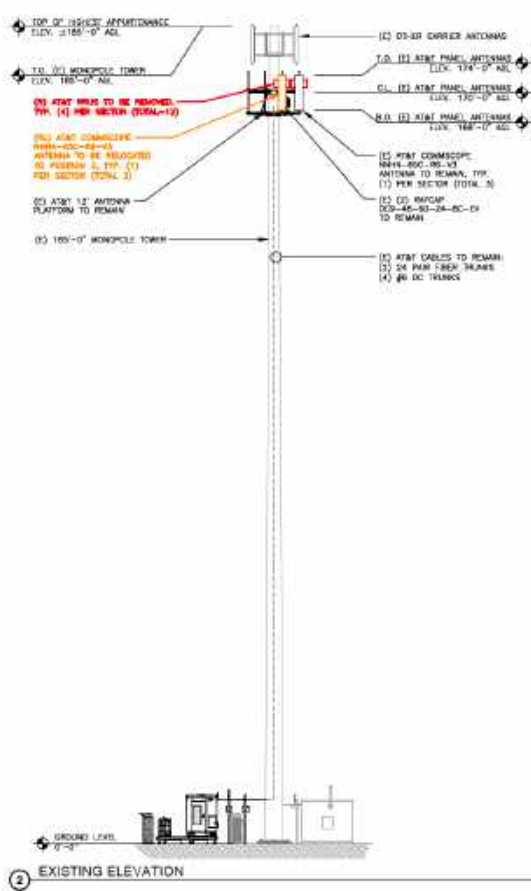
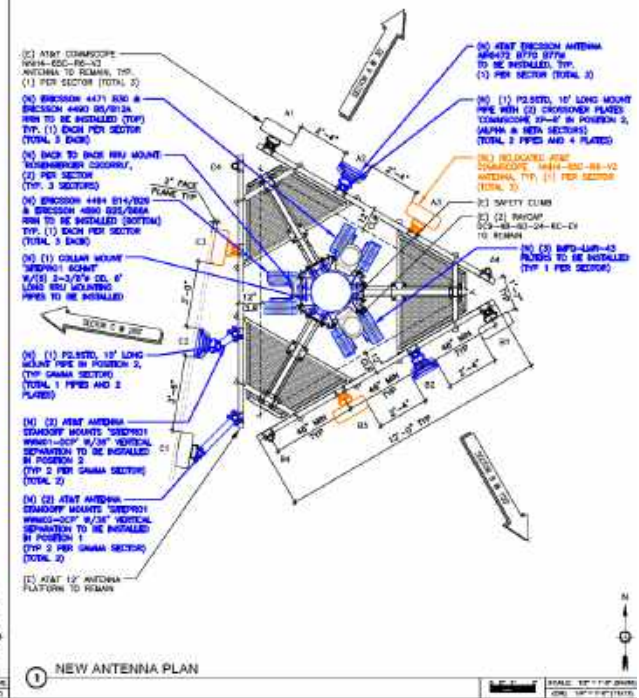
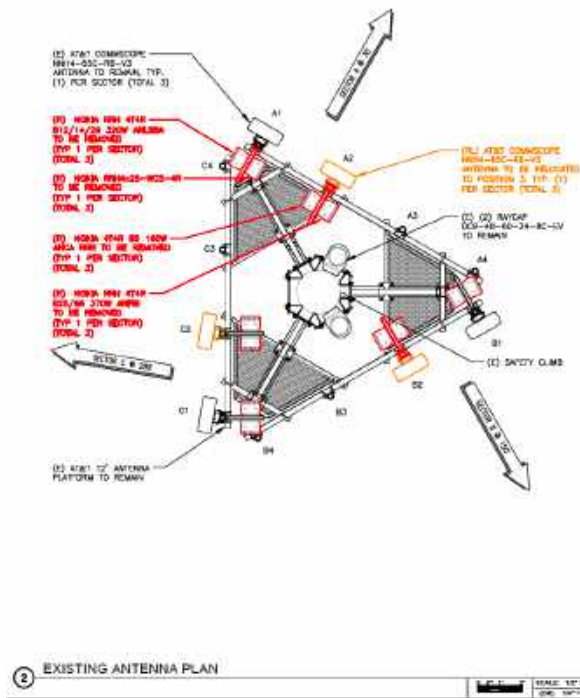


Diagram illustrating the layout of a building, showing various rooms and equipment locations. The diagram includes the following callouts:

- 1. 400V ELECTRICAL ROOM
- 2. 400V RESTROOM
- 3. 400V RESTROOM
- 4. 400V RESTROOM
- 5. 400V RESTROOM
- 6. 400V RESTROOM
- 7. 400V RESTROOM
- 8. 400V RESTROOM
- 9. 400V RESTROOM
- 10. 400V RESTROOM
- 11. 400V RESTROOM
- 12. 400V RESTROOM
- 13. 400V RESTROOM
- 14. 400V RESTROOM
- 15. 400V RESTROOM



The applicant has provided the City with a structural analysis done by a third-party engineer which confirms that the tower can accommodate the proposed equipment changes.

Any amendment to an existing CUP must meet the same requirements established for granting a new CUP. The criteria for granting a conditional use permit are clearly delineated in the City's Zoning Ordinance (Section 520.11 subd. 1, a-i) as follows:

1. *The conditional use will not adversely affect the health, safety, morals and general welfare of occupants of surrounding lands.*
2. *The proposed use will not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity for the proposes already permitted or on the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.*
3. *Existing roads and proposed access roads will be adequate to accommodate anticipated traffic.*
4. *Sufficient off-street parking and loading space will be provided to serve the proposed use.*
5. *The proposed conditional use can be adequately serviced by public utilities or on-site sewage treatment, and sufficient area of suitable soils for on-site sewage treatment is available to protect the city form pollution hazards.*
6. *The proposal includes adequate provision for protection of natural drainage systems, natural topography, tree growth, water courses, wetlands, historic sites and similar ecological and environmental features.*
7. *The proposal includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance.*
8. *The proposed condition use is consistent with the comprehensive plan of the City of Independence.*
9. *The proposed use will not stimulate growth incompatible with prevailing density standards.*

The proposed improvements are consistent with upgrades to other similar towers and will allow for transmission of new technology. The overall visual impact will be minor due to this being a replacement of existing antennas. The existing tower has a conditional use permit. The City will need to determine if the requested amendment to the conditional use permit meet all of the aforementioned conditions and restrictions.

Neighbor Comments:

The City has not received any written comments regarding the proposed amendment to the conditional use permit, site plan approval or variance.

Recommendation:

The Planning Commission is being asked to consider approval of the request for an amendment to the

conditional use permit. Should the Planning Commission recommend approval to the City Council, the following findings and conditions should be included:

1. The proposed conditional use permit amendment meets all applicable conditions and restrictions stated Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. The conditional use permit amendment shall include the following additional conditions:
 - a. The conditional use permit shall be reviewed annually by the City.
 - b. This amendment approves the changes shown on the approved plans. The antennas shall be installed in accordance with the approved plans and elevations attached hereto as EXHIBIT B.
 - c. The City can administratively approve any replacement of existing antennas. Any expansion or increase to the size of the existing ground equipment, buildings or number of antennae will be subject to the City's review and an amendment to the conditional use permit.
3. The applicant shall pay for all costs associated with the City's review and processing of the requested amendment to the conditional use permit and site plan review.
4. The City Council may revoke the conditional use permit if the applicant violates any of the conditions set forth in the conditional use permit.

Attachments:

1. Application
2. Proposed Plan Set
3. Third Party Structural Verification Letter

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

GENERAL CONSTRUCTION NOTES:

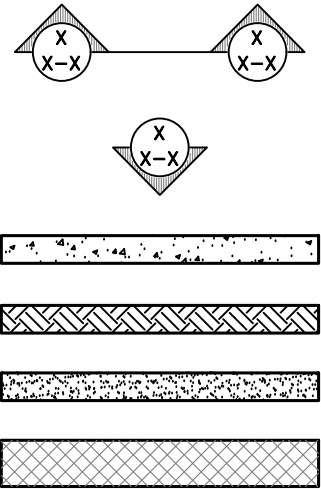
1. PLANS ARE INTENDED TO BE DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
2. THE CONTRACTOR SHALL OBTAIN, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
3. CONTRACTOR SHALL CONTACT USA (UNDERGROUND SERVICE ALERT) AT (800) 2477-2600, FOR UTILITY LOCATIONS, 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION. SEE WORK OR CONSTRUCTION.,
4. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE UBC'S REQUIREMENTS REGARDING EARTHQUAKE RESISTANCE, FOR, BUT NOT LIMITED TO, PIPING, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS, AND MECHANICAL EQUIPMENT. ALL WORK MUST COMPLY WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
6. REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE, THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.
7. THE BUILDING DEPARTMENT ISSUING THE PERMITS SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK, OR AS OTHERWISE STIPULATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION.
8. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
9. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING FACILITIES.
10. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY. PRIOR TO THE START OF CONSTRUCTION, ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
11. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
12. ANY DRAIN AND/OR FIELD TILE ENCOUNTERED/DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION, AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO THE ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
13. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC...SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
14. INCLUDE MISC. ITEMS PER AT&T SPECIFICATIONS.

APPLICABLE CODES, REGULATIONS AND STANDARDS:

1. SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONS, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION.
2. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.
3. SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION F THE FOLLOWING STANDARDS:
- 3.1. AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
- 3.2. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, FIFTEENTH EDITION.
- 3.3. TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-H, STRUCTURAL, STANDARD FOR STRUCTURAL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES.
- 3.4. INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRICAL EQUIPMENT.
- 3.5. IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE").
- 3.6. TIA 607 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS TELCORDIA GR-63 NETWORK.
- 3.7. EQUIPMENT BUILDING SYSTEM (NEB); PHYSICAL PROTECTION.
- 3.8. TELCORDIA GR-347 CENTRAL OFFICE POWER WIRING.
- 3.9. TELCORDIA GR-1275 GENERAL INSTALLATION REQUIREMENTS.
- 3.10. TELCORDIA GR-1503 COAXIAL CABLE CONNECTIONS.
- 3.11. ANY AND ALL OTHER LOCAL & STATE LAWS AND REGULATIONS.
- 3.12. FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

A.B.	ANCHOR BOLT
A.BV.	ABOVE
ACCA	ANTENNA CABLE COVER ASSEMBLY
ADD'L	ADDITIONAL
A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
ALUM.	ALUMINUM
ALT.	ALTERNATE
ANT.	ANTENNA
APPRX.	APPROXIMATE(LY)
ARCH.	ARCHITECT(URAL)
AWG.	AMERICAN WIRE GAUGE
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
B.N.	BOUNDARY NAILING
B.T.C.W.	BARE TINNED COPPER WIRE
B.O.F.	BOTTOM OF FOOTING
B/U	BACK-UP CABINET
CAB.	CABINET
CANT.	CANTILEVER(ED)
C.I.P.	CAST IN PLACE
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION(OR)
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
d	PENNY (NAILS)
DBL.	DOUBLE
DEPT.	DEPARTMENT
D.F.	DOUGLAS FIR
DIA.	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DWG.	DRAWING(S)
DWL.	DOWEL
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATION
E.M.T.	ELECTRICAL METALLIC TUBING
E.N.	EDGE NEAR
ENG.	ENGINEER
EQ.	EQUAL

SYMBOLS LEGEND:



ABBREVIATIONS:

EXP.	EXPANSION	P/C	PRECAST CONCRETE
EXST.	(E) EXISTING	PCS	PERSONAL COMMUNICATION SERVICES
FAB.	FABRICATION(OR)	PLY.	PLYWOOD
F.F.	FINISH FLOOR	PPC	POWER PROTECTION CABINET
F.G.	FINISH GRADE	PRC	PRIMARY RADIO CABINET
FIN.	FINISH(ED)	P.S.F.	POUNDS PER SQUARE FOOT
FLR.	FLOOR	P.S.I.	POUNDS PER SQUARE INCH
FLS.	FOUNDATION	P.T.	PRESSURE TREATED
F.O.C.	FACE OF CONCRETE	PLY.	POWER (CABINET)
F.O.M.	FACE OF MASONRY	QTY.	QUANTITY
F.O.S.	FACE OF STUD	RAD.	(R) RADIUS
F.O.W.	FACE OF WALL	REF.	REFERENCE
F.S.	FINISH SURFACE	REINF.	REINFORCEMENT(ING)
FT. (')	FOOT (FEET)	REQ'D.	REQUIRED
FTG.	FOOTING	RGS	RIGID GALVANIZED STEEL
G.	GROWTH (CABINET)	SCH.	SHEDULE
GA.	GAUGE	SHT.	SHEET
GL.	GALVANIZE(D)	SIM.	SIMILAR
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER	SPEC.	SPECIFICATIONS
GLB. (GLU-LAM)	GLUE LAMINATED BEAM	SQ.	SQUARE
G.P.S.	GLOBAL POSITIONING SYSTEM	S.S.	STAINLESS STEEL
GRND.	GROUND	STD.	STANDARD
HDR.	HEADER	STL.	STEEL
HGR.	HANGER	STRUC.	STRUCTURAL
HT.	HEIGHT	TEMP.	TEMPORARY
ICGB.	ISOLATED COPPER GROUND BUS	THK.	THICK(NESS)
IN. (")	INCH(ES)	T.N.	TOE NAIL
INT.	INTERIOR	T.O.A.	TOP OF ANTENNA
LB. (#)	POUND(S)	T.O.C.	TOP OF CURB
L.B.	LAG BOLTS	T.O.F.	TOP OF FOUNDATION
L.F.	LINEAR FEET (FOOT)	T.O.P.	TOP OF PLATE (PARAPET)
L.	LONG(ITUDINAL)	T.O.S.	TOP OF STEEL
MAS.	MASONRY	T.O.W.	TOP OF WALL
MAX.	MAXIMUM	TYP.	TYPICAL
M.B.	MACHINE BOLT	U.G.	UNDERGROUND
MECH.	MECHANICAL	U.L.	UNDERWRITERS LABORATORY
MFR.	MANUFACTURER	U.N.O.	UNLESS NOTIFIED OTHERWISE
MIN.	MINIMUM	V.I.F.	VERIFY IN FIELD
MISC.	MISCELLANEOUS	W	WIDE (WIDTH)
MTL.	METAL	w/	WITH
(N)	NEW	WD.	WOOD
NO. (#)	NUMBER	W.P.	WEATHERPROOF
N.T.S.	NOT TO SCALE	WT.	WEIGHT
O.C.	ON CENTER	CL	CENTERLINE
OPNG.	OPENING	PL	PLATE, PROPERTY LINE
(P)	PROPOSED		

	MATCH LINE
	GROUND CONDUCTOR
	OVERHEAD SERVICE CONDUCTORS
	TELEPHONE CONDUIT
	POWER CONDUIT
	COAXIAL CABLE
	CHAIN LINK FENCE
	WOOD FENCE
	(E) EXISTING EQUIPMENT
	(R) EQUIPMENT TO BE REMOVED
	(N) EQUIPMENT TO BE INSTALLED
	(RL) EQUIPMENT RELOCATED



604 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: AE@westchesterservices.com

JOHN M. BANKS
ARCHITECT

604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JBANKS@WESTCHESTERSERVICES.COM

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FA#: 11571089
3310 COUNTY LINE RD SE
DELANO, MN 55328

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

GN-1

THIS IS NOT A SITE SURVEY

ALL PROPERTY BOUNDARIES, ORIENTATION OF TRUE NORTH AND STREET HALF-WIDTHS HAVE BEEN OBTAINED FROM A TAX PARCEL MAP AND EXISTING DRAWINGS AND ARE APPROXIMATE.

APN: 0711824330004



604 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: AE@Westchesterservices.com

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ARCHITECT

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SHEET TITLE

SITE PLAN

SHEET NUMBER

A-1

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1

SITE PLAN

0 1' 2' 4'

SCALE: 1/4" = 1'-0" (24x36)

(OR) 1/8" = 1'-0" (11x17)

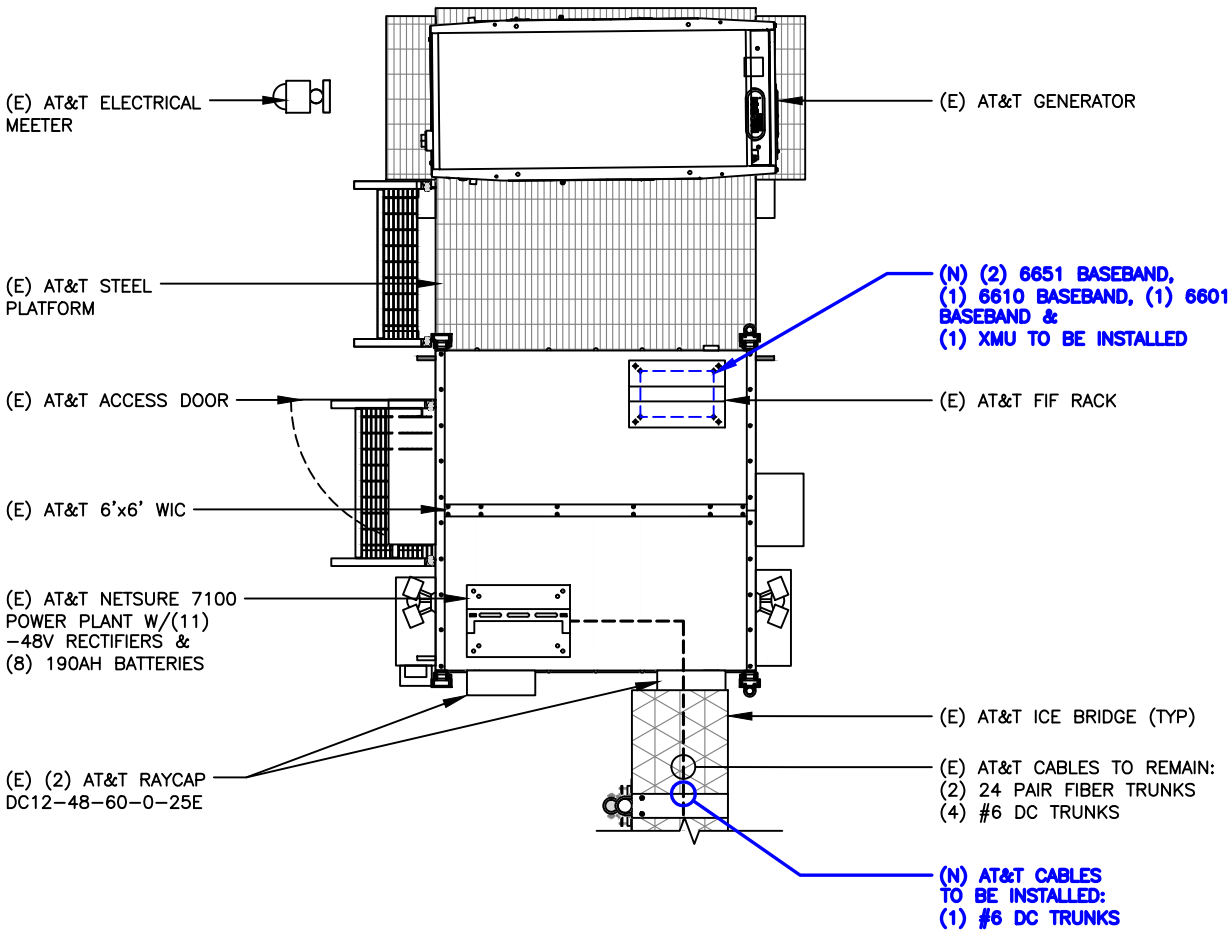
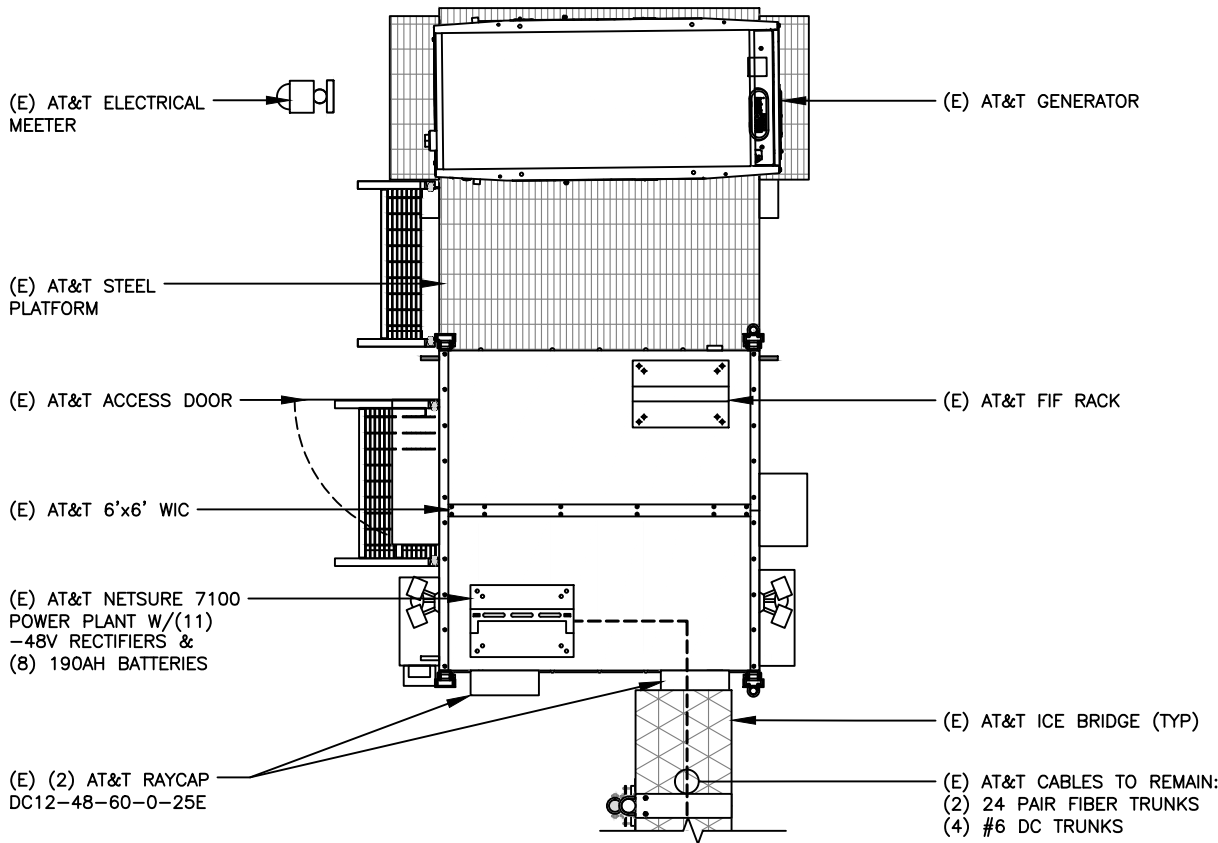
ADDITIONAL SCOPE:

REMOVE ALL NOKIA BBU

ADDITIONAL SCOPE:

INSTALL BREAKERS AS NEEDED PER ATT-CEM-18002

BBU INFORMATION TO BE FINALIZED PRIOR TO CONSTRUCTION



2 EXISTING EQUIPMENT PLAN

1 NEW EQUIPMENT PLAN



604 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: AE@Westchesterservices.com

JOHN M. BANKS
ARCHITECT
604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JBANKS@WESTCHESTERSERVICES.COM

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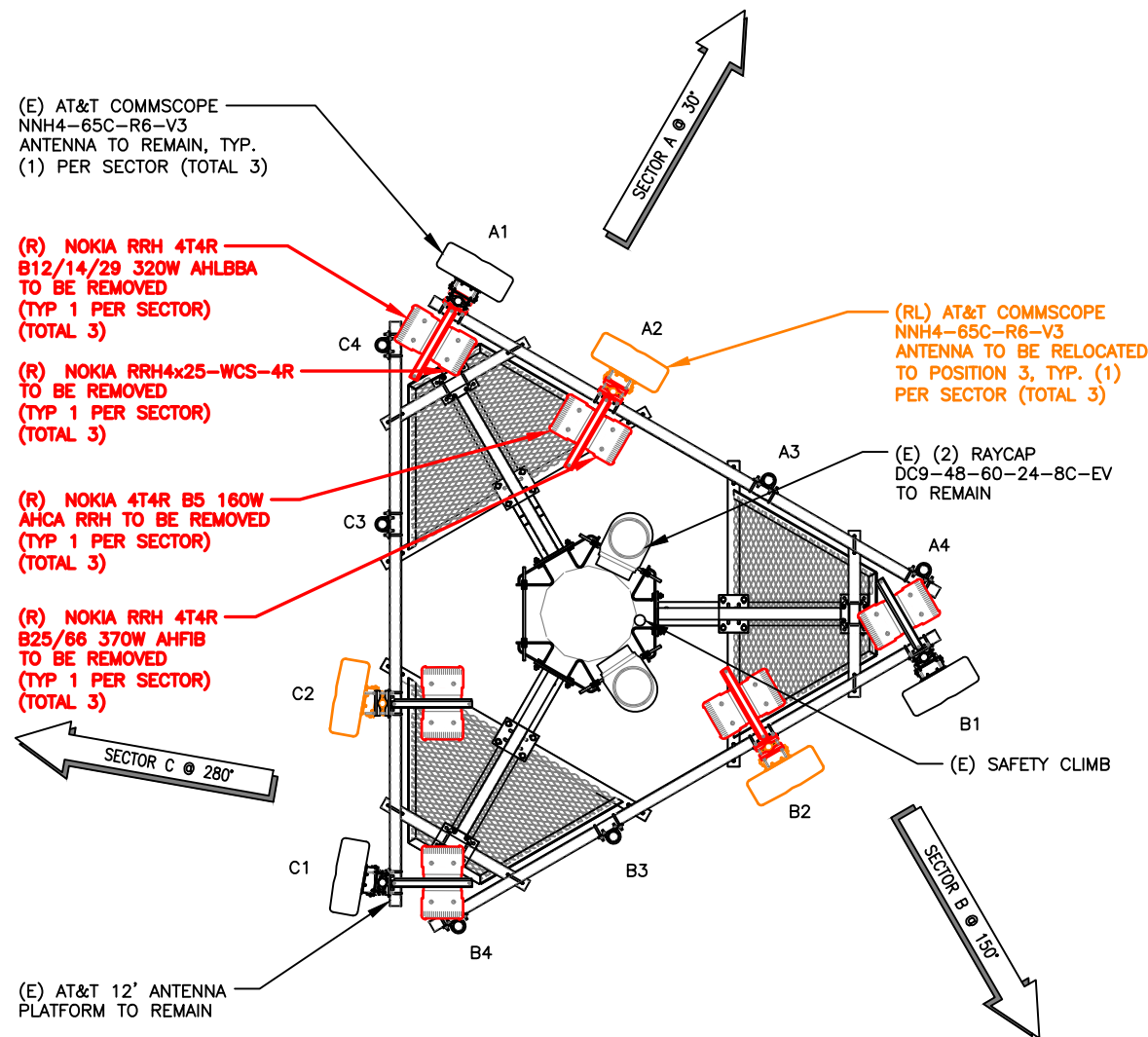
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SHEET TITLE
EXISTING & NEW EQUIPMENT PLANS

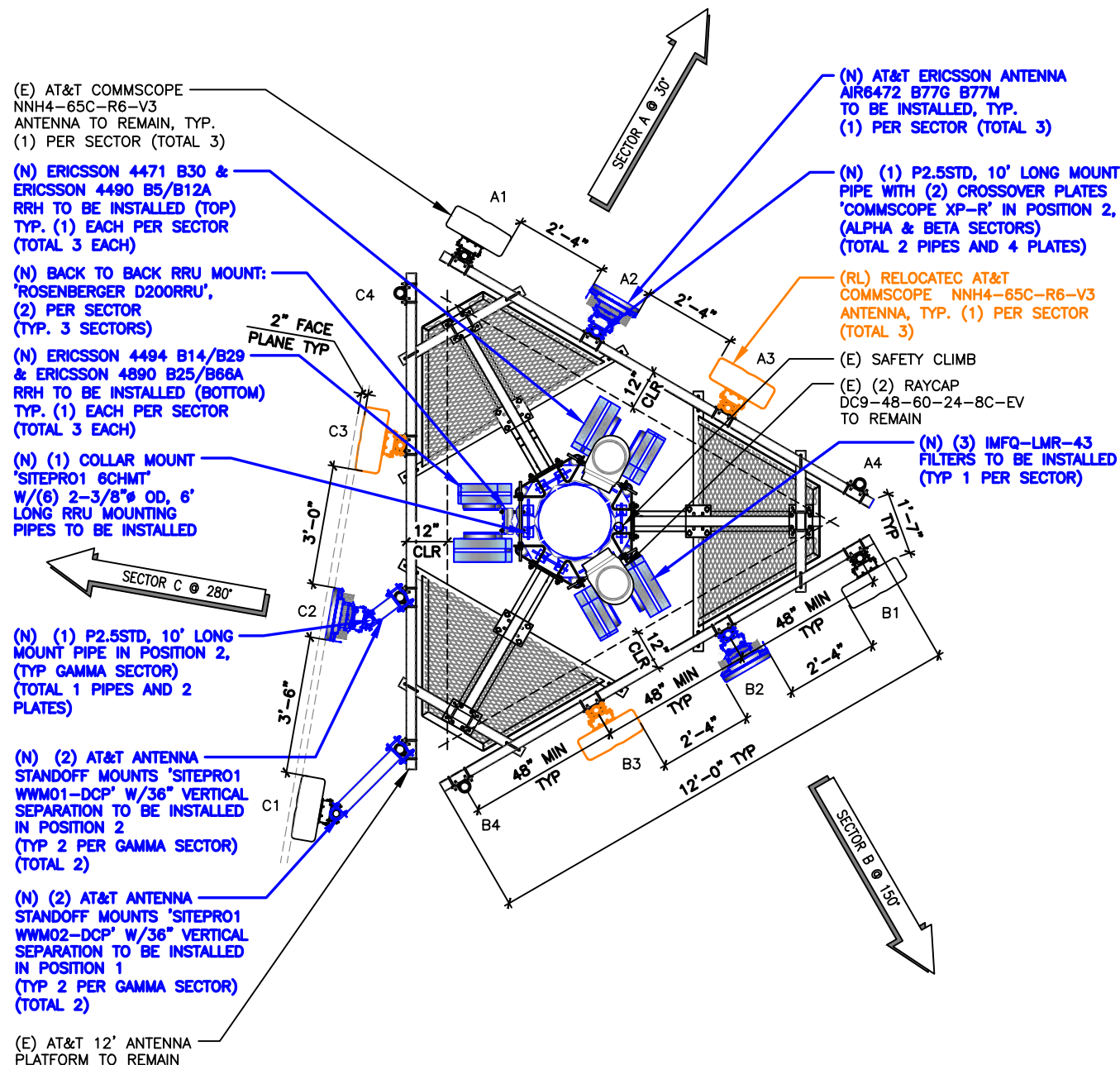
SHEET NUMBER
A-2

ADDITIONAL SCOPE:

REMAINING ANTENNA MOUNTING PIPES
TO BE RELOCATED/ADJUSTED TO
MATCH AT&T SPACING STANDARDS



NOTE:
GENERAL CONTRACTOR SHALL
ENSURE A MINIMUM OF 12"
CLEARANCE FROM BACK OF MOUNT
TO ANY NON-ANTENNA EQUIPMENT



604 FOX GLEN
BARRINGTON, IL 60010
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EMAIL: AE@westchesterservices.com

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TELEPHONE: 847-277-0070
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SHEET TITLE
**EXISTING & NEW
ANTENNA PLANS**

SHEET NUMBER
A-3

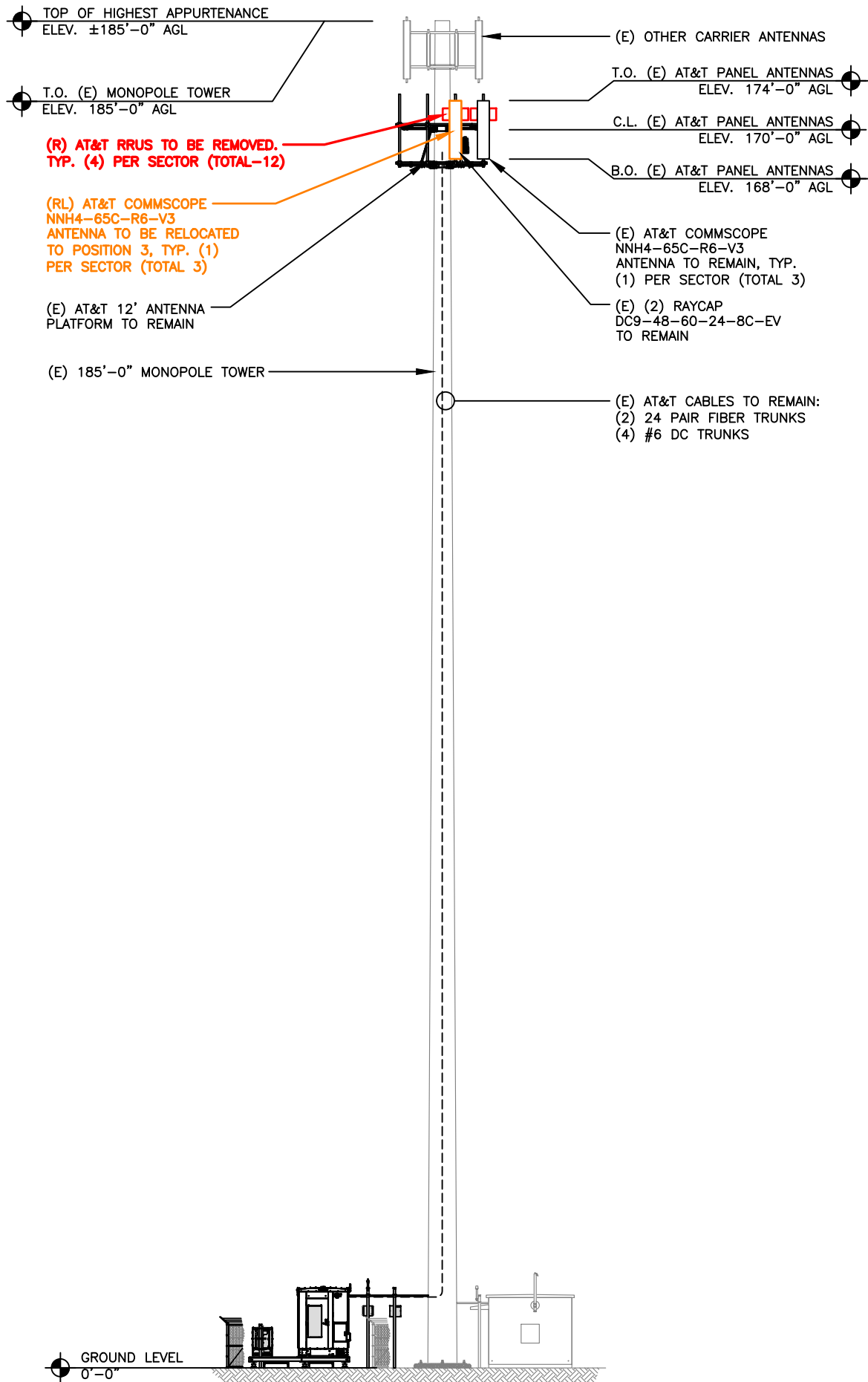
2 EXISTING ANTENNA PLAN

SCALE: 1/2" = 1'-0" (24x36)
(OR) 1/4" = 1'-0" (11x17)

1 NEW ANTENNA PLAN

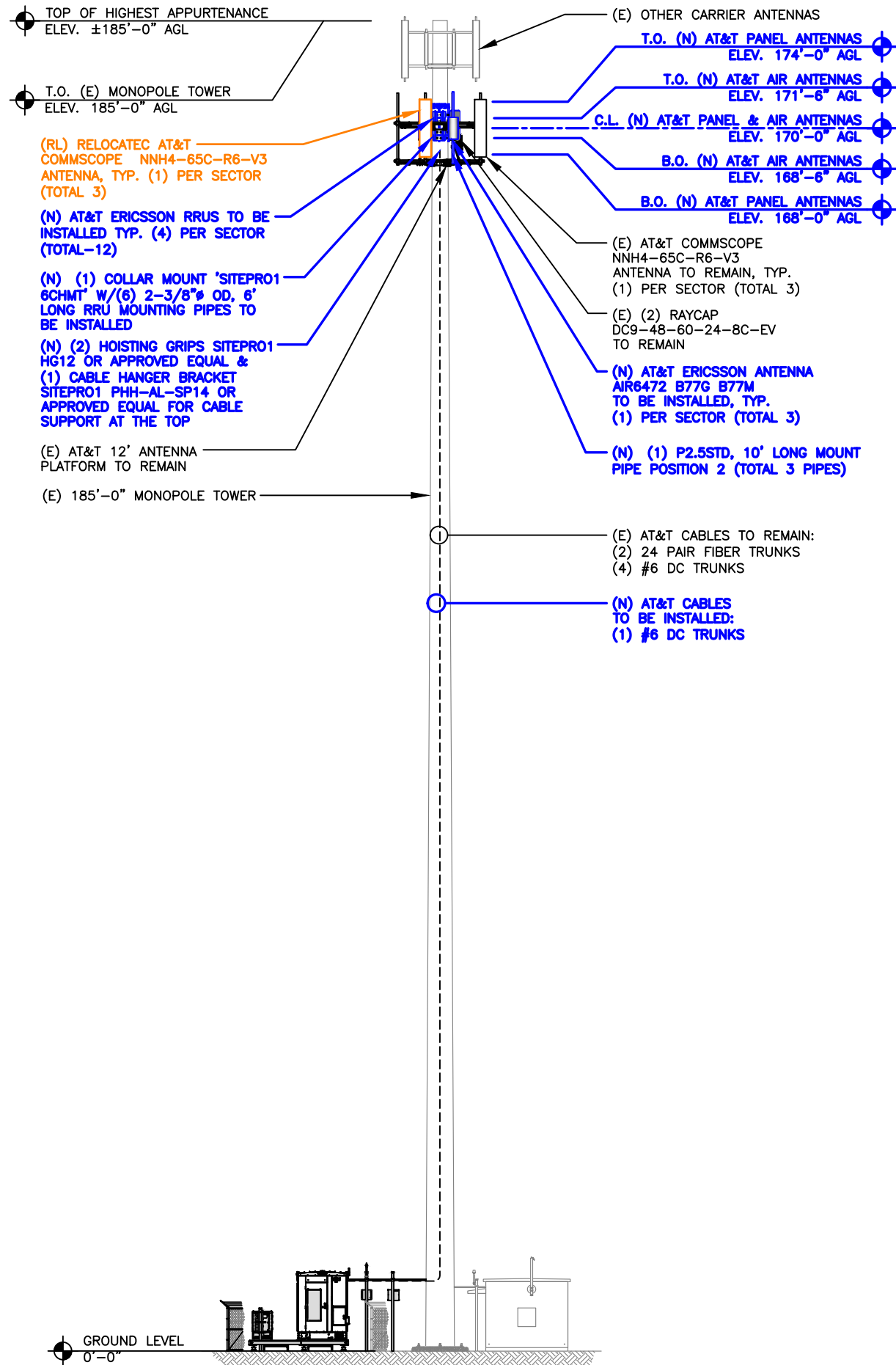
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2 EXISTING ELEVATION

SCALE
N.T.S.



1 NEW ELEVATION

SCALE
N.T.S.



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BARRINGTON, IL 60010
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SHEET TITLE
**EXISTING & NEW
ELEVATIONS**

SHEET NUMBER
A-4

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EXISTING ANTENNA CONFIGURATION AND CABLE SCHEDULE

SECTOR	POS.	BAND TECH.	ANTENNA MODEL	ANTENNA DIMENSIONS (HxWxD)	ANTENNA AZIMUTH	RAD CENTER	QTY./RRU MODEL	QTY./TMA MODEL	QTY./RAYCAP MODEL	CABLING	CABLE LENGTH
A	1	AWS/700 1900	(X) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"	30°	170'-0" AGL	(1) B12/14/29 370W AHLBA (R) (1) RRH4x25-WCS-4R (R)	-	(2) RAYCAP (X) DC9-48-60-24-8C-EV	(2) 24PR FIBER TRUNKS (X) (4) #6 DC POWER TRUNK (X)	190'-0"
	2	850/WCS	(XR) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"			(1) B5 160W AHCA (R) (1) 4T4R B25/66 320W AHFIB (R)				
	3	-	-	-			-				
	4	-	-	-			-				
B	1	AWS/700 1900	(X) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"	150°	170'-0" AGL	(1) B12/14/29 370W AHLBA (R) (1) RRH4x25-WCS-4R (R)	-			
	2	850/WCS	(XR) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"			(1) B5 160W AHCA (R) (1) 4T4R B25/66 320W AHFIB (R)				
	3	-	-	-			-				
	4	-	-	-			-				
C	1	AWS/700 1900	(X) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"	280°	170'-0" AGL	(1) B12/14/29 370W AHLBA (R) (1) RRH4x25-WCS-4R (R)	-			
	2	850/WCS	(XR) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"			(1) B5 160W AHCA (R) (1) 4T4R B25/66 320W AHFIB (R)				
	3	-	-	-			-				
	4	-	-	-			-				

CABLE LENGTH IS APPROXIMATE AND MUST BE VERIFIED PRIOR TO CONSTRUCTION

(N) = NEW
(X) = EXISTING
(R) = REMOVE
(XR) = EXISTING/RELOCATED

PROPOSED ANTENNA CONFIGURATION AND CABLE SCHEDULE

SECTOR	POS.	BAND TECH.	ANTENNA MODEL	ANTENNA DIMENSIONS (HxWxD)	ANTENNA AZIMUTH	RAD CENTER	QTY./RRU MODEL	QTY./TMA/FILTER MODEL	QTY./RAYCAP MODEL	CABLING	CABLE LENGTH						
A	1	700/850	(X) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"	30°	170'-0" AGL	(1) ERICSSON 4471 B30 (N) (1) ERICSSON 4490 B5/B12A (N)	-	(2) RAYCAP (X) DC9-48-60-24-8C-EV	(2) 24PR FIBER TRUNKS (X) (4) #6 DC POWER TRUNK (X) (1) #6 DC POWER TRUNK (X)	190'-0"						
	2	5G CBAND	(N) ERICSSON AIR6472 B77G B77M	36.4"x16.1"x7.5"			INTEGRATED RADIO										
	3	AWS/700/1900	(XR) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"			(1) ERICSSON 4494 B14/B29 (N) (1) ERICSSON 4890 B25/B66A (N)	(1) IMFQ-LMR-43									
	4	-	-	-			-										
B	1	700/850	(X) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"	150°	170'-0" AGL	(1) ERICSSON 4471 B30 (N) (1) ERICSSON 4490 B5/B12A (N)	-				(2) RAYCAP (X) DC9-48-60-24-8C-EV	(2) 24PR FIBER TRUNKS (X) (4) #6 DC POWER TRUNK (X) (1) #6 DC POWER TRUNK (X)	190'-0"			
	2	5G CBAND	(N) ERICSSON AIR6472 B77G B77M	36.4"x16.1"x7.5"			INTEGRATED RADIO										
	3	AWS/700/1900	(XR) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"			(1) ERICSSON 4494 B14/B29 (N) (1) ERICSSON 4890 B25/B66A (N)	(1) IMFQ-LMR-43									
	4	-	-	-			-										
C	1	700/850	(X) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"	280°	170'-0" AGL	(1) ERICSSON 4471 B30 (N) (1) ERICSSON 4490 B5/B12A (N)	-							(2) RAYCAP (X) DC9-48-60-24-8C-EV	(2) 24PR FIBER TRUNKS (X) (4) #6 DC POWER TRUNK (X) (1) #6 DC POWER TRUNK (X)	190'-0"
	2	5G CBAND	(N) ERICSSON AIR6472 B77G B77M	36.4"x16.1"x7.5"			INTEGRATED RADIO										
	3	AWS/700/1900	(XR) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"			(1) ERICSSON 4494 B14/B29 (N) (1) ERICSSON 4890 B25/B66A (N)	(1) IMFQ-LMR-43									
	4	-	-	-			-										







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3310 COUNTY LINE RD SE
DELANO, MN 55328

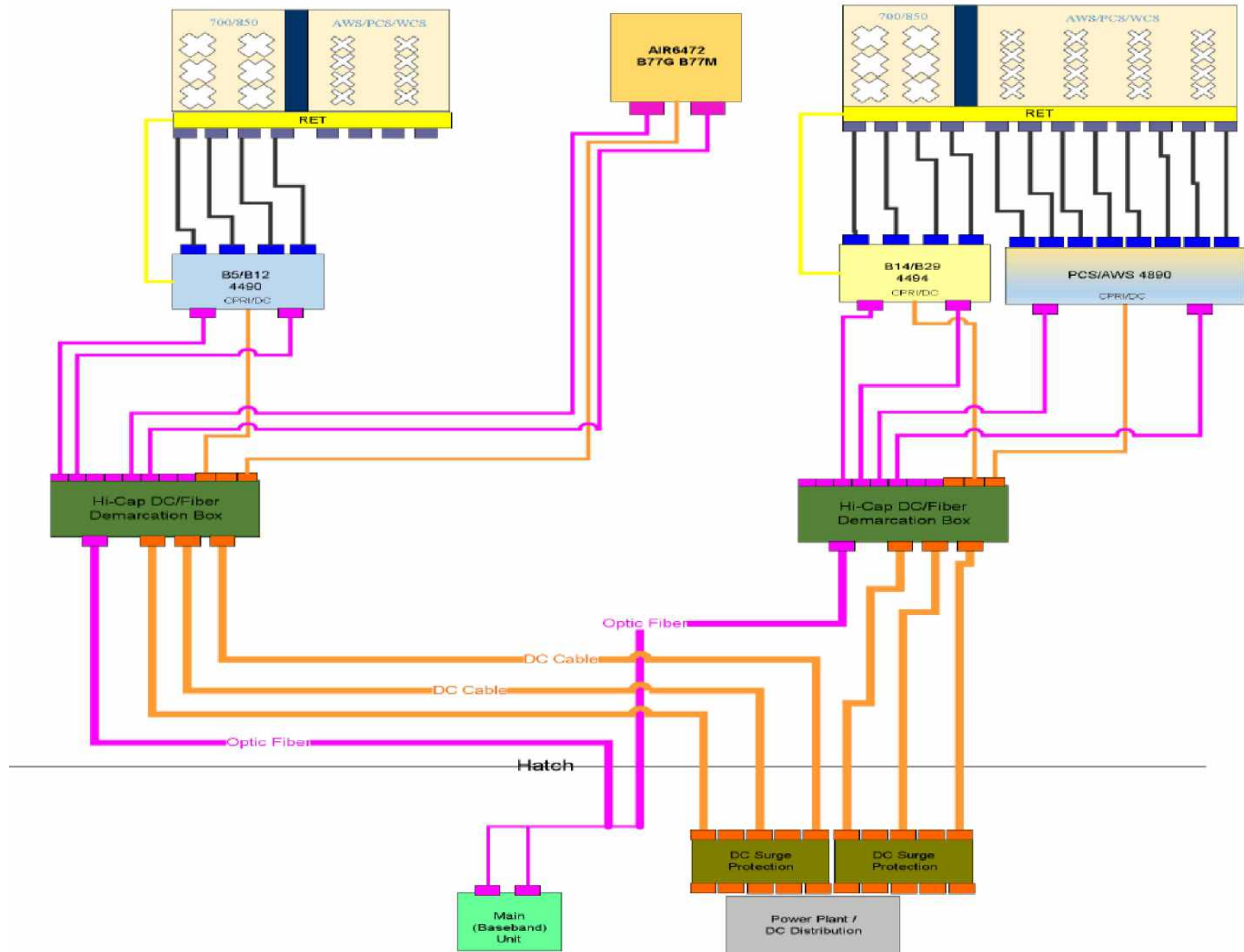
SHEET TITLE

ANTENNA SCHEDULE

SHEET NUMBER

RF-1

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604 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: AE@westchesterservices.com

**JOHN M. BANKS
ARCHITECT**
604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JBANKS@WESTCHESTERSERVICES.COM

REVISIONS			
REV.	DATE	DESCRIPTION	BY
A	01/13/25	ISSUED FOR REVIEW	SH
B	02/18/25	ISSUED FOR REVIEW	SH

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SUPERVISION AND THAT I AM A DULY
REGISTERED ARCHITECT UNDER THE LAWS OF
THE STATE OF MINNESOTA

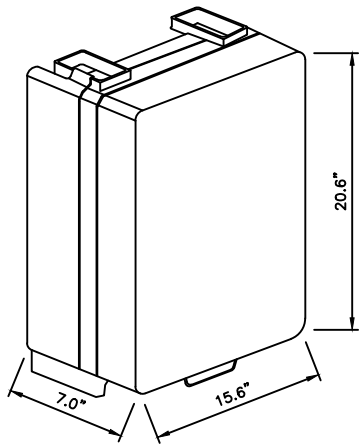
SITE NUMBER: MNL01123
SITE NAME: DELANO COUNTY LINE
FA#: 11571089
3310 COUNTY LINE RD SE
DELANO, MN 55328

SHEET TITLE
**PLUMBING
DIAGRAM**

SHEET NUMBER
RF-2

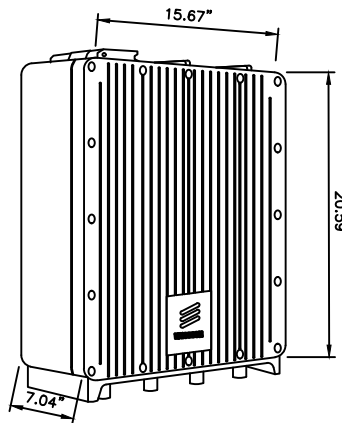
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12 NOT USED
N.T.S.



MANUFACTURER: ERICSSON
MODEL NO.: RRUS 4490 B5/B12A
WEIGHT: 65.04 LBS
CONNECTOR TYPE: 4.3-10 FEMALE

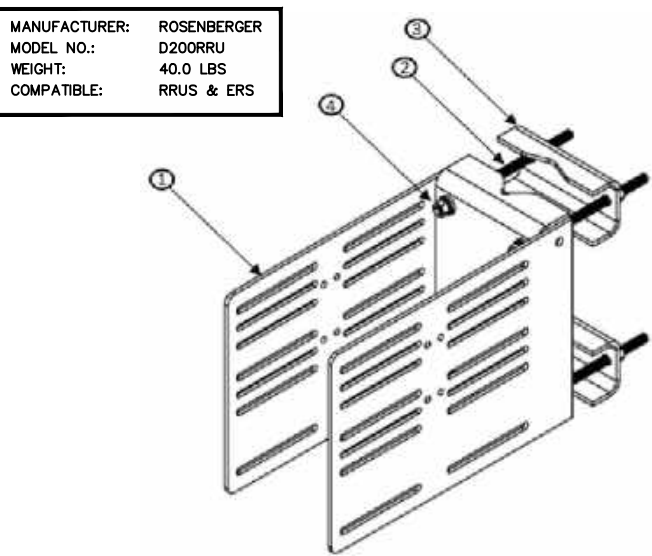
11 RRU DETAIL
N.T.S.



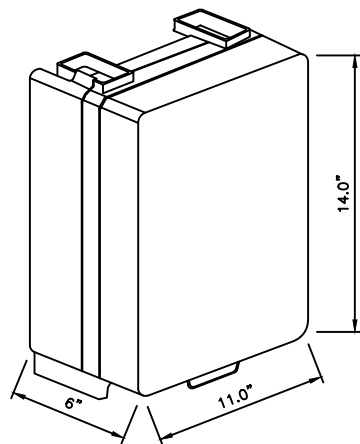
MANUFACTURER: ERICSSON
MODEL NO.: RRUS 4890 B25/B66A
WEIGHT: 67.24 LBS
CONNECTOR TYPE: 4.3-10 FEMALE

10 RRU DETAIL
N.T.S.

9 RRU MOUNTING DETAIL
N.T.S.

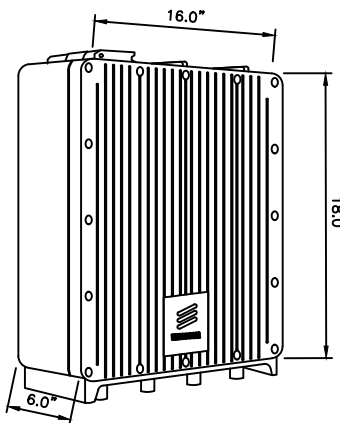


8 RRU DETAIL
N.T.S.



MANUFACTURER: ERICSSON
MODEL NO.: RRUS 4471 B30
WEIGHT: 56.23 LBS
CONNECTOR TYPE: 4.3-10 FEMALE

7 RRU DETAIL
N.T.S.



MANUFACTURER: ERICSSON
MODEL NO.: RRUS 4494 B14/B29
WEIGHT: 57.32 LBS
CONNECTOR TYPE: 4.3-10 FEMALE

6 BASEBAND DETAIL
N.T.S.

ERICSSON BASEBAND 6651:
DIMENSIONS, WxDxH: 19"x13.8"x1.75"
NOMINAL OPERATING VOLTAGE: -48 VDC
OPERATING VOLTAGE RANGE: -38 TO -58.5 VDC
OPERATING TEMPERATURE: 0 TO +55°C
TOTAL WEIGHT: 6.5 kg | 14.3 LBS
BREAKER SIZE: 30A

FAN MODULE
MOVABLE BRACKETS

NOTE:
CONSTRUCTION TO REFER TO AT&T UPGRADE KIT GUIDELINES WHEN INSTALLING THE RBS 6651 IN THE RACK.

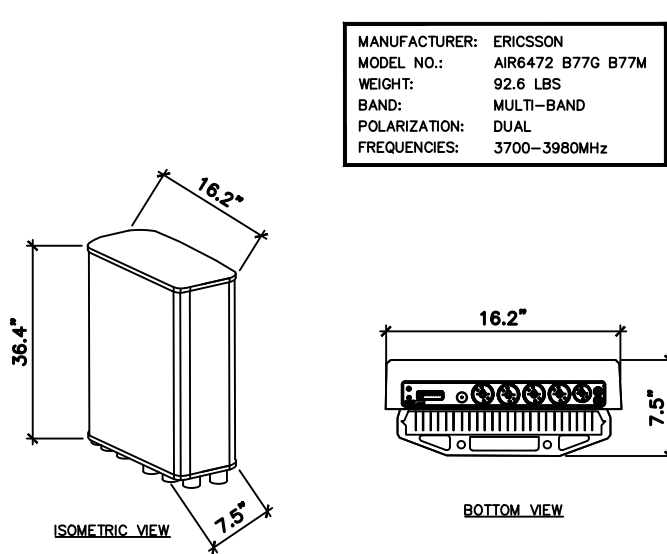
5 BASEBAND DETAIL
N.T.S.

ERICSSON BASEBAND 6601:
DIMENSIONS, WxDxH: 483mmX350mmX66mm
NOMINAL OPERATING VOLTAGE: -48 VDC
OPERATING VOLTAGE RANGE: -40 TO -57.6 V DC
OPERATING TEMPERATURE: +5 TO +50°C
TOTAL WEIGHT: <10 kg
BREAKER SIZE: 30A

FAN MODULE
MOVABLE BRACKETS

NOTE:
CONSTRUCTION TO REFER TO AT&T UPGRADE KIT GUIDELINES WHEN INSTALLING THE RBS 6601 IN THE RACK.

4 ANTENNA DETAIL
N.T.S.



3 BASEBAND DETAIL
N.T.S.

ERICSSON BASEBAND 6610:
DIMENSIONS, WxDxH: 5.51"x1.26"x1.57"
NOMINAL OPERATING VOLTAGE: -48 VDC
OPERATING VOLTAGE RANGE: -40 TO -58.5 VDC
OPERATING TEMPERATURE: 0 TO +55°C
TOTAL WEIGHT: <10 LBS

FAN MODULE
MOVABLE BRACKETS

NOTE:
CONSTRUCTION TO REFER TO AT&T UPGRADE KIT GUIDELINES WHEN INSTALLING THE RBS 6610 IN THE RACK.

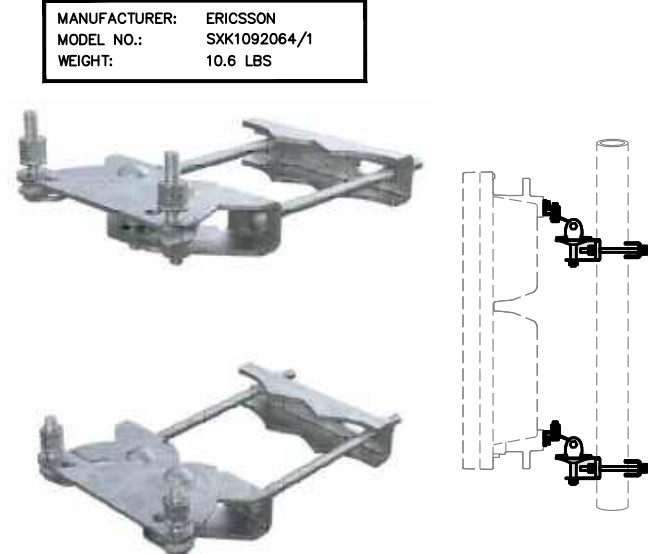
2 XMU DETAIL
N.T.S.

DIMENSIONS, WxDxH: 350x280x31 mm
(WITH SOLAR SHIELD AND HANDLE) (13.8"x11"x1.22")
WEIGHT: 5 LBS
HEAT DISSIPATION: 50W (TYPICAL)
80W (MAX)
OPERATING TEMPERATURE RANGE: 5 TO 50°C (41 TO 122°F)

- MOUNTING IN STANDARD DU SLOTS, DU ADAPTERS AND RADIO SHELF.
- MOUNTING IN 19" RACK OR IN TRANSMISSION COMPARTMENT BELOW AIR RESTRICTOR PLATE BY USE OF SUP 6601 V2.

UCXMU03 / KDU 137949/1

1 ANTENNA MOUNTING DETAIL
N.T.S.



604 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: AE@Westchesterservices.com

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BARRINGTON, IL 60010
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B	02/18/25	ISSUED FOR REVIEW	SH

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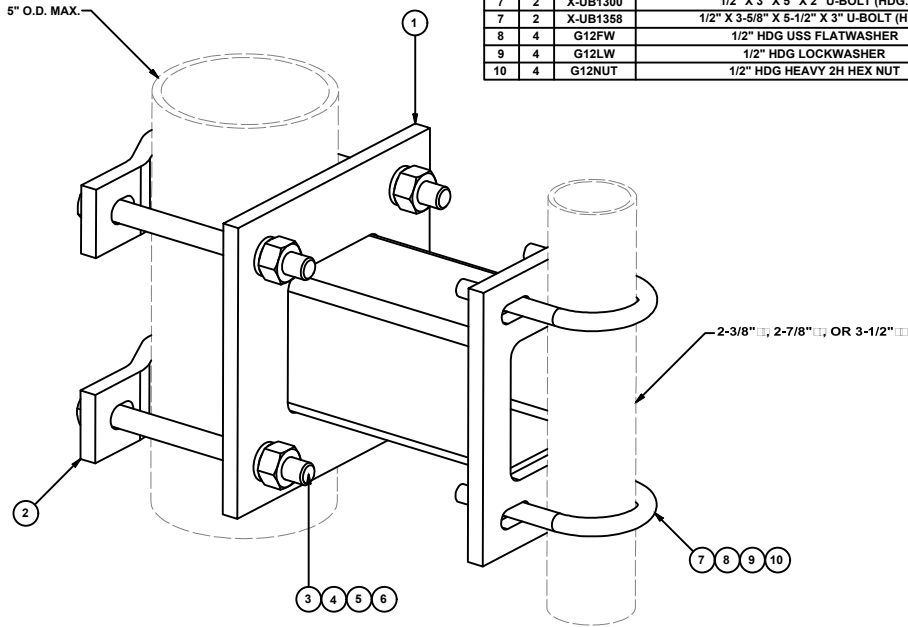
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PREPARED BY ME OR UNDER MY DIRECT
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REGISTERED ARCHITECT UNDER THE LAWS OF
THE STATE OF MINNESOTA

SITE NUMBER: MNL01123
SITE NAME: DELANO COUNTY LINE
FA#: 11571089
3310 COUNTY LINE RD SE
DELANO, MN 55328

SHEET TITLE
DETAILS

SHEET NUMBER
D-1

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PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.
1	1	X-WWM01	8" STAND-OFF ARM / WALL MOUNT		18.12
2	2	DCP	1/2" THICK, 5-3/4" CNTER TO CENTER CLAMP HALF	8 1/8 in	2.36
3	4	G5807	5/8" x 7" HDG HEX BOLT GR5 FULL THREAD	7 in	0.70
4	4	G58FW	5/8" HDG USS FLATWASHER	1/8 in	0.07
5	4	G58LW	5/8" HDG LOCKWASHER		0.03
6	4	G58NUT	5/8" HDG HEAVY 2H HEX NUT		0.13
7	2	X-UB1212	1/2" X 2-1/2" X 4-1/2" X 2" U-BOLT (HDG.)		0.63
7	2	X-UB1300	1/2" X 3" X 5" X 2" U-BOLT (HDG.)		0.70
7	2	X-UB1358	1/2" X 3-5/8" X 5-1/2" X 3" U-BOLT (HDG.)		0.77
8	4	G12FW	1/2" HDG USS FLATWASHER	3/32 in	0.03
9	4	G12LW	1/2" HDG LOCKWASHER	1/8 in	0.01
10	4	G12NUT	1/2" HDG HEAVY 2H HEX NUT		0.07
TOTAL WT. #					31.24

4 STANDOFF DETAIL
N.T.S.

TOLERANCE NOTES

TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:
SAWED, SHEARED AND GAS CUT EDGES ($\pm 0.030"$)
DRILLED AND GAS CUT HOLES ($\pm 0.030"$) - NO CONING OF HOLES
LASER CUT EDGES AND HOLES ($\pm 0.010"$) - NO CONING OF HOLES
BENDS ARE $\pm 1/2$ DEGREE
ALL OTHER MACHINING ($\pm 0.030"$)
ALL OTHER ASSEMBLY ($\pm 0.060"$)

PROPRIETARY NOTE:
THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.

DESCRIPTION
8" STAND-OFF PIPE MOUNT

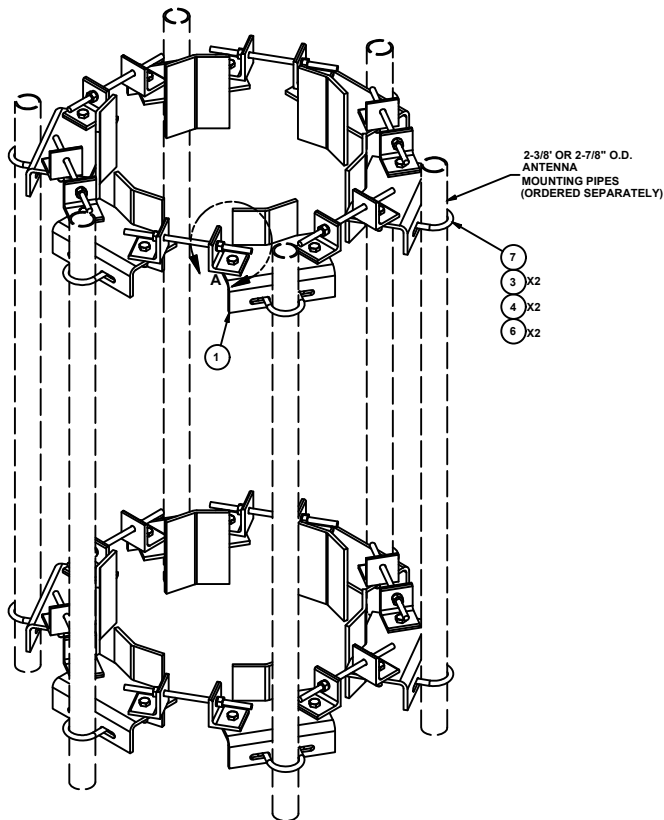
CPD NO. 87
SUB 02
DRAWN BY CMFL 1/18/2021
DRAWING USAGE CUSTOMER
ENG. APPROVAL
CHECKED BY



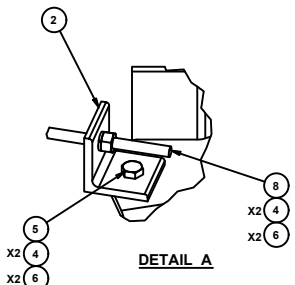
Locations:
New York, NY
Atlanta, GA
Los Angeles, CA
Plymouth, IN
Salem, OR
Dallas, TX
Engineering
Support Team:
1-888-753-7446

PART NO. WWM01-DCP
DWG. NO. WWM01-DCP

PAGE 1 OF 1



PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.
1	12	SHCM-W	CHAIN MOUNT WELDMENT		14.73
2	24	SHCM-T	CHAIN MOUNT TIGHTENER BRACKET	3 in	1.86
3	24	G12FW	1/2" HDG USS FLATWASHER	3/32 in	0.03
4	72	G12LW	1/2" HDG LOCKWASHER	1/8 in	0.01
5	24	G1202	1/2" x 2" HDG HEX BOLT GR5	2 in	0.18
6	72	G12NUT	1/2" HDG HEAVY 2H HEX NUT		0.07
7	12	X-UB1212	1/2" X 2-1/2" X 4-1/2" X 2" U-BOLT (HDG.)		0.60
7	12	X-UB1300	1/2" X 3" X 5" X 2" U-BOLT (HDG.)		0.67
8	12	G12R-12	1/2" x 12" THREADED ROD (HDG.)		0.40
8	12	G12R-24	1/2" x 24" THREADED ROD (HDG.)		1.34
TOTAL WT. #					271.84



3 COLLAR MOUNT DETAIL
N.T.S.

TOLERANCE NOTES

TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:
SAWED, SHEARED AND GAS CUT EDGES ($\pm 0.030"$)
DRILLED AND GAS CUT HOLES ($\pm 0.030"$) - NO CONING OF HOLES
LASER CUT EDGES AND HOLES ($\pm 0.010"$) - NO CONING OF HOLES
BENDS ARE $\pm 1/2$ DEGREE
ALL OTHER MACHINING ($\pm 0.030"$)
ALL OTHER ASSEMBLY ($\pm 0.060"$)

PROPRIETARY NOTE:
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DESCRIPTION
6 SIDED MONOPOLE MOUNT
FOR ROUND OR POLYGON POLES
17-1/2" TO 56" DIA.

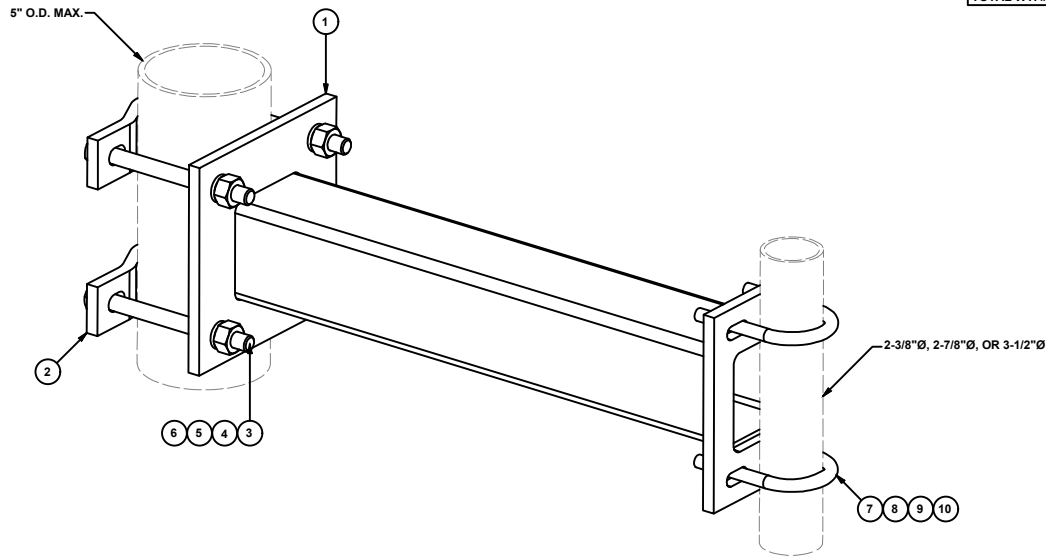
CPD NO. 81
SUB 01
DRAWN BY CEK 4/14/2014
DRAWING USAGE CUSTOMER
ENG. APPROVAL
CHECKED BY BMC 4/16/2014



Locations:
New York, NY
Atlanta, GA
Los Angeles, CA
Plymouth, IN
Salem, OR
Dallas, TX
Engineering
Support Team:
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PART NO. 6CHMT
DWG. NO. 6CHMT

PAGE 1 OF 1



PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.
1	1	X-WWM02	2" STAND-OFF ARM / WALL MOUNT		30.70
2	2	DCP	1/2" THICK, 5-3/4" CNTER TO CENTER CLAMP HALF	8 1/8 in	2.36
3	4	G5807	5/8" x 7" HDG HEX BOLT GR5 FULL THREAD	7 in	0.70
4	4	G58FW	5/8" HDG USS FLATWASHER	1/8 in	0.07
5	4	G58LW	5/8" HDG LOCKWASHER		0.03
6	4	G58NUT	5/8" HDG HEAVY 2H HEX NUT		0.13
7	2	X-UB1212	1/2" X 2-1/2" X 4-1/2" X 2" U-BOLT (HDG.)		0.63
7	2	X-UB1300	1/2" X 3" X 5" X 2" U-BOLT (HDG.)		0.70
7	2	X-UB1358	1/2" X 3-5/8" X 5-1/2" X 3" U-BOLT (HDG.)		0.77
8	4	G12FW	1/2" HDG USS FLATWASHER	3/32 in	0.03
9	4	G12LW	1/2" HDG LOCKWASHER	1/8 in	0.01
10	4	G12NUT	1/2" HDG HEAVY 2H HEX NUT		0.07
TOTAL WT. #					43.82

TOLERANCE NOTES

TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:
SAWED, SHEARED AND GAS CUT EDGES ($\pm 0.030"$)
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LASER CUT EDGES AND HOLES ($\pm 0.010"$) - NO CONING OF HOLES
BENDS ARE $\pm 1/2$ DEGREE
ALL OTHER MACHINING ($\pm 0.030"$)
ALL OTHER ASSEMBLY ($\pm 0.060"$)

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DESCRIPTION
24" STAND-OFF PIPE MOUNT

CPD NO. 87
SUB 02
DRAWN BY CMFL 10/27/2021
DRAWING USAGE CUSTOMER
ENG. APPROVAL
CHECKED BY

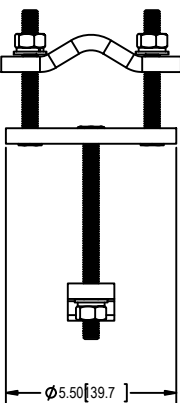


Locations:
New York, NY
Atlanta, GA
Los Angeles, CA
Plymouth, IN
Salem, OR
Dallas, TX
Engineering
Support Team:
1-888-753-7446

PART NO. WWM02-DCP
DWG. NO. WWM02-DCP

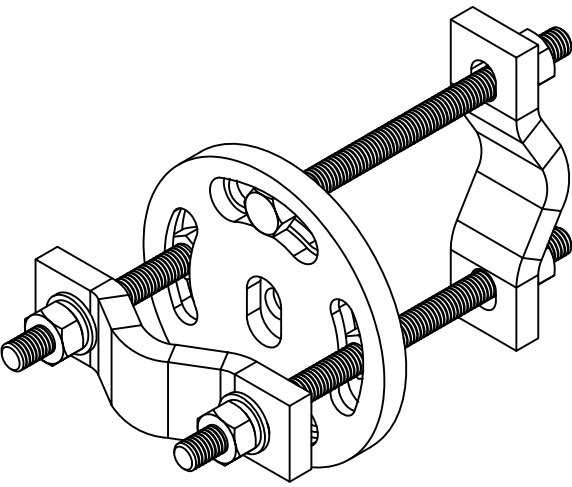
PAGE 1 OF 1

NOTES:
1.0 ALL METRIC DIMENSIONS ARE IN BRACKETS.



ITEM	PART NO.	DESCRIPTION	QTY.	WEIGHT	NOTE NO.
1	PCC401	PLUCK CROSSOVER CLAMP 4"	1	2.20 LBS	
2	SCP10	SMALL DISH CLAMP HALF	2	1.20 LBS	
3	SWF04A	1/2" GALV FLAT WASHER (A325)	4	0.02 LBS	
4	SN04A	1/2" GALV HEX NUT (A194 2H)	4	0.07 LBS	
5	SNL04	1/2" GALV LOCK WASHER	4	0.01 LBS	
6	SB0405FT	1/2-13 UNC X 4" GALV FULL THREAD HEX BOLT (GRADE 5)	2	0.24 LBS	
7	SB0405FT	1/2-13 UNC X 6" GALV FULL THREAD HEX BOLT (GRADE 5)	2	0.36 LBS	

1 CROSSOVER PLATE DETAIL
N.T.S.



COMMSCOPE, INC. OF NORTH CAROLINA											
TOLERANCES						SAP MATERIAL MASTER					
0 PLACE X ± .25		2 PLACE XX ± .06				XP-R					
1 PLACE X ± .12		ANGLES ± 2°									
FINISH						MATERIAL					
ASTM A123						A36					
UNLESS OTHERWISE SPECIFIED ALL DIMENSIONS ARE TO BE INTERPRETED TO INCLUDE TOLERANCES GOVERNED BY THE FOLLOWING: GOVERNMENT 14.5						CROSSOVER PLATE, ROUND, UP TO 3.5" OD					
DENSITY		MASS		1/bolt		NAME		DATE		TITLE	
VOLUME		lbs				RDL		11/15/10			
SURFACE AREA		sq in				REV					
HEIGHT						AD					
LENGTH						MD		1P		11/15/10	
WIDTH						CD		8000017345			
SCALE		WORK AREA		MODEL		REVISION		DRAWING		SHEET	
1:2								XP-R		1 OF 1	
VERSION		STATUS		REVISION		VERSION		STATUS		REVISION	
C								A			

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604 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: AE@westchesterservices.com

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ARCHITECT
604 FOX GLEN
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B	02/18/25	ISSUED FOR REVIEW	SH	

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REGISTERED ARCHITECT UNDER THE LAWS OF
THE STATE OF MINNESOTA

SITE NUMBER: MNL01123
SITE NAME: DELANO COUNTY LINE
FA#: 11571089
3310 COUNTY LINE RD SE
DELANO, MN 55328

SHEET TITLE
DETAILS

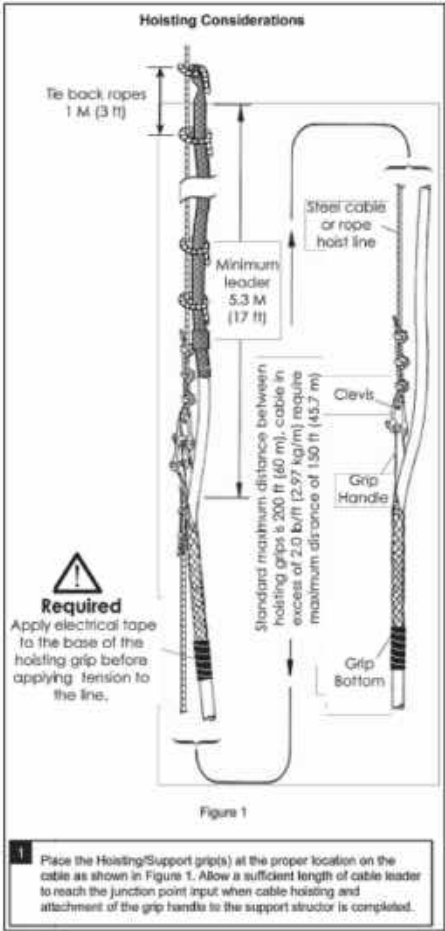
SHEET NUMBER
D-2

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4 NOT USED
N.T.S.

3 HOISTING GRIP DETAIL
N.T.S.

REFER TO HOISTING AND
SUPPORT GRIP INSTALLATION
INSTRUCTIONS PRIOR TO
INSTALLATION

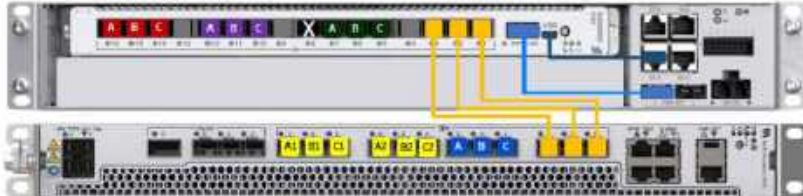


2 BASEBAND CONFIGURATION
N.T.S.

RF Design – Baseband Configuration

2024: Configuration A1.1: Triple Mode (12 TDD ASS NR and <= 15 LTE Cells and <= 12 NR Cells)

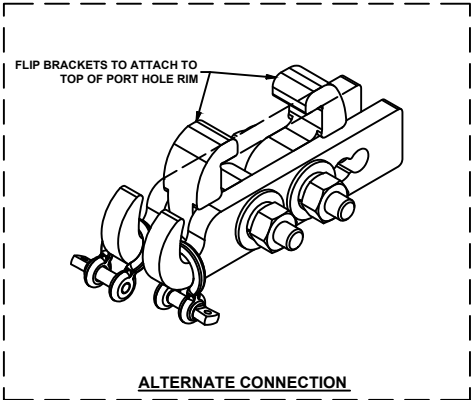
- Tri-Mode: TDD AAS + FDD NR/LTE: RANP6651 + 6601 SUP + R503 + CNTR6610 + 5AU
- Additional basebands might be added in case of 4 or more sector site or number of cells exceeding the baseband limits. E.g 2x6651 (Swap/Acceleration) or 6651 + 6630 (Acceleration)



• Site Controller 6618 for External Alarms

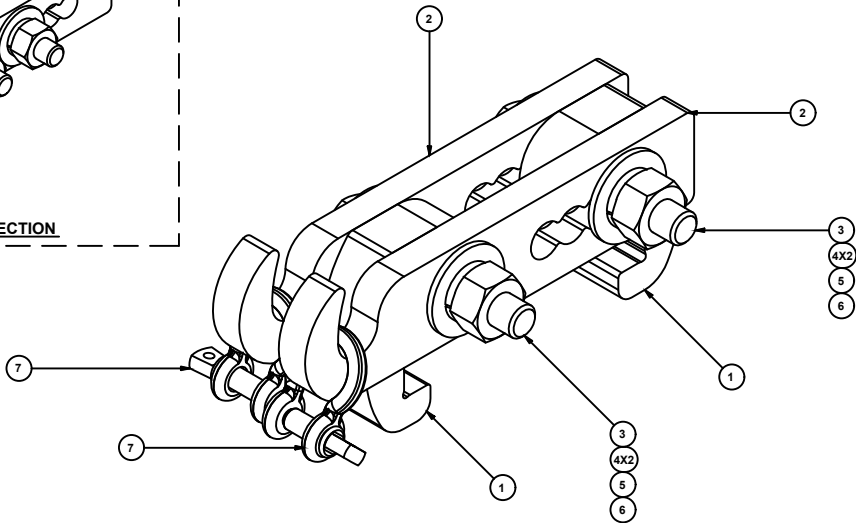


- Radio 4498/4449 – B5 (B58) and B12 (780) OR Radio 4478 B12 (780) OR Radio 4478 B5 (B58)
- Radio 4494 – B14 (FNET) and B29 (780DE) OR Radio 4478 – B14 (FNET)
- AIR 6472 – B77D (C-Band) and B77G (3.45) (2 x eCPRI -> BW = 120MHz) OR AIR6449/AIR6449 B77D (C-Band – A1/B1/C1) + AIR6449 B77G (3.45 – A2/B2/C2)
- Radio 4898/8843 – B25 (PCS) and B66 (AWS)
- Radio 4471 – B38 (WCS) OR Radio 4415 – B38 (WCS)
- NOT CONNECTED



ALTERNATE CONNECTION

PARTS LIST						
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	2	X-HRR-HANGH	1" MILL PLATE (A572 GR50)	12 in	1.14	2.29
2	2	X-HRR-HANGL	1/2" MILL PLATE (A572 GR.50)	12 in	1.34	2.68
3	2	G1203	1/2" x 3" HDG HEX BOLT GR5 FULL THREAD	3 in	0.22	0.43
4	4	G12FW	1/2" HDG USS FLATWASHER	3/32 in	0.03	0.14
5	2	G12LW	1/2" HDG LOCKWASHER	1/8 in	0.01	0.03
6	2	G12NUT	1/2" HDG HEAVY 2H HEX NUT		0.07	0.14
7	2	SHK14	1/4" SCREW PIN SHACKLE		0.10	0.21
TOTAL WT. #						5.92



FINISH:
HOT DIP GALVANIZED.

TOLERANCE NOTES

TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:
SAWED, SHEARED AND GAS CUT EDGES ($\pm 0.030"$)
DRILLED AND GAS CUT HOLES ($\pm 0.030"$) - NO CONING OF HOLES
LASER CUT EDGES AND HOLES ($\pm 0.010"$) - NO CONING OF HOLES
BENDS AND ANGLES ARE $\pm 1/2$ DEGREE
ALL OTHER MACHINING ($\pm 0.030"$)
ALL OTHER ASSEMBLY ($\pm 0.060"$)

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DESCRIPTION
PORT HOLE HANGER KIT W/ 1/4" SHACKLES

CPD NO.	DRAWN BY	ENG. APPROVAL
87	CMFL 5/10/2023	
SUB	DRAWING USAGE	CHECKED BY
02	CUSTOMER	



Engineering
Support Team:
1-888-753-7446

PART NO.	PHH-AL-SP14
DWG. NO.	PHH-AL-SP14



604 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: AE@Westchesterservices.com

JOHN M. BANKS ARCHITECT

604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JBANKS@WESTCHESTERSERVICES.COM

REVISIONS

REV.	DATE	DESCRIPTION	BY
A	01/13/25	ISSUED FOR REVIEW	SH
B	02/18/25	ISSUED FOR REVIEW	SH

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

IT IS A VIOLATION OF LAW FOR ANY PERSONS,
UNLESS THEY ARE ACTING UNDER THE
DIRECTION OF A LICENSED PROFESSIONAL
ARCHITECT TO ALTER THIS DOCUMENT

I HEREBY CERTIFY THAT THESE PLANS WERE
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
REGISTERED ARCHITECT UNDER THE LAWS OF
THE STATE OF MINNESOTA

SITE NUMBER: MNL01123
SITE NAME: DELANO COUNTY LINE
FA#: 11571089
3310 COUNTY LINE RD SE
DELANO, MN 55328

SHEET TITLE

DETAILS

SHEET NUMBER

D-3

PAGE
1 OF 3

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.



(E) (2) AT&T RAYCAP
DC12-48-60-0-25E



(N) (2) 6651 BASEBAND,
(1) 6610 BASEBAND, (1)
6601 BASEBAND &
(1) XMU TO BE
INSTALLED

(E) AT&T FIF RACK



(E) AT&T NETSURE 7100
POWER PLANT W/(11)
-48V RECTIFIERS &
(8) 190AH BATTERIES



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EMAIL: AE@Westchesterservices.com

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SITE NAME: DELANO COUNTY LINE
FA#: 11571089
3310 COUNTY LINE RD SE
DELANO, MN 55328

SHEET TITLE

DETAILS

SHEET NUMBER

D-4

Date: April 9, 2025

MasTec Communications Group
800 S. Douglas Rd., 10th Floor
Coral Gables, FL 33134

ARCHITECTURE & ENGINEERING DIVISION
604 FOX GLEN . BARRINGTON, IL 60010
847/277-0070 . FAX: 847/277-0080

AE@westchesterservices.com / www.westchesterservices.com

Subject: Structural Analysis Report

AT&T Turf 6

Site Name: Delano County Line
FA#: 11571089
IWM: WSUMW0046561

Engineering Firm Designation: Westchester Services, LLC

Site Data: 3310 County Line Rd., SE, Delano, MN 55328
N45.037277, W93.765194
Wright County – 185ft Monopole
12ft Face Platform Mount – 167ft Mounting Height

Westchester Services, LLC is pleased to submit this “Structural Analysis Report” to determine the structural integrity of the above-mentioned tower. The purpose of the analysis is to determine acceptability of the tower stress level. Based on our analysis we have determined the tower stress levels for the tower under the following load case to be:

Existing and Proposed Equipment

Sufficient Capacity

Note: See Table 2-1 for the existing and proposed loading.

Member Type	Result	Pass/Fail
Overall	83.6%	Pass

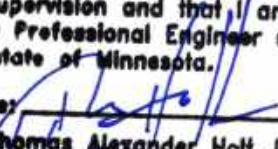
The analysis has been performed in accordance with the following criteria:

Building Code: 2020 Minnesota Building Code
TIA Standard: TIA-222-H

I certify that this report was prepared by me or under my direct supervision and that I am a Licensed Professional Engineer under the laws of the State of Minnesota.

Thomas Holt, PE
Professional Engineer

I hereby certify that this plan, specification, report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Signature: 
Name: Thomas Alexander Holt Jr
Date: 4/9/25 License Number: 58133

City of Independence
***Request for a Minor Subdivision
for the Property located at 6785 Hwy 12***

<i>To:</i>	Planning Commission
<i>From:</i>	Mark Kaltsas, City Planner
<i>Meeting Date:</i>	September 16, 2025
<i>Owner/Applicants:</i>	Greg A Jurvakainen/ Carter Berkelman
<i>Location:</i>	6785 Highway 12

Request:

Greg A Jurvakainen (Applicants) and Carter Berkelman (Owner) request that the City consider the following action for the properties located at 6785 Highway 12, Independence, MN (PID No. 22-118-24-42-0001) and the property to the south that does not have an address but is identified by the following PID Number (PID No. 22-118-24-31-0002):

- a. A minor subdivision to allow a lot line rearrangement between the two subject properties. The minor subdivision would add approximately 50' to the south side of the 6785 Highway 12 property.

Property/Site Information:

The subject property is located along the south side of Highway 12, west of County Road 90 N. The existing property has an existing home. The unaddressed property has an existing accessory building which is accessed off of Pioneer Creek Drive. The subject properties have the following site characteristics:

Property Information: 6785 Highway 12 (Berkelman)

Zoning: *AG-Agriculture*

Comprehensive Plan: *Agriculture*

Acreage (Before): *5.61 acres*

Acreage (After): *7.40 acres*

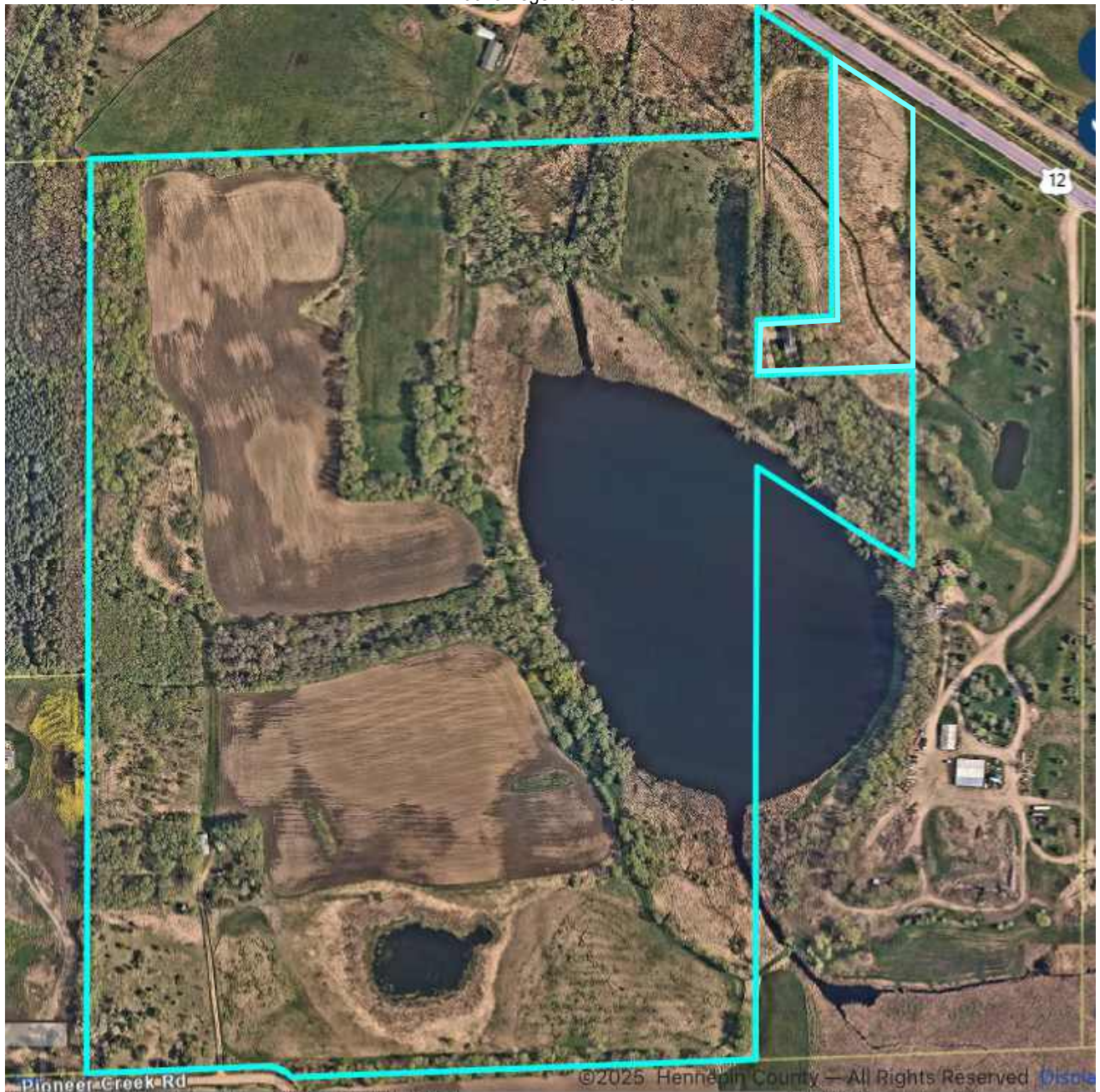
Property Information: Unaddressed Property (Blatz)

Zoning: *AG-Agriculture*

Comprehensive Plan: *Agriculture*

Acreage (Before): *125.10 acres*

Acreage (After): *123.31 acres*



Discussion:

The applicant approached the city about the possibility of doing a lot line rearrangement so that the existing house could be expanded without the need for a setback variance. The proposed minor subdivision would also allow the existing septic system to be brought onto the property with the existing house. It is currently located within an easement on the adjacent property. The proposed lot line rearrangement would add 1.79 acres to the existing property.

The owner of the 6785 Hwy 12 property is related to the owner of the adjacent property. There are several things that should be noted as it relates to the proposed lot line rearrangement:

- The existing lot is considered a legal non-confirming lot because it does not have the requisite frontage on a public right of way. The property currently has 270 LF of frontage on Hwy 12. The requisite frontage is 300 LF.
- The driveway that services the existing house and lot is located within a driveway easement on the adjacent property.
- The septic field that serves the existing house is located within a drain field easement on the adjacent property. In the proposed after condition, the septic field will be located wholly on the subject property.
- There do not appear to be any issues with the larger unaddressed property in the after condition.
- The applicant provided the city with copies of the proposed home addition.

The applicant is seeking a minor subdivision to allow lot line rearrangement to adjust/move the property line separating the two parcels for the purpose of constructing an addition onto the existing home that meets all applicable setbacks. With the proposed change, both lots will maintain their original character and the general character of the surrounding properties. Planning Commissioners will need to consider whether or not the requested lot line rearrangement will meet all applicable criteria of the city's zoning ordinance.

Neighbor Comments:

The city had not received any written or verbal comments prior to the time this report was written.

Recommendation:

Staff is seeking a recommendation from the Planning Commission for the requested minor subdivision with the following findings:

1. The proposed minor subdivision meets all applicable criteria and conditions stated in Chapter V, Section 500, Planning and Land Use Regulations of the City of Independence Zoning Ordinance.
2. The Applicant shall pay for all costs associated with the City's review of the requested subdivision.
3. The Applicant shall record the subdivision and City Council Resolution with the county within six (6) months of approval.

Attachments:

1. Application
2. Proposed Subdivision Exhibits



**CITY OF
INDEPENDENCE
MINNESOTA**

Date Submitted: 08-06-2025

Applicant Information

Name: Greg A Jurvakainen
Address: 5500 Lincoln Drive,
Suite #180
Edina, Minnesota 55436
Primary Phone: 612-968-5886
Email: greg@lcramer.com

Owner Information

Name: Carter Berkleman
Address: 6785 US Hwy No 12
Independence, Minnesota
55359
Primary Phone: 612-220-9759
Email: carter.berkelman@gmail.com

Property Address:

PID:

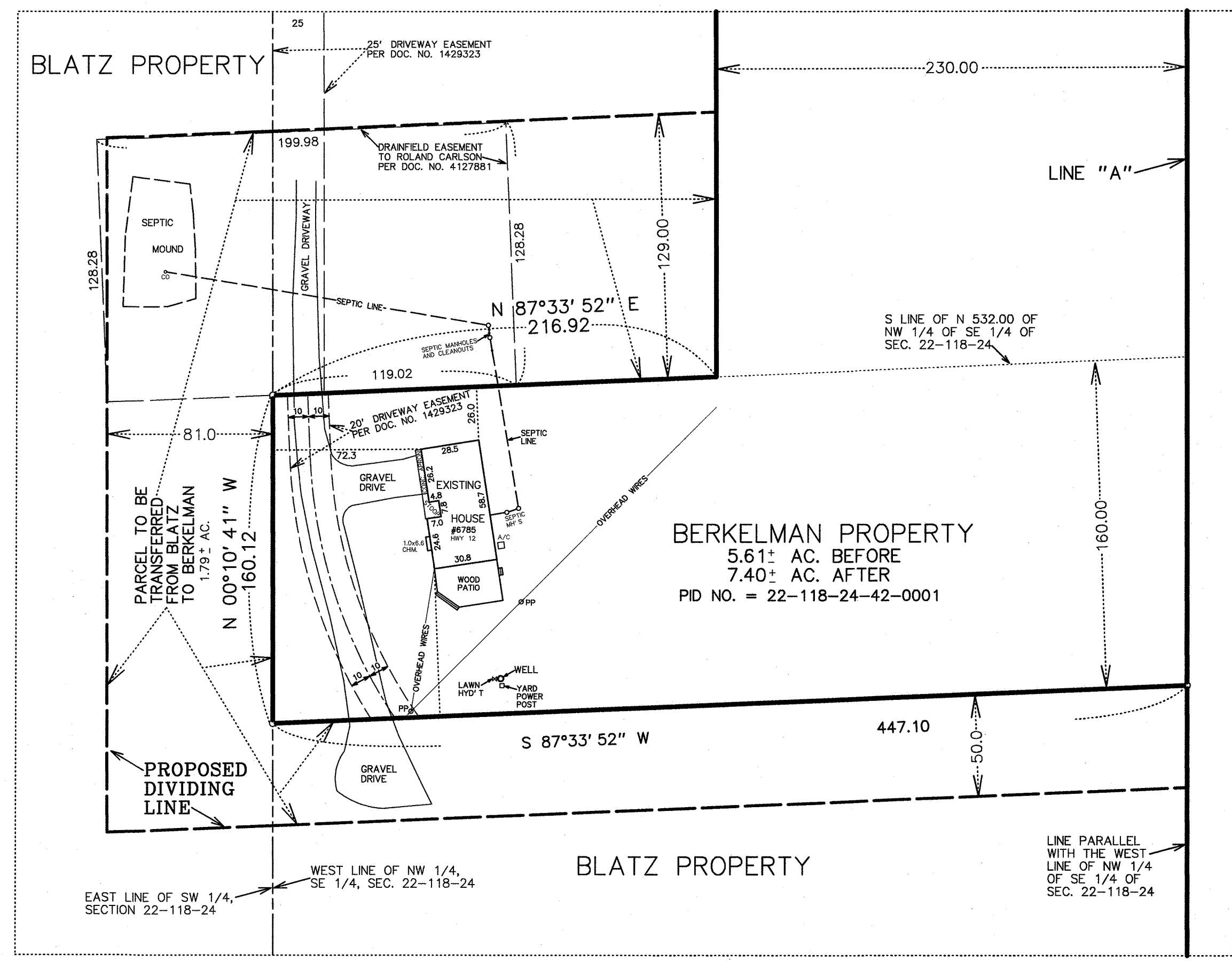
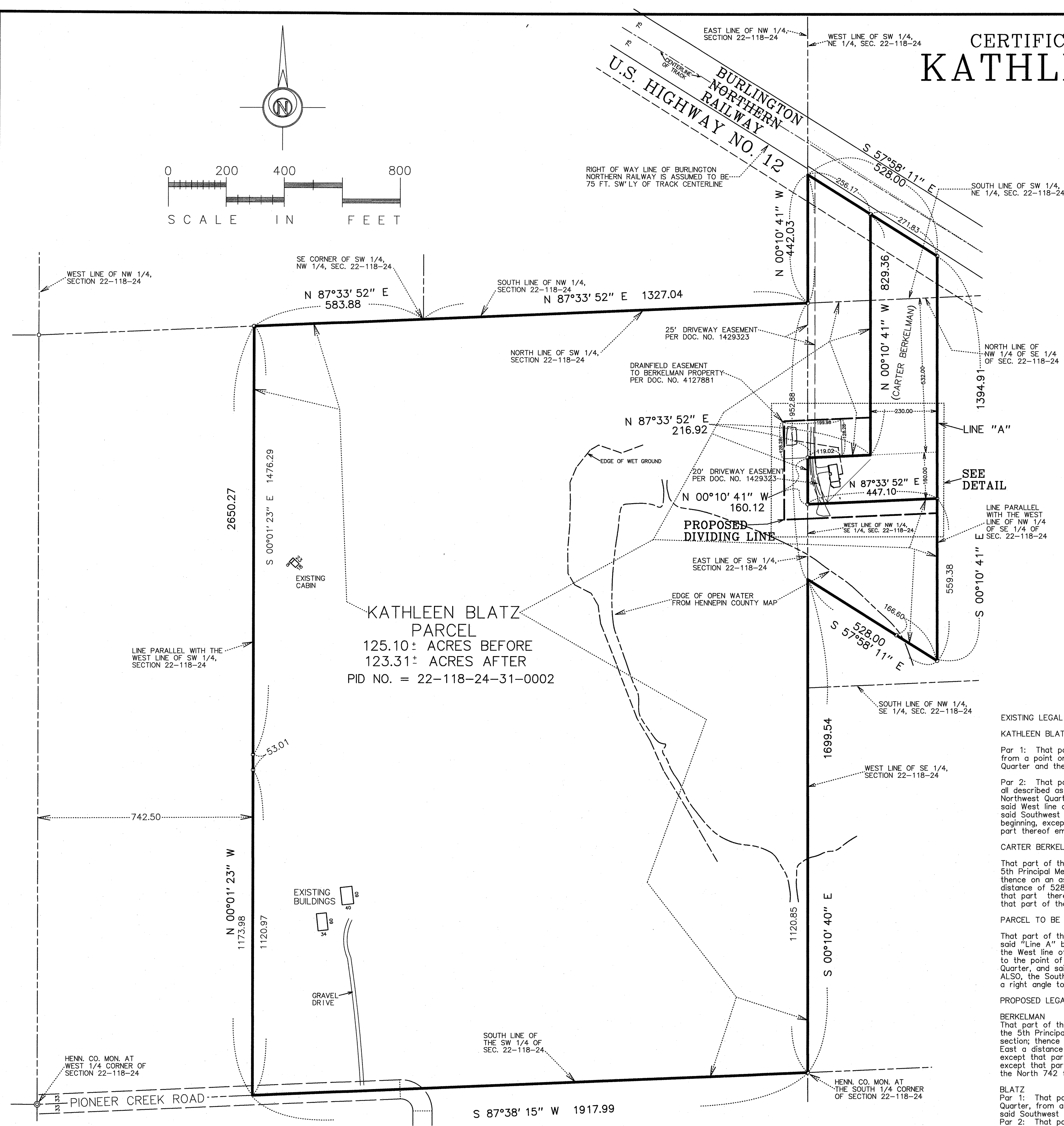
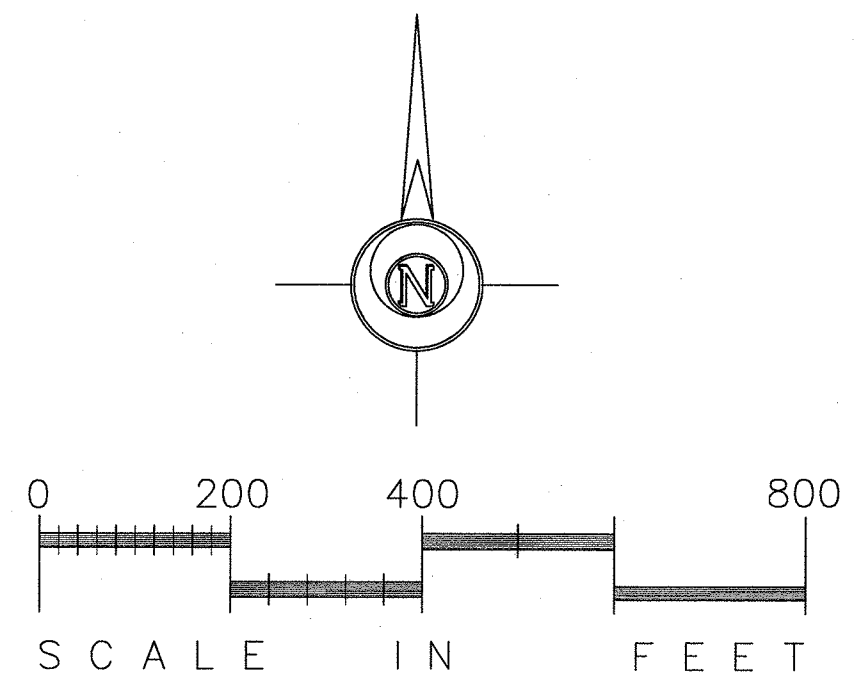
Planning Application Type: Other

Description:

Supporting Documents: Site Survey (Existing Conditions), Site Survey (Proposed Conditions), Building Plans

Signature:

CERTIFICATE OF SURVEY & PROPOSED LOT LINE REARRANGEMENT FOR
KATHLEEN BLATZ & CARTER BERKELMAN
IN SECTION 22-118-24
HENNEPIN COUNTY, MINNESOTA



DETAIL
1" = 50' SCALE

EXISTING LEGAL DESCRIPTIONS :

KATHLEEN BLATZ

Par 1: That part of the Southwest Quarter of Section 22, Township 118, Range 24 lying East of a line drawn North, parallel with the West line of said Southwest Quarter, from a point on the South line of said Southwest Quarter distant 742.5 feet East from the Southwest corner of said Southwest Quarter to the North line of said Southwest Quarter and there terminating.

Par 2: That part of the Northwest Quarter of the Southeast Quarter and that part of the Southwest Quarter of the Northeast Quarter, Section 22, Township 118, Range 24, all described as beginning at the Northwest corner of said Northwest Quarter of the Southeast Quarter; thence on an assumed bearing of South along the West line of said Northwest Quarter of the Southeast Quarter a distance of 952.88 feet; thence South 57 degrees 47 minutes 30 seconds East a distance of 528 feet; thence North, parallel with said West line and its extension, a distance of 1394.91 feet; thence North 57 degrees 47 minutes 30 seconds West a distance of 528 feet to a point on the West line of said Southwest Quarter of the Northeast Quarter distant 442.03 feet North from the point of beginning; thence South along the last mentioned West line to the point of beginning, except that part of the East 230 feet thereof lying North of the South line of the North 532 feet of the Southeast Quarter of said section, and except that part thereof embraced within the South 160 feet of the North 692 feet of the Southeast Quarter of said section.

CARTER BERKELMAN

That part of the Northwest Quarter of the Southeast Quarter and that part of the Southwest Quarter of the Northeast Quarter of Sec 22, Twp 118, Rng 24 West of the 5th Principal Meridian, described as follows: Beginning at a point on the West line of the East half of Section 22 distant 442.03 feet North of the center of said section; thence on an assumed bearing of South along said West line to a point distant 952.88 feet South said center; thence South 57 degrees 47 minutes 30 seconds East a distance of 528 feet; thence on a bearing of North a distance of 1394.91 feet; thence North 57 degrees 47 minutes 30 seconds West a distance of 528 feet to the point of beginning, except that part thereof lying West of the East 230 feet thereof and North of the South line of the North 532 feet of the Southeast Quarter of said section, also except that part thereof lying South of the South line of the North 692 feet of said Southeast Quarter.

PARCEL TO BE TRANSFERRED FROM BLATZ TO BERKELMAN :

That part of the South 50 feet of the North 742 feet of the Northwest Quarter of the Southeast Quarter of Section 22, Township 118, Range 24 lying west of "Line A", said "Line A" being described as Commencing at the northwest corner of said Northwest Quarter of the Southeast Quarter; thence on an assumed bearing of South along the West line of said Northwest Quarter of the Southeast Quarter a distance of 952.88 feet; thence South 57 degrees 47 minutes 30 seconds East a distance of 528 feet to the point of beginning of said "Line A"; thence North, parallel with said West line and its extension to the North line of said Northwest Quarter of the Southeast Quarter, and said "Line A" there ending; ALSO, that part of the East 81 feet of the South 339 feet of the North 742 feet of the Southwest Quarter of said section; ALSO, the South 129 feet of the North 532 feet of the Northwest Quarter of the Southeast Quarter of said section lying west of a line 230 feet west of, measured at a right angle to, and parallel with said "Line A".

PROPOSED LEGAL DESCRIPTIONS : (verify with Torrens Office)

BERKELMAN

That part of the Northwest Quarter of the Southeast Quarter and that part of the Southwest Quarter of the Northeast Quarter of Sec 22, Twp 118 North Rng 24 West of the 5th Principal Meridian, described as follows: Beginning at a point on the East line of the East half of Section 22 distant 442.03 feet North of the center of said section; thence on an assumed bearing of South along said West line to a point distant 952.88 feet South of said center; thence South 57 degrees 47 minutes 30 seconds East a distance of 528 feet; thence on a bearing of North a distance of 1394.91 feet; thence North 57 degrees 47 minutes 30 seconds West a distance of 528 feet to the point of beginning, except that part thereof lying West of the East 230 feet thereof and North of the South line of the North 532 feet of the Southeast Quarter of said section, also except that part thereof lying South of the South line of the North 742 feet of said Southeast Quarter. Also, that part of the East 81 feet of the South 339 feet of the North 742 feet of the Southwest Quarter of said section.

BLATZ

Par 1: That part of the Southwest Quarter of Section 22, Township 118, Range 24 lying East of a line drawn North, parallel with the West line of said Southwest Quarter, from a point on the South line of said Southwest Quarter distant 742.5 feet East from the Southwest corner of said Southwest Quarter to the North line of said Southwest Quarter and there terminating, except the East 81 feet of the South 339 feet of the North 742 feet of said Southwest Quarter.

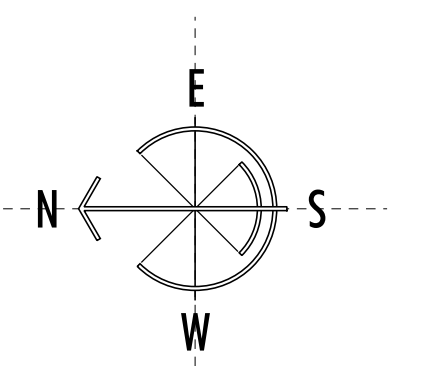
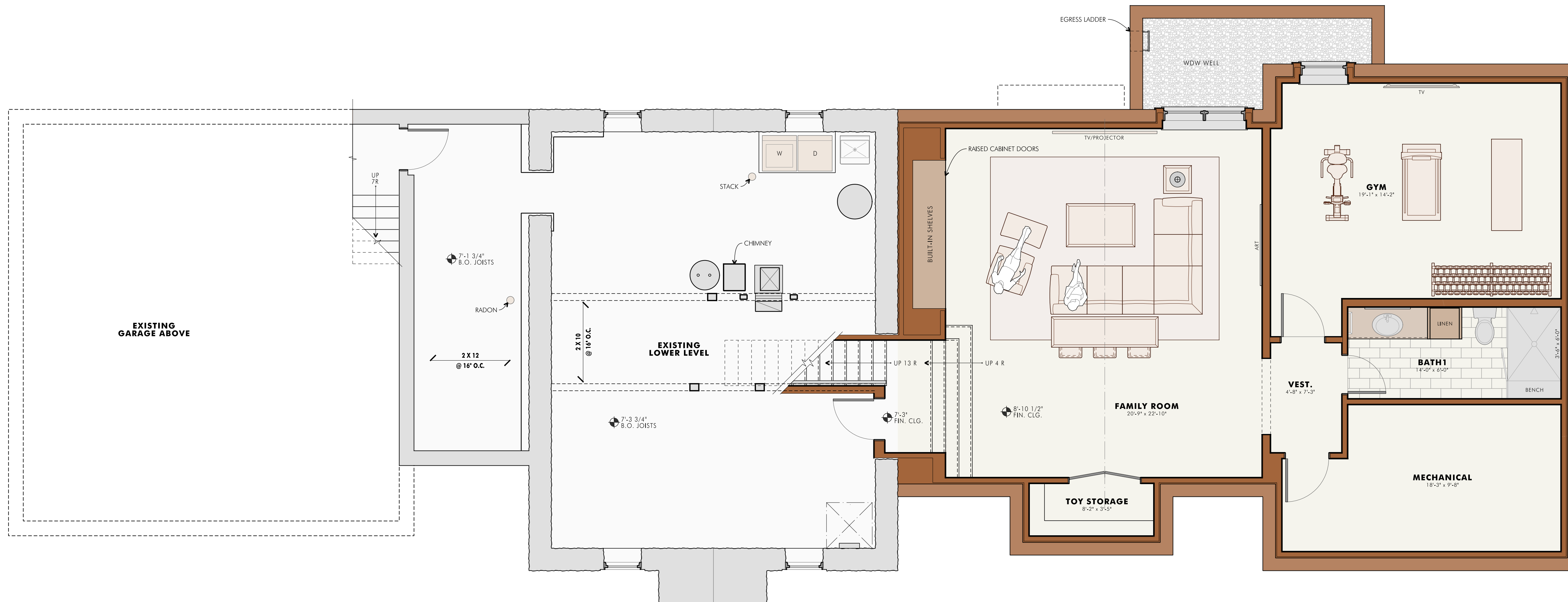
Par 2: That part of the Northwest Quarter of the Southeast Quarter and that part of the Southwest Quarter of the Northeast Quarter, Section 22, Township 118, Range 24, all described as beginning at the Northwest corner of said Northwest Quarter of the Southeast Quarter; thence on an assumed bearing of South along the West line of said Northwest Quarter of the Southeast Quarter a distance of 952.88 feet; thence South 57 degrees 47 minutes 30 seconds East a distance of 528 feet; thence North, parallel with said West line and its extension, a distance of 1394.91 feet; thence North 57 degrees 47 minutes 30 seconds West a distance of 528 feet to a point on the West line of said Southwest Quarter of the Northeast Quarter distant 442.03 feet North from the point of beginning; thence South along the last mentioned West line to the point of beginning, except that part of the East 230 feet thereof lying North of the South line of the North 532 feet of the Southeast Quarter of said section, also except that part thereof embraced within the South 339 feet of the North 742 feet of the Southeast Quarter of said section.

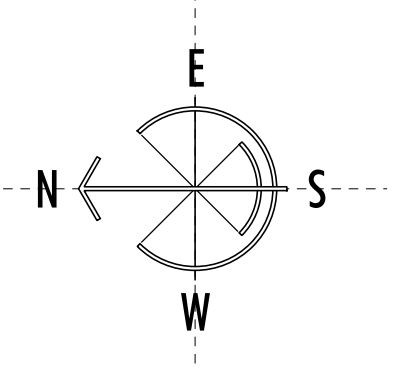
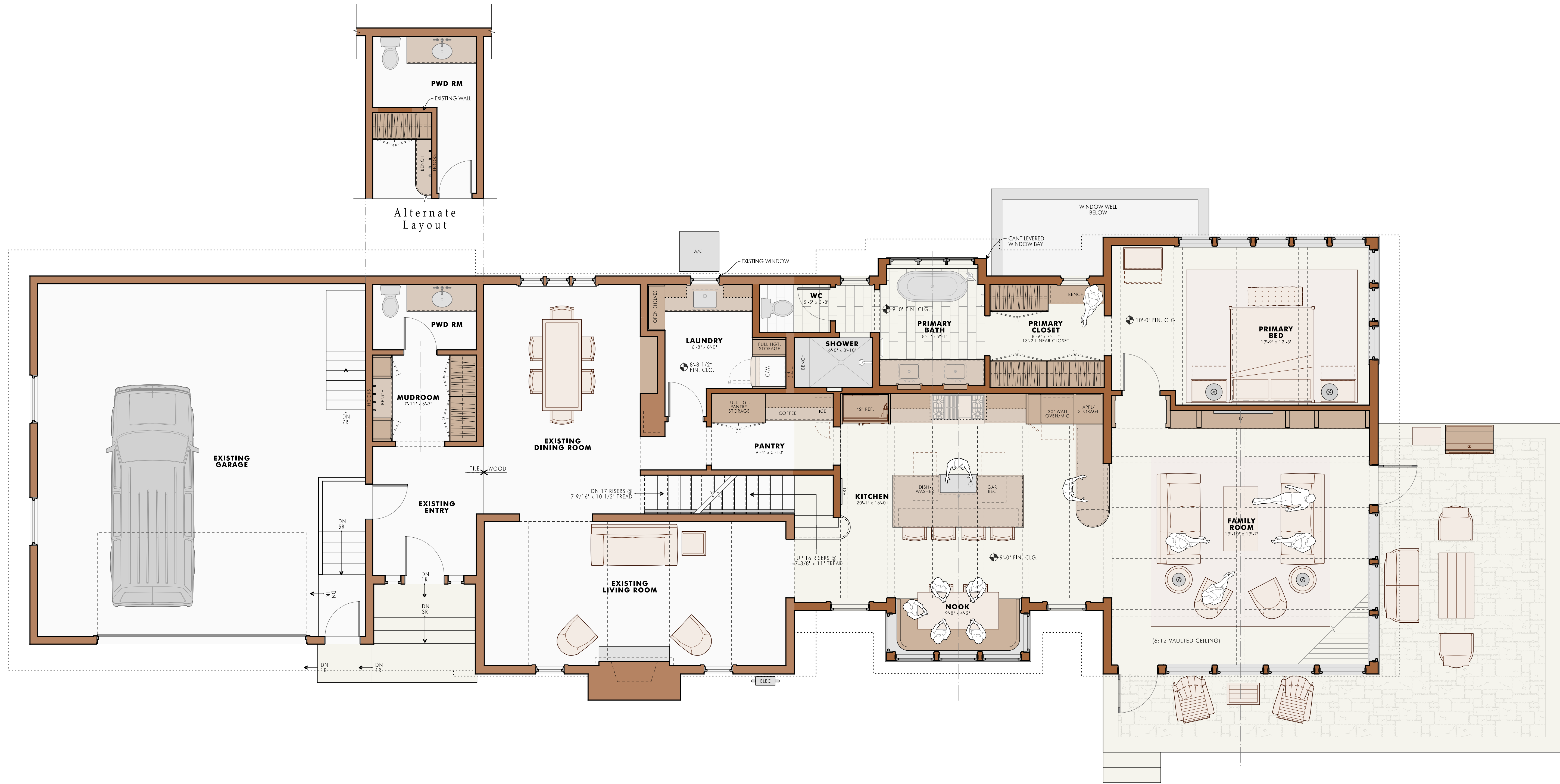
o : denotes iron marker

Bearings shown are based upon an assumed datum

This survey intends to show the boundaries of the above described property, and the location of several existing buildings, and the proposed location of a proposed dividing line thereon. It does not purport to show any other improvements or encroachments.

GRONBERG & ASSOCIATES, INC. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS 445 NORTH WILLOW DRIVE LONG LAKE, MN 55356 952-473-4141	
DATE 8-20-25	SCALE 1"=200'
PROJECT KATHLEEN BLATZ & CARTER BERKELMAN SECTION 22-118-24	
REMARKS I hereby certify that this plan, specification, or report was prepared by me, or under my direct supervision, and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota. <i>Mark S. Gronberg</i> Mark S. Gronberg Minnesota License Number: 12755	
DATE	





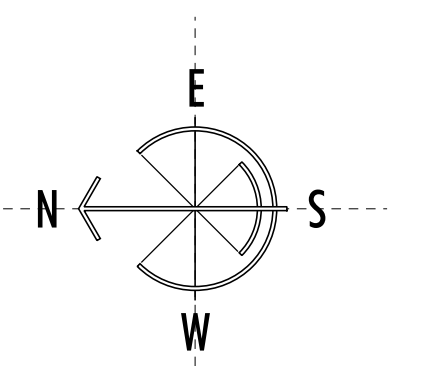
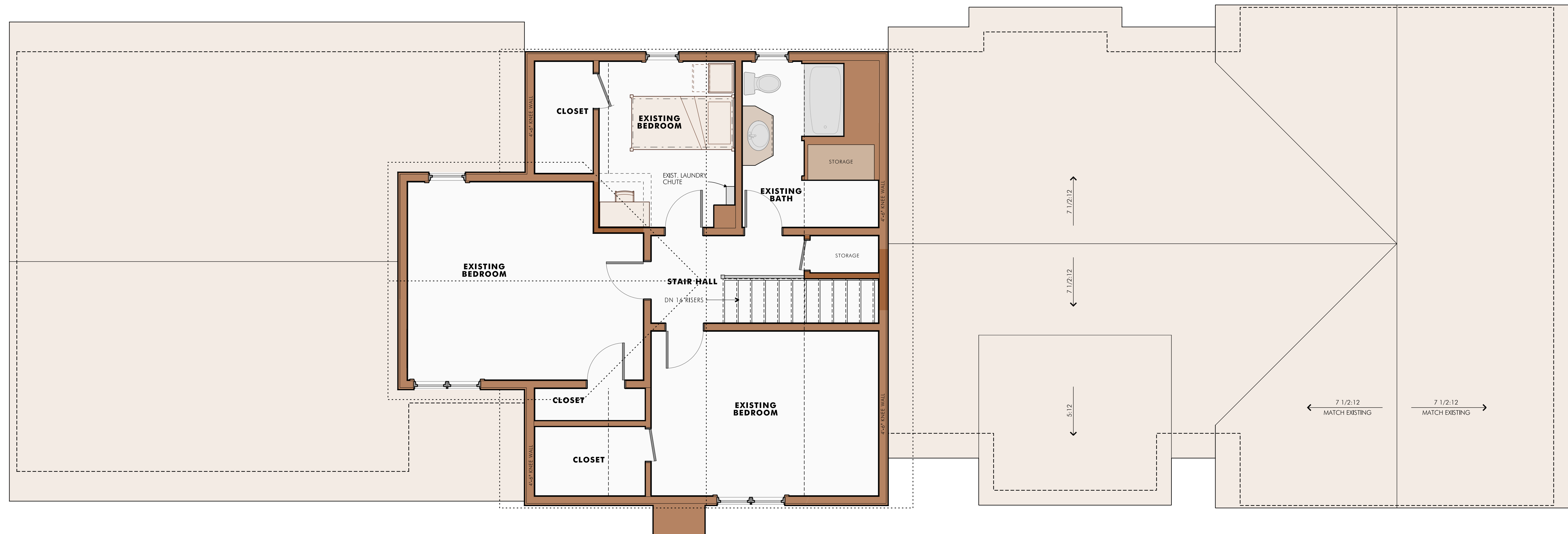
TEA2
ARCHITECTS

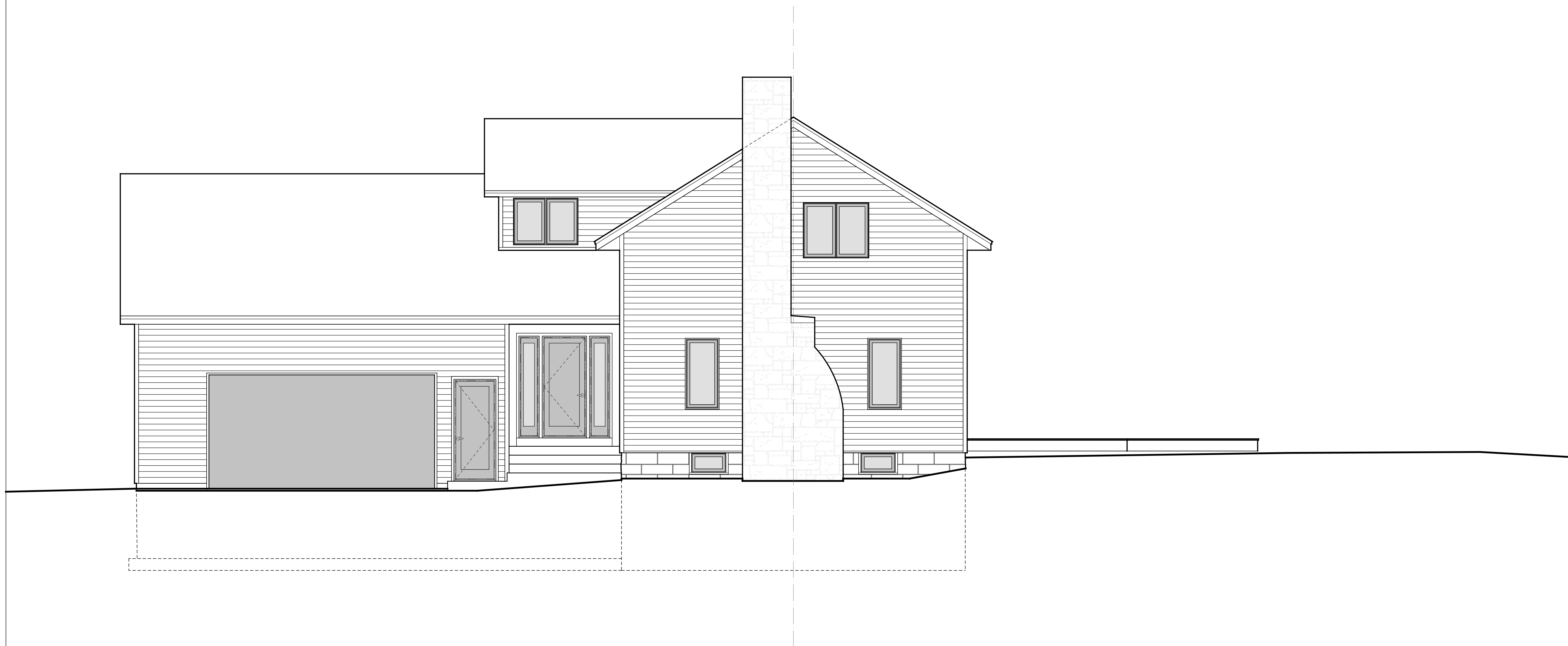
06.17.2025

Proposed First Floor

SCALE: 1/4" = 1'-0"

Berkelman
Krueger
Addition







TEA2
ARCHITECTS

06.17.2025

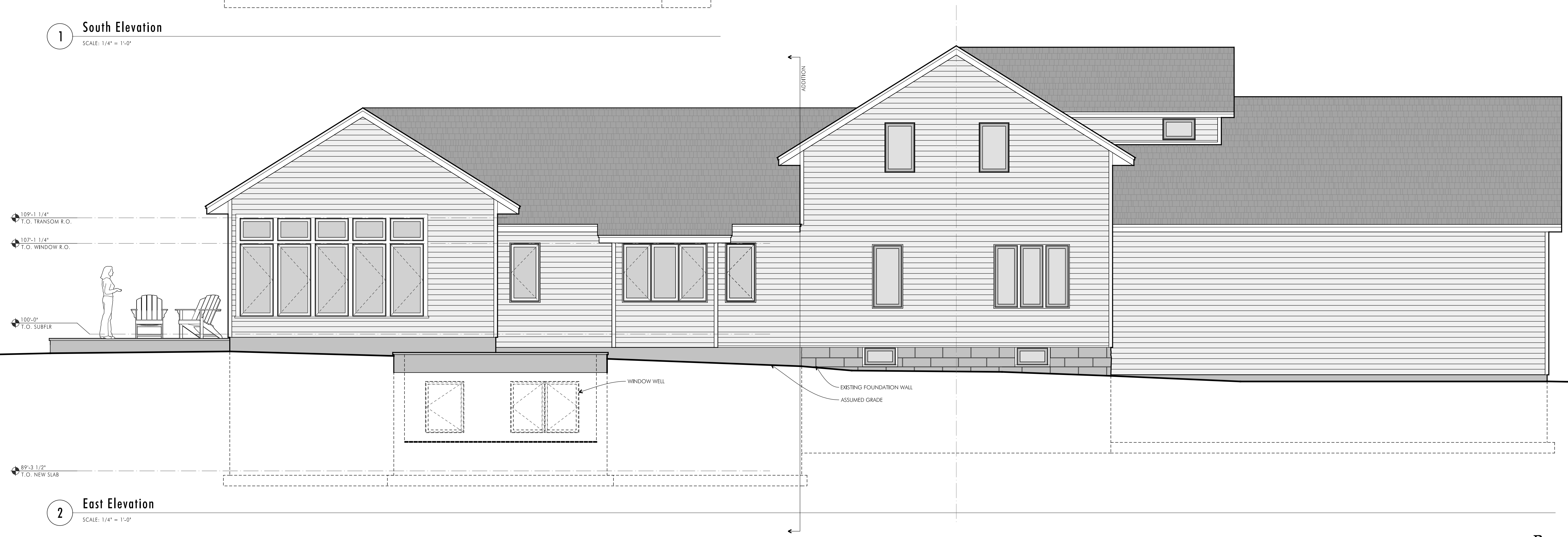
Proposed West Elevation - Option A

SCALE: 1/4" = 1'-0"

Berkelman
Krueger
Addition



1 South Elevation
SCALE: 1/4" = 1'-0"



2 East Elevation
SCALE: 1/4" = 1'-0"

TEA2
ARCHITECTS

06.17.2025

Proposed Elevations

SCALE: 1/4" = 1'-0"

Berkelman
Krueger
Addition



TEA2
ARCHITECTS

06.17.2025

Proposed West Elevation - Option B

SCALE: 1/4" = 1'-0"

Berkelman
Krueger
Addition

City of Independence

Minor Subdivision and Variance to Permit a Rural View Lot for the Property Generally Located Just West of 6551 County Road 6 (PID No. 34-118-24-12-0001)

<i>To:</i>	Planning Commission
<i>From:</i>	Mark Kaltsas, City Planner
<i>Meeting Date:</i>	September 16, 2025
<i>Applicant:</i>	Scott Kirchner
<i>Owner:</i>	Scott Kirchner
<i>Location:</i>	Unassigned Address - County Road 6 (PID No. 34-118-24-12-0001):

Request:

Scott Kirchner (Applicant) and Leroy Kowalke Et Al (Owner) requests that the City consider the following action for the Property located at 6551 County Road 6, Independence, MN (PID No. 34-118-24-12-0001):

- a. A minor subdivision to allow a rural view lot subdivision. The proposed rural view lot would be 16.9 acres and located on the south side of County Road 6 along the east property line.
- b. A variance to allow a rural view lot to exceed the maximum size of 10 acres.

Property/Site Information:

The property is located on the north and south sides of County Road 6 just west of the intersection of County Road 6 and County Road 90. The property is currently vacant with no existing structures. The property is comprised of wetlands, wooded areas and upland pasture areas throughout. The property has the following characteristics:

Property Information: Unassigned Address – PID No. 34-118-24-12-0001

Zoning: Agriculture

Comprehensive Plan: Agriculture

Acreage (BEFORE): 71.18 acres (this was prior to the recent 10-acre subdivision)

Acreage (AFTER): Remainder Parcel – 42.76 acres

Proposed 16.9 Acre Parcel – 16.9 acres

Site Aerial – Unassigned Address on County Road 6



Discussion:

The applicant recently received approval of a rural view subdivision to split off a 10-acre parcel on the south side of CSAH 6 in August of this year. Planning Commissioners briefly discussed whether this property was a nominal 80-acre parcel that could realize two (2) rural view lots rather than just one (1) rural view lot. The city's ordinance states the following relating to rural view lots:

^b For the purpose of determining the number of rural view lots that can be created, the area of a lot of record shall be measured to the center of bounding road rights-of-way.

Furthermore, a lot of record that was originally subdivided into a quarter-quarter section and has not been further subdivided shall be deemed a 40-acre parcel for purposes of determining rural view lot eligibility. For properties within the jurisdiction of the shoreline ordinance (section 505), submerged lands within the boundaries of any waterfront parcel that are located waterward of the ordinary high-water mark shall not be used to compute the area of the lot.

The ordinance specifically describes 40-acre original quarter-quarter sections. The city could interpret this to also apply to nominal and unsubdivided 80-acre parcels. It could be considered that it was an original 80-acre parcel that has not been previously subdivided.

Another factor that has been historically considered by the city when considering rural view lot subdivision and or eligibility relates to the separation of properties that are bisected by an existing road. The city has generally considered properties that are bisected by public roads to have the ability to subdivide. In this case the applicant is now asking the city to consider a second rural view lot subdivision on the south side of CSAH 6. There are currently 16.9 acres of property remaining on the south side of the road after the 10-acre rural view lot was approved in July.

The proposed 16.9-acre parcel would exceed the maximum size allowed for rural view lots. The city would have to consider granting a variance to allow a rural view lot that exceeds the maximum lot size permitted. In this case, the variance would allow a rural view lot to exceed the maximum size of 10 acres by 6.9 acres.

Rural view lots must have the following characteristics:

Lot size required:	between 2.5 and 10 acres
Lot size proposed:	Proposed 10-acre Parcel – 16.9 acres
Minimum lot frontage required:	300 LF (for property between 5-10 acres)
Minimum lot frontage proposed:	572 LF (CSAH 6) / 771.56 LF (Ingerson)
Ratio of lot frontage to lot depth required	- no more than 1:4
Ratio of lot frontage to lot depth proposed	- ~1:1

In addition to the minimum size necessary to subdivide, the ordinance requires a minimum of 2.5 acres of buildable upland, 300 LF of frontage on a right of way and no greater than a 1:4 ratio of lot frontage to lot depth for each rural view lot. Based on the proposed subdivision, the rural view lot would have 16.9 acres of useable upland and more than adequate frontage on both County Road 6 and Ingerson Road.

The remainder of the property (Remainder Parcel) would comprise 42.76 acres and have one principal building entitlement. The Remainder Parcel would easily accommodate a new building pad on either the north or south side of County Road 6 given its overall size, topography and

proposed dimensions. Any development on the property would need to meet all applicable setbacks including those from wetlands. The city has received an on-site septic report verifying that the remainder property can accommodate a primary and secondary on-site septic system. The city is waiting on the report for the proposed 16.9-acre property. The report is required prior to City Council consideration of the subdivision. The applicant has included the requisite drainage and utility easements as required by ordinance (Section 500.15, Subd.'s 1 and 2) for both the the proposed 16.9-acre parcel and the remainder parcel. The remaining property (north of County Road 6) will have no rural view lot subdivision eligibilities following this subdivision.

The City has standards for granting a variance which need to be considered prior to making a recommendation relating to the application. The standards established by the City require the applicant to demonstrate that the requested variance does not create a situation that is not in keeping with the character of the surrounding area. In addition, the applicant must demonstrate that the requested variance is unique to the subject property. The standards for granting a variance are as follows:

520.21. Standards for granting variances. Subdivision 1. The City Council may grant a variance from the terms of this zoning code, including restrictions placed on nonconformities, in cases where: 1) the variance is in harmony with the general purposes and intent of this zoning code; 2) the variance is consistent with the comprehensive plan; and 3) the applicant establishes that there are practical difficulties in complying with the zoning code (Amended, Ord. 2011-08)

Subd. 2. An applicant for a variance must demonstrate that there are practical difficulties in complying with the zoning code. For such purposes, "practical difficulties" means:

- (a) The property owner proposes to use the property in a reasonable manner not permitted by the zoning code;*
- (b) the plight of the property owner is due to circumstances unique to the property not created by the landowner;*
- (c) the variance, if granted, will not alter the essential character of the locality.*

Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems. (Amended, Ord. 2011-08)

Subd. 3. The City Council shall not grant a variance to permit a use that is not allowed under the zoning code based on the zoning classification of the affected property. (Amended, Ord. 2011-08)

520.23. Conditions and restrictions. The board of adjustments may recommend and the City Council may impose conditions on a variance. Conditions must be directly related to

and must bear a rough proportionality to the impact created by the variance. (Amended, Ord. 2011-08)

Consideration of the standards for granting a variance:

- a. The applicants are proposing to use the property in a manner consistent with the AG-Agriculture Zoning District.
- b. The properties created by the subdivision are similar in nature and character to the surrounding properties.
- c. The character of the surrounding area is mixed residential/agricultural and guided for long term agriculture. The proposed subdivision and the properties that would be created appear to be in keeping with the City's comprehensive plan.
- d. The requested variance to allow the subdivision of the property is unique to this property. There may be several other properties in the City that have a similar condition.

The Planning Commission will need to determine if the requested variance to allow the subdivision of the property meets the requirements for granting a variance. The proposed subdivision, if approved, would create two properties that meet all other applicable criteria of the City's zoning ordinance.

The newly created 16.9-acre parcel will be required to pay the City's requisite Park Dedication fee. For this property the requirement is \$12,425.00. This fee will need to be paid prior to recording the subdivision.

*Park dedication fee of \$3,500 per lot up to 4.99 acres,
plus \$750 per acre for each acre over 5 acres*

The city should note the following:

- The applicant will be required to submit verification of a primary and secondary on-site septic location for the proposed lot prior to City Council consideration of the requested minor subdivision.
- The city will address the property once approved.
- There are no remaining eligibilities with the north property.

The city will need to make two findings related to the requested minor subdivision and variance:

- The city will need to find that the intent of the rural view lot ordinance to include 80-acre properties that have not been subdivided and are considered original quarter-quarter sections.
- The city will need to find that the applicant has met all applicable criteria for granting a variance.

Neighbor Comments:

The City had not received any written or verbal comments prior to this report being prepared.

Recommendation:

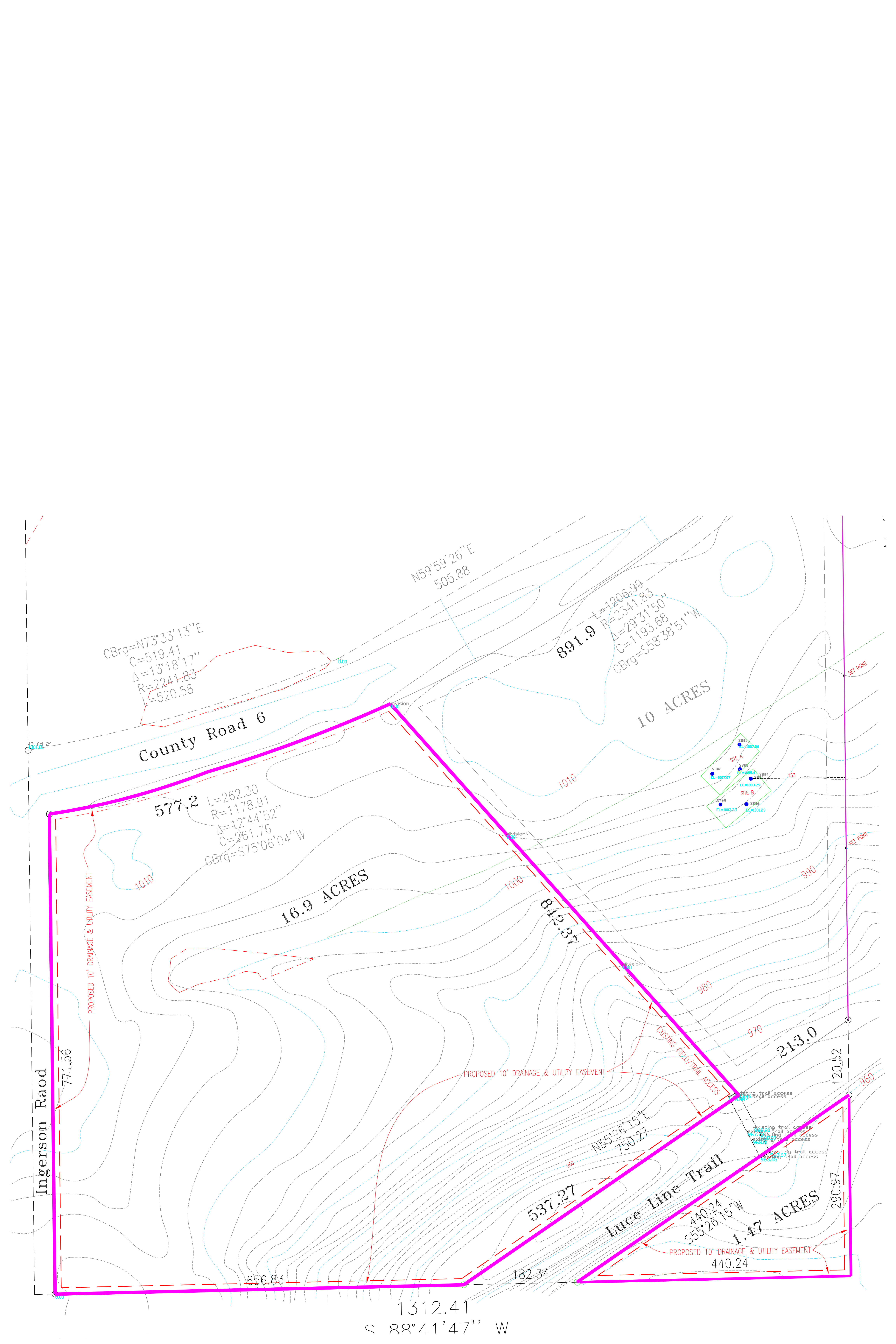
Staff is seeking a recommendation from the Planning Commission regarding the request for a rural view lot subdivision and variance to allow a lot that exceeds the maximum lot size. Should the Planning Commission make a positive recommendation to the City Council, the following findings and conditions:

1. The proposed rural view lot subdivision and variance meet all applicable conditions and restrictions stated Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. Prior to City Council consideration of the application, the applicant shall submit the following information to the city for review:
 - a) The applicant will be required to submit verification of a primary and secondary on-site septic location for the proposed lot.
3. City Council approval of the rural view lot subdivision and variance is subject to the following:
 - a) The Applicant shall pay the park dedication fees in the amount of \$12,425.00 for the newly created 16.9-acre Parcel, prior to the applicant receiving final approval to record the subdivision by the City.
 - b) The Applicant shall pay for all costs associated with the City's review of the requested minor subdivision.
 - c) The Applicant shall record the subdivision and City Council Resolution with the county within six (6) months of approval.
 - d) The Applicant shall execute and record the requisite drainage and utility and right of way easements with the county within six (6) months of approval.

- e) The Remainder Parcel will have no remaining rural view lot eligibilities.
- 4. The proposed subdivision meets the criteria for granting a variance due to the following findings:
 - a) The resulting rural view lot is in keeping with the character of the surrounding area.
 - b) The applicant did not create the condition that causes the property to have unique circumstances that warrant the variance.
- 5. The variance will allow a 16.9 acre rural view lot as shown on the approved survey exhibit.

Attachments:

- 1. Application
- 2. Proposed Subdivision Exhibit (Before and After)



EXISTING PROPERTY DESCRIPTION:

The West Half of the North 15/16ths of the Northeast Quarter of Section Thirty-four (34), Township One Hundred Eighteen (118), Range Twenty-four (24), Hennepin County, Minnesota.

Except the right of way of the Minnesota Western Railway Company, formerly known as the Electric Shortline Railway Company, now known as Luce Line Trail, described in the Government Survey thereof as shown in Deed filed as Document No. 722266.

Hennepin County, Minnesota

AREA: 3,284,959 square feet = 75,412 acres.

PROPOSED 10 ACRE PARCEL DESCRIPTION:

That part of the West Half of the North 15/16ths of the Northeast Quarter of Section 34, Township 118, Range 24, Hennepin County, Minnesota, known as the right of way of the Minnesota Western Railway Company, now known as Luce Line Trail, according to the Government Survey thereof as shown in Deed filed as Document No. 722266.

Being described as follows:

Beginning at the northeast corner Northeast Quarter of Section 34, Township 118, Range 24; thence South 88 degrees 08 minutes 24 seconds East 1314.53 feet to the north line of said West Half of the North 15/16ths of said Northeast Quarter; thence South 0 degrees 38 minutes 10 seconds East along the east line of said West Half of the North 15/16ths a distance of 1125.63, more or less, to the southerly line of the Highway Easement described in Document No. 6554238 and the point of beginning of the property to be described; thence continuing South 0 degrees 38 minutes 10 seconds East a distance of 1019.37 feet, more or less, to the north line of Luce Line Trail; thence South 55 degrees 26 minutes 15 seconds West along said north line a distance of 211.77 feet; thence North 41 degrees 46 minutes 57 seconds West 842.56 feet, more or less, to the southerly line of said Highway Easement; thence continuing South 0 degrees 38 minutes 10 seconds East a distance of 882.04 feet, also being a non tangential curve concave to the north having a radius of 2341.83 feet, a central angle of 21 degrees 49 minutes 29 seconds and the chord of said curve bears North 54 degrees 47 minutes 41 seconds East to the point of beginning.

AREA: 435,554 square feet = 9,999 acres.

PROPOSED REMAINDER PARCEL DESCRIPTION:

The West Half of the North 15/16ths of the Northeast Quarter of Section Thirty-four (34), Township One Hundred Eighteen (118), Range Twenty-four (24), Hennepin County, Minnesota.

EXCEPT

The right of way of the Minnesota Western Railway Company, formerly known as the Electric Shortline Railway Company, now known as Luce Line Trail, described in the Government Survey thereof as shown in Deed filed as Document No. 722266.

ALSO EXCEPT That part of the West Half of the North 15/16ths of the Northeast Quarter of Section 34, Township 118, Range 24, Hennepin County, Minnesota described as follows:

Beginning at the northeast corner Northeast Quarter of Section 34, Township 118, Range 24; thence South 88 degrees 08 minutes 24 seconds West along said north line a distance of 1314.53 feet to the north line of said West Half of the North 15/16ths of said Northeast Quarter; thence South 0 degrees 38 minutes 10 seconds East along the east line of said West Half of the North 15/16ths a distance of 1125.63, more or less, to the southerly line of the Highway Easement described in Document No. 6554238 and the point of beginning of the property to be described; thence continuing South 0 degrees 38 minutes 10 seconds East a distance of 1019.37 feet, more or less, to the north line of Luce Line Trail; thence South 55 degrees 26 minutes 15 seconds West along said north line a distance of 211.77 feet; thence North 41 degrees 46 minutes 57 seconds West 842.56 feet, more or less, to the southerly line of said Highway Easement; thence continuing South 0 degrees 38 minutes 10 seconds East a distance of 882.04 feet, also being a non tangential curve concave to the north having a radius of 2341.83 feet, a central angle of 21 degrees 49 minutes 29 seconds and the chord of said curve bears North 54 degrees 47 minutes 41 seconds East to the point of beginning.

AREA: 2,849,405 square feet = 65,413 acres.

SUBDIVISION SUMMARY:

The total number of Parcels is equal to 2.
The total area is 5,129,459 square feet.

PROPOSED AREAS:

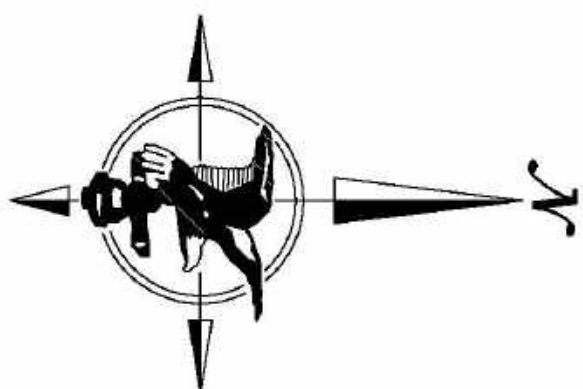
Site Area Existing Property equals 3,284,959 square feet = 75,412 acres.

Site Area 10 Acre Parcel equals 435,554 square feet = 9,999 acres.

Site Area Remainder Parcel equals 2,849,405 square feet = 65,413 acres.

GENERAL NOTES:

- The bearing system used is based on Hennepin County Coordinate System.
- The location of the underground utilities shown hereon, if any, are approximate only PURSUANT TO MSA 21B0 CONTACT COPPER STATE ONE CALL AT (612) 454-0002 PRIOR TO ANY EXCAVATION.
- Subject property is identified as being in "Zone X Other Areas" on Flood Insurance Rate Map No. 27053C02605, effective date November 4, 2016.
- Site Area = 3,284,959 square feet = 75,412 acres. (including right of way).
- Site Area = 3,284,959 square feet = 75,412 acres. (per deed).
- Site Area = 3,284,959 square feet = 75,412 acres. (including right of way).
- This survey was made on the ground.
- In preparing this survey I have relied upon the supporting documents and the commitment for title insurance issued by Barnett Title and Old Republic National Title Company, having an effective date of March 23, 2025 and bearing the number 230925-0241.



SCALE: 1 INCH = 150 FEET

REVISIONS

Date:	

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota

Thomas E. Hodcroft, L.S. 117
Minnesota Reg. No. 23677

Date: June 27, 2025

PROPOSED PROPERTY SUBDIVISION

For:

INVEST WISE CAPITAL

SITE:

UNASSIGNED ADDRESS

PID: 3411824120001

INDEPENDENCE, MINNESOTA

HENNEPIN COUNTY



9063 Lyndale Avenue South
Bloomington, MN, 55437
Tele. 952-884-5341 Fax 952-884-5344

www.hjsurveyors.com

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