



PLANNING COMMISSION MEETING AGENDA
TUESDAY APRIL 15, 2025

7:30 PM REGULAR MEETING

1. Call to Order
2. Roll Call
3. Approval of Minutes:
 - a. February 18, 2025, Planning Commission Meeting Minutes (no meeting in March).
 - b. March 4, 2025, City Council Meeting Minutes (For Information Only).
4. **PUBLIC HEARING:** Buell Consulting, LLC – on behalf of Verizon (Applicant) and Larry and Susan Vensel (Owner) requests that the City consider the following action for the property located at 87 McCulley Rd., Independence, MN (PID No. 36-118-24-44-0009):
 - a. A Conditional Use Permit to allow a new telecommunications tower on the subject property.
 - b. Site plan review and conditional use permit to allow a new 180-foot-tall telecommunications tower on the subject property.
5. **PUBLIC HEARING:** Christine Parr (Applicant/Owner) requests that the City consider the following action for the Property located at 3850 County Line Road Independence, MN (PID No. 07-118-24-22-0006):
 - a. An interim use permit (IUP) to allow a non-commercial kennel (five personal dogs) on the subject property.
6. **PUBLIC HEARING:** Robert Youngquist (Applicant/Owner) requests that the City consider the following action for the Property located at 6625 Fogleman Road Independence, MN (PID No. 10-118-24-43-0010):
 - a. A minor subdivision to allow a lot line rearrangement to shift a portion of the north/south property line that divides the two properties approximately 80 feet to the east.
7. Open/Misc.
8. Adjourn.

MINUTES OF A MEETING OF THE
INDEPENDENCE PLANNING COMMISSION
TUESDAY, FEBRUARY 18, 2025, AT 7:30 PM

1. CALL TO ORDER

Pursuant to due call and notice thereof, a work session of the Independence Planning Commission was called to order by Chair Gardner at 7:30 p.m.

2. ROLL CALL:

PRESENT: Commissioners Gardner (Chair), Thompson, Volkenant, Dumas, & Alternate Usset (vote counted in Tearse' absence).

ABSENT: Tearse and Alternate Story.

STAFF: City Administrator Kaltsas, Administrative Services Director Simon

VISITORS: See Sign-In Sheet

3. Approval of Minutes:

- a. January 21, 2025, Planning Commission Meeting Minutes.
- b. February 4, 2025, City Council Meeting Minutes (For Information Only).

Motion by Thompson, seconded by Volkenant to approve the minutes. Ayes: Gardner, Thompson, Volkenant, Dumas, and Usset. Nays: None. Absent: Tearse and Story. Abstain: None. Motion Approved. 5-0

4. PUBLIC HEARING: A proposed text amendment to the City of Independence Ordinance as follows:

- a. A text amendment to Chapter V, Sections 510 and 530 of the city's zoning ordinance relating to regulations governing cannabis businesses. The ordinance amendment will consider establishment of regulations pertaining to the definitions associated with a cannabis business and the permitted zoning district and associated standards.

Discussion:

On July 31, the Office of Cannabis Management issued the first draft of its administrative rules related to adult-use cannabis in Minnesota – the language can be found at the following [link](#). The section on local government control is sparse and only provides clarification related to the registration process.

Under the Cannabis Act, cities generally maintain their ability to enact zoning regulations with two primary limitations: (1) the City may not prohibit the establishment or operation of a cannabis or hemp business licensed by the OCM; and (2) the Legislature has established a maximum buffer from certain uses. Cities will retain the ability to enact zoning ordinances even if it consents to have the county issue registrations (City Council may consider a registration requirement).

The City can amend its zoning code to specifically allow each business type in a particular district or it can choose to simply allow cannabis businesses in zones with similar uses (e.g., retailers in commercial zones with other retail). Staff has reviewed the current zoning districts within the city and drafted an ordinance amendment for further consideration by the Planning Commission. Attached to this report are the draft zoning and registration ordinances (registration ordinance for information only). The following summarizes the key elements of the proposed draft ordinance amendment:

- The city can determine which types of cannabis businesses can be in which zoning districts of the city. Staff has reviewed the various uses and recommends that all cannabis uses are considered as conditional uses within their respective zoning districts. The following is a comprehensive table of the types of uses and their proposed allowable zoning district in the city. Staff prepared this for an initial discussion only and will be seeking Planning Commission feedback relating to the various uses and allowed zoning districts.
- Low Potency Hemp edible retailers (i.e., tobacco or smoke shops, liquor stores selling infused drinks) would be permitted only within the CLI – Commercial Light Industrial zone and limited in number to three (3) (see attached zoning map). The city could also consider limiting these uses to the UC-Urban Commercial zoning district near the County border. Staff will be seeking consideration and discussion relating to possible zoning districts.
- All other cannabis businesses are permitted only within the MU-BRLI, Subzone C zoning district (see attached zoning map). The city could also consider limiting these uses to the UC-Urban Commercial zoning district near the County border. Staff will be seeking consideration and discussion relating to possible zoning districts.
- Cannabis retailers, Cannabis Microbusinesses, Cannabis Mezzobusiness, and Medical Cannabis Retailer are limited to one (1) for the entire city (cities less than 12,500 can limit to 1).
- All cannabis business (including low potency hemp) are conditional uses.
 - The city can add additional conditions within the CUP portion of the ordinance if more restrictions are reasonable. Staff is seeking additional direction relating to the additional conditions from the Planning Commission.
- A local unit of government may prohibit the operation of a cannabis business within (maximum buffer distance allowed):
 - 1,000 feet of a school; or
 - 500 feet of a day care, residential treatment facility, or an attraction within a public park that is regularly used by minors, including a playground or athletic field.

The terms school, day care, residential treatment facility, and attraction within a public park that is regularly used by minors, including a playground or athletic field are not further defined in statute or administrative rule, so the city has some discretion in

defining these terms. The OCM guide includes some definitions that were drafted for the OCM's model ordinance (which is different than the administrative rules).

The city has prepared a map showing only the 500' draft buffer boundary from the Pioneer Creek Community Park – this is the only park that would intersect with possible areas (CLI) zoned for cannabis businesses (see attached). Staff will seek Planning Commission direction relating to the prescribed buffers.

- As noted above, it is anticipated that the City Council will consider adding a registration requirement to all cannabis businesses as provided below. This ordinance amendment is outside of the subdivision and zoning regulations and is not part of the Planning Commissions review authority.
 - The OCM reviews, approves, and issues cannabis business licenses. However, each retail business must also register with the city in which it will operate, unless the city has consented to the county issuing registrations on its behalf. A registration fee can be imposed in addition to the state license fee.
 - The registration process involves issuing a registration to a retail business that: (1) has a valid license issued by the OCM; (2) has paid the registration fee or renewal fee (if applicable); (3) is found to be in compliance with the requirements of the Cannabis Act at any preliminary compliance check; and (4) if applicable, is current on all property taxes and assessments.

Summary:

Staff will be seeking feedback and direction from the Planning Commission relating to the materials presented within this report. Based on feedback and direction provided, the draft ordinance can be recommended to the City Council for consideration.

Kaltsas - Because we can't prohibit, we have to include Cannabis as a definition and prescribe where they are allowed to go. We can't say we don't allow them at all. Office of Cannabis Management/OCM doesn't have their process finalized, so a lot of cities have been waiting. We need to adopt, but we can change or amend. We need to do something to be compliant. Independence is somewhat different. We have limited commercial areas and huge land areas.

We took the different types of businesses that have been identified by the State relating to cannabis use, and those are listed in the table that's in the staff report. Those are Cannabis Retailer, Medical Cannabis Retailer, Cannabis Delivery Service, Low Potency Hemp Retailer, Cannabis Cultivator, Medical Cannabis Cultivator, Cannabis Event Organizer, Cannabis Manufacturer Medical Cannabis Manufacturer, Low-Potency Hemp Edible Manufacturer, Cannabis Testing, Cannabis Wholesaler, Cannabis Transporter, Medical Combination Business, Cannabis Mezzobusiness, and Cannabis Microbusiness. We took the state definitions. We are suggesting that we adopt those definitions for each of those various businesses within the ordinance.

We can limit the number of certain types of businesses like Low Potency Hemp. Due to our city's population being less than 12,500, we can limit the number of users to a minimum of (3), and for businesses that are either a Cannabis Retailer, Cannabis Microbusiness, Cannabis, Mezzobusiness, or a Medical Cannabis Retailer (our full potency retail businesses), we can limit it to (1).

Lastly, we can establish buffer zones similar to ones we've established for Predatory Offenders. You can establish buffer zones that are 1,000 ft from schools or 500 ft from daycares, residential treatment facility, or an attraction within a public park that is regularly used by minors, including playgrounds or athletic fields. Recommending Cannabis Business only be permitted in zoning districts and are done as Conditional Use Permits/ CUPs. We may not need that in the future, but we don't yet know what these will look like or their impacts. One use out of all of this with likelihood is the Lower Potency Hemp Retailer, like liquor stores or tobacco shops. We do get calls about tobacco shops near County Rd 90 and Hwy 12. Some of the high potency businesses, the State does them by lottery and require getting a license. You can't just open one. The buffer from the park – 500ft.

Dumas – (looking at the map) Regarding lot lines – Is the rule you can't be in the gray but if in the blue you would be ok?

Kaltsas – Technically it's 500ft from the building to the edge of the property.

Volkenant – Buffer has to be 500ft from residential property? That's a huge chunk.

Kaltsas – We have carved it out. In Maple Plain they thought would be in a Mixed Used Gateway District where the old Food Mart is behind the bank is a park. "500ft from all parks with exception of south line of Meadow Park." If we wanted to do something similar, we could craft it to be 500ft from NW and SW lines of the park and not whatever else.

Thompson – Why not Commercial/Light Industrial/CLI and Urban Commercial/UC?

Kaltsas – Urban Commercial/UC may be a good spot too. We did approve a retail space out there.

Developer is planning on building that now.

Thompson – Agricultural/AG district isn't appropriate.

Kaltsas – We aren't talking field crop. We do have a lot of AG buildings. If we allowed it in AG district, we have to be very careful because you could get someone to buy farm and grow in large buildings. It's indoor production.

Thompson - Not all AG is created equal.

Dumas – If you put it in Commercial, it won't be very much. Are there any Tax ramifications? Is there a tax revenue for us at all?

Kaltsas – That's a whole other subject. Nominal licenses. No one knows how we are getting revenue from this yet. A lot of it is cash business and revenue hasn't happened yet. Cities don't get local sales tax. All regulated by the state. Licenses of \$500 is all we can charge.

Thompson – Language matters – I would call out the list – City Attorney to look into this to not have 1 of each type. The language in here regulated used by minors. What counts to establish those boundaries?

Kaltsas – public park is broad.

Thompson – It says a foreign item in park but not park itself.

Kaltsas – The interpretation now says public park. I can have the City Attorney weigh in.

Thompson – Baker Park that is huge, but the playground and campsite are small for that 500 ft buffer.

Regarding Districts – AG would be crazy. Why not both UC and CLI districts? The smallest district and furthest away is Urban Commercial/UC.

Dumas – Are we interested in tracking these or not?

Gardner – Not for \$500.

Usset – CLI. I have small children. There's nothing to say that it can't go in eventually.

Gardner - There's no retail in Independence.

Kaltsas – Tobacco isn't expressly permitted. We don't have to allow that to be a use, but we do have to for Cannabis. If you think about land use regulation, we can regulate anything, but we can't get away from allowing this.

Thompson – Do you think there is heat taken if we go back and say there is a little district on the edge of the city that nothing is in it?

Kaltsas – Every city did that initially. Urban Commercial/UC is 60 or 75 acres of land you can buy, build, open. You could separate them. Maple Plain put Low Potency Hemp Edible on the highway and then others in commercial areas. Do you want a tobacco shop?

Thompson – No retail shop right by the park. Why does there need to be a buffer?

Kaltsas – We can include the recommendation to not include the max buffer.

Volkenant – What if you have people that want to produce in an AG area and use the horse complex to convert it to production?

Thompson – You can if we don't say it's an CUP. If our unit of measure is zoning district, you are either turning AG on or off. You are proposing turning AG on.

Dumas – I don't see a benefit to the city growing this all over the city.

Kaltsas – Cannabis is regulated. We can allow Hemp under crop, and we don't have a regulation against that right now. We are talking about hemp with a THC potency. Those are not being grown in fields, but hemp is being grown for sure. No, THC is not regulated under this.

Thompson – If someone in AG is growing hemp, can he do that? Would it be CUP, amendment?

Kaltsas – It is permitted because our AG list is other things like AG. It can be used for ropes, sweaters, etc.

Thompson – Just not Potent Cannabis.

Volkenant – There are so many restrictions. Taking an indoor arena and turned it into a growing facility and you would never know. It's not impossible.

Thompson – Do we add AG to the list of non-retail? I don't see a reason to do that.

Kaltsas – We do allow retail sales of AG grown on the premises.

Dumas – I'd be ok to start small and expand later

Volkenant – Allowing a CUP for business, isn't that setting a precedence?

Kaltsas – CUP within the CLI & UC like Auto repair and auto sales is a CUP. CUP would be the way to do it because we don't know what it all looks like- employees, security, parking, etc.

Thompson – You'd mentioned Iron Exchange. What about Ox Yoke and Windsong?

Kaltsas- They fall into the Retail. If they sold it today, they'd be grandfathered but not into the number of licenses though. These are Off-Sale liquor licenses which differ from On-Sale ones.

Thompson – Are we all aligned on the limited Low Potency to 3 and larger Retail to 1 based on our population?

Kaltsas – Changes to increase the number of licenses can happen later if the City decides that.

Motion by Thompson, seconded by Usset recommending amendment changes to Sections 510 and 530 pertaining to regulations to governing cannabis business allowing Planning Commission feedback for Retail types as designated to be Urban Commercial/UC only and the balance of the license types to be both Commercial Light Industrial/CLI and Urban Commercial/UC limiting Low Potency Hemp to (3) locations with the City- Retailers, Micro and Mezzo businesses as well as Medical Retailer limited to (1), and elimination of the buffer zone around Pioneer Park as no retail is present, and have the City Attorney to review the language. Ayes: Gardner, Thompson, Volkenant, Dumas, & Alternate Usset. Nays: None. Absent: Tearse & Story. Abstain: None. Motion Approved. 5-0

6. Open/Misc.

City Council authorized our City Engineer to do a study for water for Hilltop property SW of Maple Plain. We approved CompPlan with that being Low Density and MetCouncil will extend pipe to help. Maple Plain discussed water, and their Engineer said we may not have enough for both our plans and selling it to others- how much we could sell. So, there's a little setback. The Developer is going to pay for a water feasibility study. 2 things: We are going to review with Maple Plain permission, their system

to expanded, improved, enhanced, and secondly, what it would look like to develop our own system?

Dumas- Would we have to put in a treatment plant?

Kaltsas – We would have to have something. If Independence has their own, it could just be storage and chemical treatment but not full water treatment. What does it look like for well and tower system and what does it cost for both?

7. Adjourn.

Motion by Thompson, seconded Volkenant by to adjourn.

Meeting adjourned at 8:21 p.m.

Respectfully Submitted,
Linda Johnson/ Recording Secretary

MINUTES OF A REGULAR MEETING OF
THE INDEPENDENCE CITY COUNCIL
TUESDAY, MARCH 4, 2025 – 6:30 P.M.
City Hall Chambers

1. CALL TO ORDER

Pursuant to due call and notice thereof, a regular meeting of the Independence City Council was called to order by Mayor Spencer at 6:30 p.m.

2. PLEDGE OF ALLEGIANCE.

Mayor Spencer led the group in the Pledge of Allegiance.

3. ROLL CALL

PRESENT: Spencer, Betts, McCoy

ABSENT: Grotting, Fisher

STAFF: City Administrator Kaltsas, Administrative Services Director Simon, Public Works Supervisor Ben Lehman

VISITORS: City Attorney Vose, Bill Stoddard, Bob Topp.

4. ****CONSENT AGENDA****

All items listed under Consent Agenda are considered to be routine by Council and will be acted on by one motion. There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- a. Approval of City Council Minutes from the February 18, 2025, Regular City Council Meeting.
- b. Approval of Accounts Payable; (Batch #1 - Checks No. 23460-23465, Batch #2 - Checks No. 23466-23480, Batch #3 - Checks No. 23481-23494 and Batch #4 - Checks No. 23495-23505).
- c. Approval of annual liquor/tobacco license renewals for the following establishments:
 - i. Ox Yoke Inn - Off Sale, On Sale and Sunday License
 - ii. Windsong Farm Golf Club LLC - Off Sale, On Sale, Sunday and Tobacco License
 - iii. Pioneer Creek Golf LLC - On Sale and Sunday License
- d. Approval of a Temporary Gambling Permit – Orono Baseball Association Event on May 4, 2025.

Motion by Betts, seconded by McCoy to approve the Consent Agenda. Ayes: Spencer, Betts, and McCoy. Nays: None. Absent: Grotting, Fisher. Abstain. None. MOTION DECLARED CARRIED. 3-0

5. Set Agenda – Anyone Not on the Agenda can be Placed Under Open/Misc.

6. Reports of Boards and Committees by Council and Staff.

Betts – None

McCoy – None

Spencer attended the following meetings:

- League of Minnesota Cities/LMC Experience Conference
- lunch with Marvin
- met with Joe Baker and a resident about wetland violation

Simon – None

Kaltsas – None

7. **PUBLIC HEARING:** City Council Consideration of the City’s Street Reconstruction Plan for the years 2025-2029 (the “Plan”) and the issuance of general obligation street reconstruction bonds in an estimated aggregate principal amount not to exceed \$2,000,000 (the “Bonds”).

Tammy – Northland Public Finance serving as an advisor. In order to issue general obligation bonds for the street reconstruction plan, you must have specific authority. When there are no assessments or when less than 20%, in order to issue street reconstruction bonds, you must hold Public Hearing (doing tonight), then a resolution, and must not to exceed \$2 million but no more than that without having another Public Hearing. This resolution is subject to reverse referendum and was published in the paper. Voters would have 30 days to file petition and would require 5% of previous municipal election to call it to a vote. Tonight is about taking action related to authority to issue bonds up to \$2 million. Later there will be another council meeting about the sale of bonds.

Kaltsas – We’re working on those plans trying to find the exact amount and figuring out what the bid looks like. We have made it known that we will be doing bids and reached out to a few. This is unique, not many cities go out for 50,000 tons of gravel road. Lots of cities do bituminous. We feel good about bidding environment to initiate that bid with an award at end of April/early May aiming for the \$1.8-2 million mark.

Public Hearing Opened

McCoy seconded by Betts to close Public Hearing. Ayes: Spencer, Betts, and McCoy. Nays: None. Absent: Grotting, Fisher. Abstain. None. MOTION DECLARED CARRIED. 3-0

- a. **RESOLUTION No. 25-0304-01** – Approving the City’s 2025-2029 Street Reconstruction Plan.

Motion by Spencer, seconded by McCoy to approve Resolution 25-0304-01 approving a street reconstruction plan and authorizing the issuance of general obligation street reconstruction bonds. Ayes: Spencer, Betts, and McCoy. Nays: None. Absent: Grotting, Fisher. Abstain. None. MOTION DECLARED CARRIED. 3-0

8. A proposed text amendment to the City of Independence Ordinance as follows:

Kaltsas – This comes to Council after being considered by Planning Commission and recommended for approval to Council. There are two pieces of this. Rules were drafted last summer, provided parameters to regulations to businesses. Cities have authority with zoning regulations (where they’re allowed within the

city) and ordinances for registration of cannabis businesses. We have ability to adopt or leave the authority to the county (Hennepin). We are recommending authority be maintained by the City. The ordinance for zoning was discussed by Planning Commission but they did not review cannabis business registration as that authority is outside their role and is the City Council's. For Land use: We can't prohibit, however we can regulate which parts of the city by zoning they can go to. We can have buffers around certain land uses. The City looked at land uses that we have guided by the Comprehensive Plan, and Planning Commission reviewed all cannabis uses being regulated by Cannabis Management (listed in table and in the ordinance as Definitions). Types of uses are Retail, Non-retail Uses, Lower Potency Hemp Retailers, and Full Potency Hemp Retailers. Low Potency Hemp Retailers (no more than 5mg THC) would be seen as a tobacco shop, brewery with infused seltzer or beer, etc., & liquor store (infused/edible), these are more common. Low Potency, Full Potency Retail (medical retail, medical dispensary, cannabis retailer), and Mezzobusinesses & Microbusinesses (both cultivate, retail). Planning Commission suggested limiting all cannabis retail to the Urban Commercial/UC zoning district (the approximately 60 acres at the intersection of County Line Rd and Hwy 12 adjacent to Delano's business district). Planning Commission thought most appropriate given lack of retail uses anywhere else in the city. There was discussion about Commercial/Light Industrial (CLI) on City Hall area and Co Rd 90 and Hwy 12. They felt that was too close to parks, residential, and other areas community members drive through frequently. They recommended for Council that all cannabis businesses only located in Urban Commercial/UC. Other types (cannabis event organizer, manufacturer, testing facility, medical organizer, wholesaler, where they don't have direct retail sales) they felt could go Commercial Light Industrial/CLI or Urban Commercial/UC warehouse offices. They also discussed Agricultural/AG district (2/3 of Independence) and felt that there was no reason to open it up to this district as we don't yet know enough and how they produce. The cannabis type is becoming more technical. We're talking about inside growing, regulated. Planning Commission doesn't want AG to be included. Maybe in the future when we know more. Cities less than 12,500 population can limit Full Potency retail business to (1). Planning Commission has recommended we limit to (1). We can limit to (3) for Low Potency Hemp Edible Businesses. Other businesses like Testing, Wholesalers, those are not regulated for numbers, just locations. Planning Commission is recommending Conditional Use Permit/CUP uses, not permitted uses. The City can be more involved to see what it entails. We talked about a buffer and if it makes sense. Commercial Light Industrial/CLI does have some overlap with Pioneer Park. Based on Planning Commission recommending not utilizing Commercial Light Industrial/CLI. The buffer is not needed and would hurt any other retailers that want to lease the existing buildings. All retail is only Urban Commercial. Only Conditional Use Permit/CUP.

The 2nd piece is the Registration ordinance drafted as a model ordinance to say that cities have the ability to regulate through registration to a retail business that (1) has a valid license through Office of Cannabis Management/OCM; (2) has paid the registration fee or renewal fee (if applicable); (3) is found to be in compliance with the requirements of the Cannabis Act at any preliminary compliance check; and (4) if applicable, is current on all property taxes and assessments. This is similar to how we issue liquor licenses and tobacco licenses. We can't make lots of money on it, we're limited on that. We do the background checks and can do annual minor sales investigations. Maple Plain also adopted the same ordinance so West Hennepin Public Safety would appreciate the same rules across both cities. We are not making this up. We are taking model ordinances and learn what we can and can't do. I anticipate us talking about this again once everyone understands more.

Attorney Vose – Great overview and summarizing limitations which are pretty consistent across other cities. The registration piece is tied to your ability to impose the limits of (1) for cities with less than 12,500 population limit on retail establishments. We have to do Registration in order to impose limit.

Betts – I read something about a bunk house and sleeping quarters.

Kaltsas – I show definitions above the new definitions to show where it is in our ordinances. We still have a definition. We don't allow them as a use, we just define them in our ordinance. Bunkhouses are not permitted. Just because something is defined does not mean it is permitted. That's a very good question.

McCoy – I am very uncomfortable without buffers although we're limiting to that Urban Commercial/UC area out by Delano. There is a church on County Line Rd. Daycares, churches. If something falls in these categories, I would like it already in the ordinance if someone comes in for licensing. Secondly, if we have buffer in there, and we have a business and we have a daycare or treatment facility, etc., does that force them out or do they stay because they were there first?

Kaltsas – If we enact buffers and it's applicable (it's within 500 ft), so if we have a church or daycare coming to an area and they have the 500 ft buffer, if they're there, then the buffer would be applicable to any new business and couldn't come into that 500 ft. buffer. If the business was existing today prior to the enactment, it would be grandfathered in, and we couldn't push them out.

McCoy – The Methodist and Lutheran churches could fall into that buffer zone.

Spencer – Delano United is closer

Kaltsas – Delano United might be and would have to be a daycare.

McCoy - I feel strongly churches should be included in this because they often have more youth activities going on sometimes more than daycares or in parks.

Spencer – If we put a buffer around that (Delano United), it would exclude most of the area.

Kaltsas – It would exclude the Northern part but not the SE corner. 500 ft from Delano gets us to Hwy 12. It would exclude the entirety of the northern piece of our Urban Commercial/UC district meaning that we're limiting it to just the SE corner of County Line & Hwy 12.

Spencer - Is it legal to limit it to that small of an area for opportunity?

Vose – Honestly, I don't know. That will be one of the many things tested. Legislature has said you have the authority to establish these buffers and the consequence of that are to very much limit and know your position will be that we've been authorized to do that. The fact that you are going to require a Conditional Use Permit/CUP for all these gives you a stronger argument.

Kaltsas – It leaves about 40 acres if placing buffer. The buffer issue would be an issue on community park. There's no daycare now at the Delano Community Church. Planning Commission said we don't want to restrict like Sam's new business from non-retail users because they could be a viable business for them.

McCoy – I'm mostly concerned with retail. I don't know if it crosses city boundaries. There could be a daycare across from County Line Rd. I'm uncomfortable with it without buffers.

Vose – This isn't a race yet. We are getting closer, but you can make a revision and bring it back.

Spencer – I kind of agree. I was going to bring up Delano United Methodist. I don't think they are doing anything now, so it's currently just their Sunday School and childcare during their services. But Light of Christ does HeadStart. If they were to move to Methodist, it would be in the buffer. I would like to see that in there. We may be overly restrictive but at least we have a place holder in there.

McCoy – If they come in there for Conditional Use Permit/CUP, at least it's in our ordinance.

Spencer – Can we add the buffer around places of worship that offers childcare or other than just during their Sunday services, I'd like to see that, too.

Kaltsas – Yes, we can add that and bring it back. We wouldn't add the park language but would add 500 ft buffer from churches and childcare. Could we adopt the Registration ordinance?

Vose – The first to occur is parties seeking registration. Move forward with that.

McCoy – I wish we could charge the same as on-sale liquor.

Kaltsas – Because it is regulated by the state, it's 50% of state fees or less. \$2,500 for Full and \$1,500 for Low Potency which are pretty nominal fees.

Spencer – So we’re going to Table Ordinance No. 2025-01 and Ordinance No. 2025-02. What’s the purpose of the 2nd part of each one?

Kaltsas – So we publish a single page summary saving cost.

Spencer - We adopt the ordinance but publish the summary.

Vose – We technically to prove a summary publish change to resolution summary.

Would we change the number to 2025- adopt as a resolution 25-0304-02 (Ordinance 2025-03 stays the same).

- a. **ORDINANCE No. 2025-01** – Considering a text amendment to Chapter V, Sections 510 and 530 of the city’s zoning ordinance relating to regulations governing cannabis businesses. The ordinance amendment will consider establishment of regulations pertaining to the definitions associated with a cannabis business and the permitted zoning district and associated standards.

TABLED

- b. **SUMMARY ORDINANCE No. 2025-02** – Considering approval of a summary ordinance for publication.

TABLED

- c. **ORDINANCE No. 2025-03** – Considering a text amendment to Chapter XI, Establishing Section 1101 of the city’s zoning ordinance relating to regulations governing cannabis retail business registration. The ordinance amendment will consider establishment of regulations pertaining to the licensing and registration of cannabis businesses.

Ordinances No. 2025-01 and 2025-02 were both tabled tonight, so the number for this was correctly changed.

Motion by Betts, seconded by McCoy to approve Ordinance No. 2025-01 amending Independence City Code regarding Cannabis Retail Business Registration. Ayes: Spencer, Betts, McCoy. Nays: None. Absent: Grotting, Fisher. Abstain. None. MOTION DECLARED CARRIED. 3-0

- d. **SUMMARY ORDINANCE No. 2025-04** – Considering approval of a summary ordinance for publication.

Council and Attorney discussed this must be changed from Summary Ordinance No. 2025-04 to Summary Resolution No. 25-0304-02.

Motion by McCoy, seconded by Betts to approve Summary Resolution No 25-0304-02 approving publication of a summary of the cannabis retail business registration ordinance. Ayes: Spencer, Betts, and McCoy. Nays: None. Absent: Grotting, Fisher. Abstain. None. MOTION DECLARED CARRIED. 3-0

The others will be brought back for a needed 4:5 vote.

9. Open/Misc.

10. Adjourn.

Motion by McCoy, seconded by Betts to adjourn the meeting at 7:13 pm. Ayes: Spencer, Betts, McCoy. Nays: None. Absent: Grotting, Fisher. Abstain. None. MOTION DECLARED CARRIED. 3-0

Meeting adjourned at 7:13 pm.

Respectfully Submitted,
Linda Johnson/ Recording Secretary

City of Independence

Request for a Conditional Use Permit and Site Plan Approval to Allow a New Telecommunications Tower on the Property Located at 87 McCulley Road

To: Planning Commission
From: Mark Kaltsas, City Planner
Meeting Date: April 15, 2025
Applicant: Buell Consulting, LLC – on behalf of Verizon
Owner: Larry and Susan Vensel
Location: 87 McCulley Rd.

Request:

Buell Consulting, LLC – on behalf of Verizon (Applicant) and Larry and Susan Vensel (Owner) requests that the City consider the following action for the property located at 87 McCulley Rd., Independence, MN (PID No. 36-118-24-44-0009):

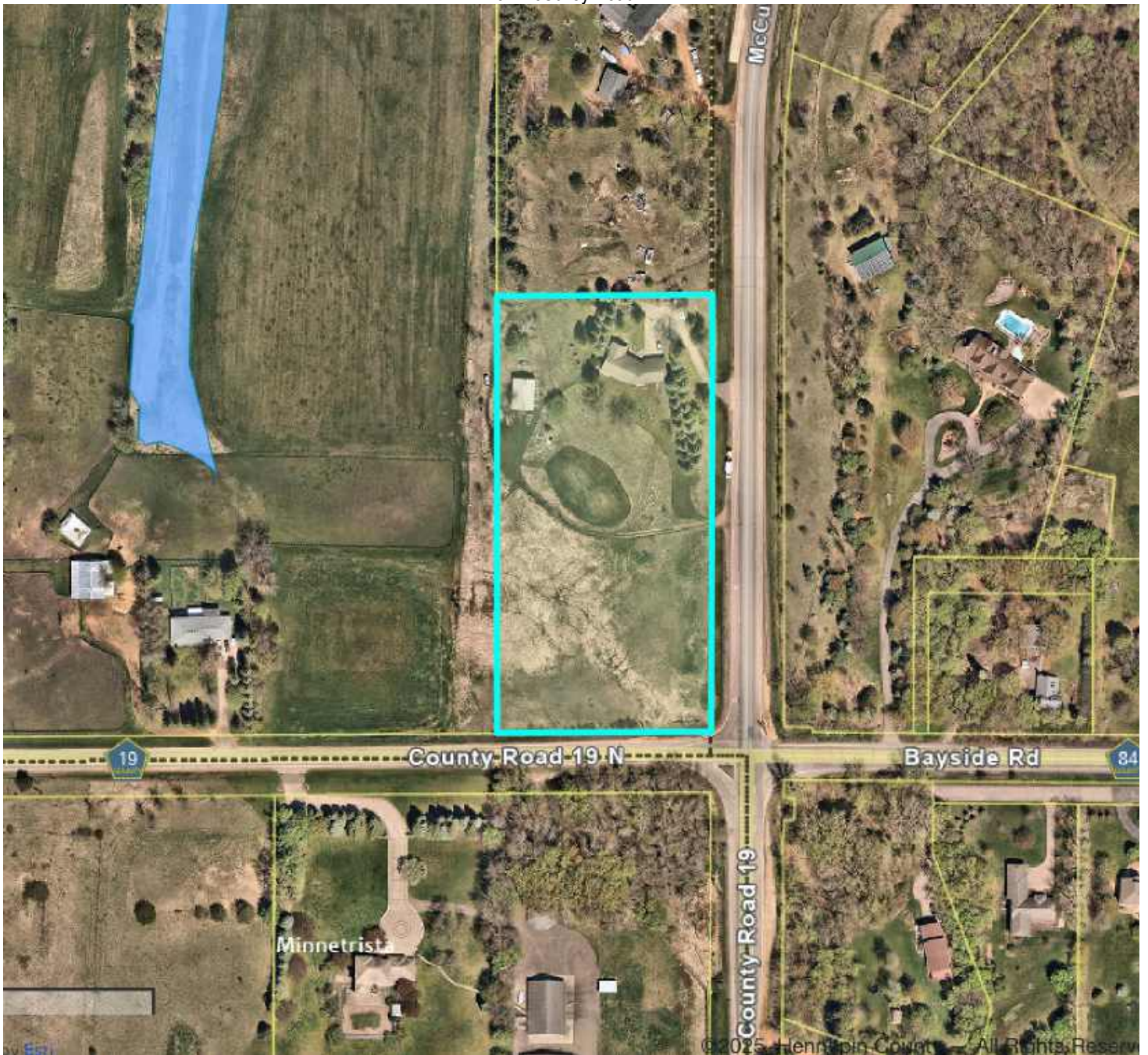
- a. A Conditional Use Permit to allow a new telecommunications tower on the subject property.
- b. Site plan review and conditional use permit to allow a new 180-foot-tall telecommunications tower on the subject property.

Property/Site Information:

The property is located at the NW corner of County Road 19 and McCulley Road. The property is comprised of the existing house and one accessory structure. The property has rolling terrain. The property has the following characteristics:

Property Information for 87 McCulley Road
Zoning: *Agriculture*
Comprehensive Plan: *Rural Residential*
Acreage: 4.06 Acres

87 McCulley Road

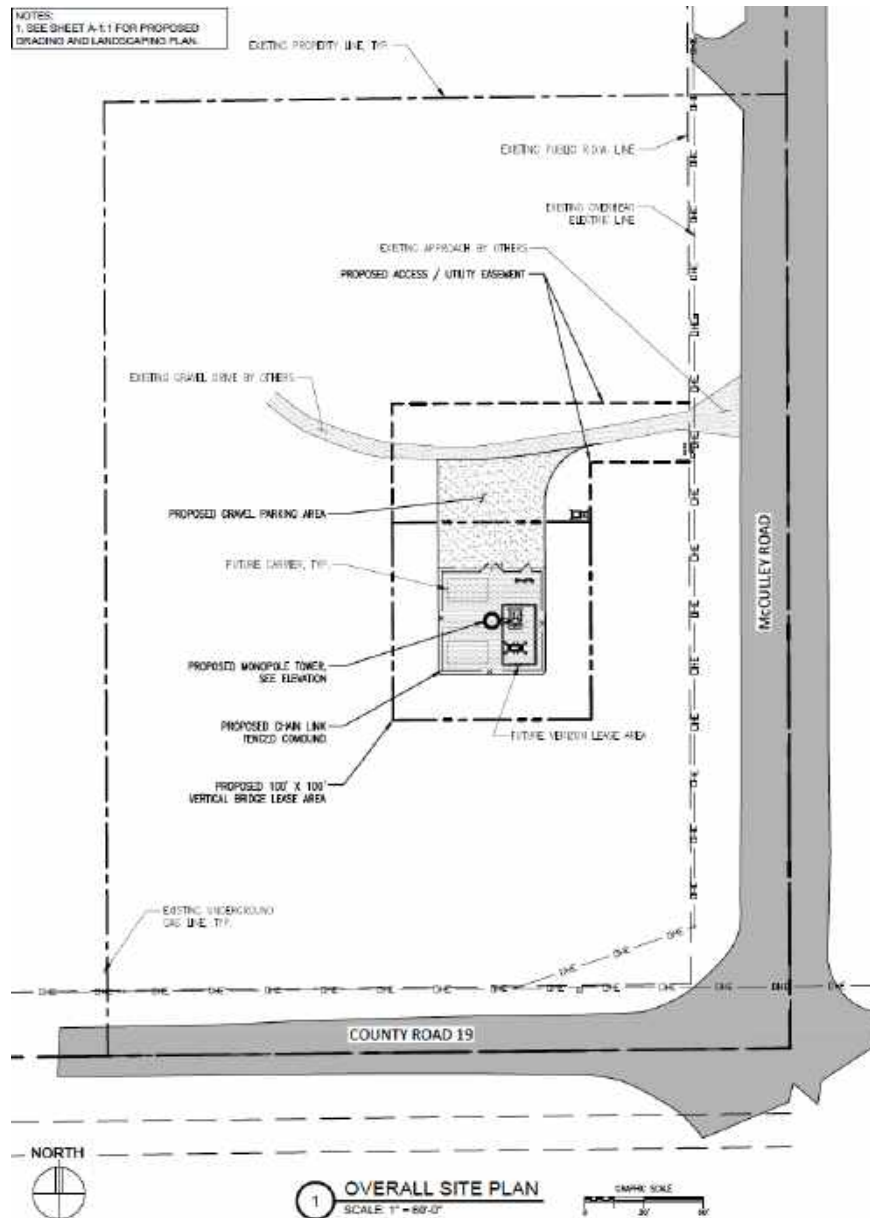


Discussion:

The applicant is seeking a conditional use permit and site plan approval to allow a new telecommunications tower and accessory structure to be located at the base of the tower. The City has criteria relating to the location (setbacks), site improvements and landscaping for new telecommunications tower development.

The proposed tower is a monopole type structure that would be 180 feet in height with a 5' lightning rod. The required setback from the property line is equal to the height of the tower or an engineer specifies in writing that the collapse of the tower will occur within a lesser distance under reasonably foreseeable circumstances. The applicant has provided a sealed engineers opinion that the proposed tower would fall within a 90' radius of the base of the tower. The maximum height allowed for a telecommunications tower is 185 feet. In this case, the requisite setback of the tower is 100' feet from the east property line. The proposed tower location meets the requisite setbacks from the nearest property line.

The applicant is proposing to construct a gravel access drive from the existing driveway to the proposed site. The applicant is proposing to fence in a 50' x 50' equipment area at the base of the tower. The enclosed area would contain the equipment needed to operate the tower.



Telecommunications Towers must comply with the following standards:

540.09. Performance standards.

- Subd. 1. *Co-location capability.* Unless the applicant presents clear and convincing evidence to the city council that co-location is not feasible, a new tower may not be built, constructed or erected in the city unless the tower is capable of supporting at least two telecommunications facilities comparable in weight, size, and surface area to each other.
- Subd. 2. *Setback requirements.* A tower must comply with the following setback requirements:
- (a) A tower must be located on a single parcel having a dimension equal to the height of the tower, as measured between the base of the tower located nearest the property line and the actual property line, unless an engineer specifies in writing that the collapse of the tower will occur within a lesser distance under reasonably foreseeable circumstances.
 - (b) Setback requirements for towers are measured from the base of the tower to the property line of the parcel on which it is located.
- Subd. 3. *Engineer certification.* Towers must be designed and certified by an engineer to be structurally sound and in conformance with the Uniform Building Code, and any other standards set forth in this Code.
- Subd. 4. *Height restriction.* A tower may not exceed the lesser of 185 feet in height or a height equivalent to ten feet more than the distance from the base of the tower to the nearest point of any property line. Measurement of tower height must include the tower structure itself, the base pad, and any other telecommunications facilities attached thereto. Tower height is measured from grade.
- Subd. 5. *Lighting.* Towers may not be artificially lighted except as required by the Federal Aviation Administration. At time of construction of a tower, in cases where there are residential uses located within a distance that is three times the height of the tower from the tower, dual mode lighting must be requested from the Federal Aviation Administration. Notwithstanding this provision, the city may approve the placement of an antennae on an existing or proposed lighting standard, provided that the antennae is integrated with the lighting standard.
- Subd. 6. *Exterior finish.* Towers not requiring Federal Aviation Administration painting or marking must have an exterior finish as approved in the site plan.
- Subd. 7. *Fencing.* Fences constructed around or upon parcels containing towers, antenna support structures, or telecommunications facilities must be constructed in accordance with the applicable fencing requirements in the zoning district where the tower or antenna support structure is located, unless more stringent fencing requirements are required by Federal Communications Commission regulations.
- Subd. 8. *Landscaping.* Landscaping on parcels containing towers, antenna support structures or telecommunications facilities must be in accordance with landscaping requirements as approved in the site plan. Utility buildings and structures accessory to a tower must be architecturally designed to blend in with the surrounding environment and to meet setback requirements that are compatible with the actual placement of the tower. Ground mounted equipment must be screened from view by suitable vegetation, except where a design of non-vegetative screening better reflects and complements the character of the surrounding neighborhood.
- Subd. 9. *Accessory buildings and equipment.* No more than one accessory building is permitted per tower. Accessory buildings may be no more than 300 square feet in size. Telecommunications facilities not located on a tower or in an accessory building must be of stealth design.
- Subd. 10. *Security.* Towers must be reasonably posted and secured to protect against trespass. All signs must comply with applicable sign regulations.

Subd. 11. *Design.* Towers must be of stealth design as approved in the site plan unless the city determines that such design is infeasible due to the lack of comparable vertical structures in the vicinity of the proposed site.

Subd. 12. *Non-tower facilities.* Telecommunications facilities not attached to a tower may be permitted as an accessory use to any antenna support structure at least 75 feet in height (except residential occupancies of three stories or less), or any existing tower, regardless of any other provision of this Code, provided that the owner of the telecommunications facility, by written certification to the building official, establishes the following facts at the time plans are submitted for a building permit:

- (a) That the height from grade of the telecommunications facilities and antennae support structure does not exceed the maximum height from grade of the antenna support structure by more than 20 feet;
- (b) That the antenna support structure and telecommunications facilities comply with the Uniform Building Code;
- (c) That the telecommunications facilities located above the primary roof of an antenna support structure are set back one foot from the edge of the primary roof for each one foot in height above the primary roof of the telecommunications facilities. This setback requirement does not apply to antennas that are mounted to the exterior of antenna support structures below the primary roof, but that do not protrude more than six inches from the side of the antenna support structure.

Subd. 13. *Removal of towers.* Abandoned or unused towers and associated above-ground facilities must be removed within 12 months of the cessation of operations of the telecommunications facility at the site unless an extension is approved by the city council. Any tower and associated telecommunications facilities that are not removed within 12 months of the cessation of operations at a site are declared to be public nuisances and may be removed by the city and the costs of removal assessed against the property pursuant to section 2010 of this Code.

The city has completed a detailed review of the plans and would note that there are several items that should be further considered relating to the conditional use permit and site plan approval. The following issues should be noted by the City:

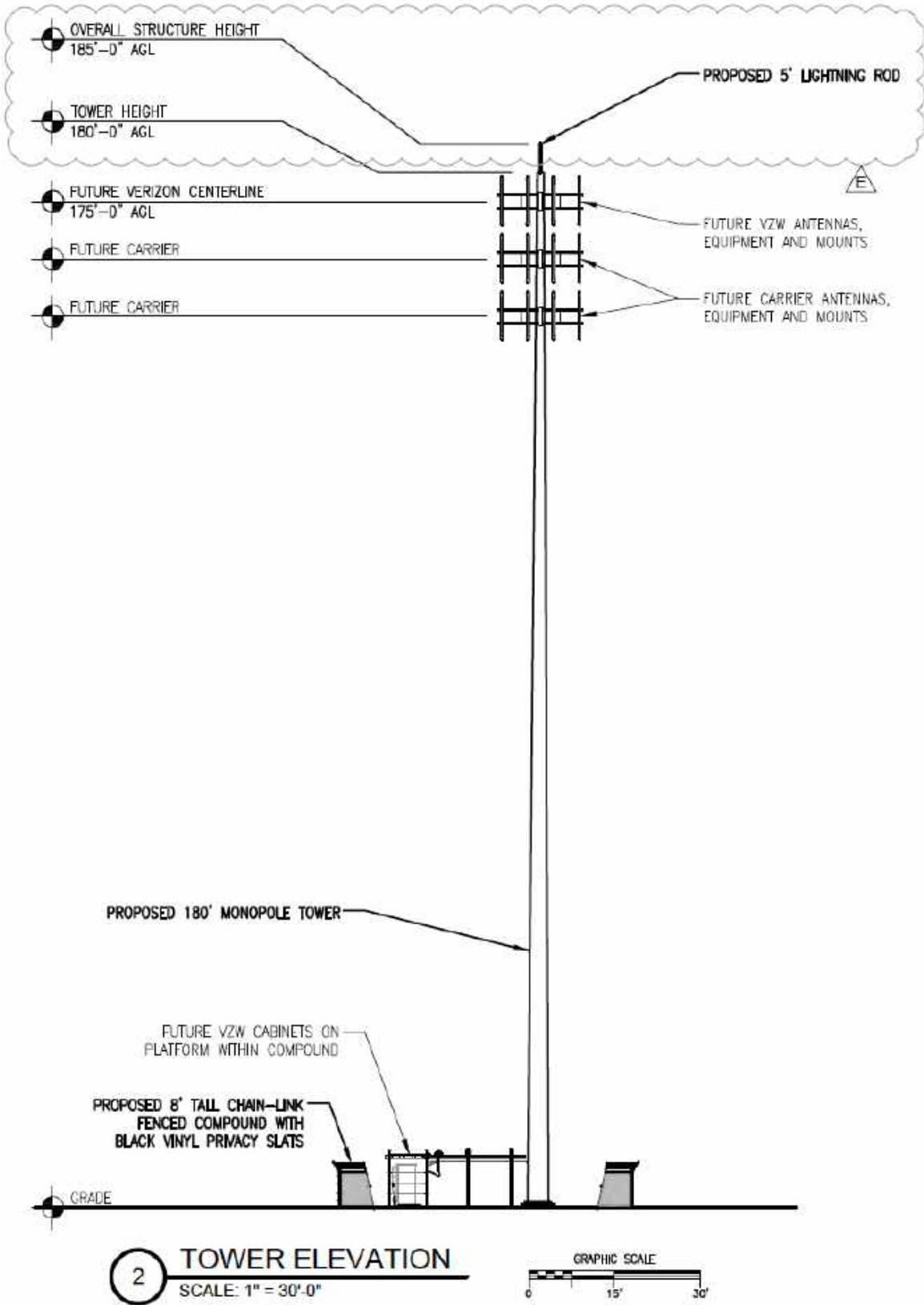
1. The proposed tower has the following setbacks:

- a. East Property Line: 100'
- b. South Property Line: 190'
- c. West Property Line: 282'
- d. North Property Line: 245'

2. The proposed tower has the following characteristics:

- a. Tower Type: Monopole
- b. Tower Height: 180'
- c. Lightning Rod Height: 185'

Note that the proposed height of the tower exceeds the setback to the nearest property line. The applicant is proposing that the increased height be considered due to the reduction in setback resulting from the engineer's certification of the decreased tower fall zone.



3. The applicant is proposing to locate equipment within cabinets at the base of the tower. The City requires that all towers and associated structures accessory to the tower must be of stealth design and blend into the surrounding environment.

Subd. 8. Landscaping. Landscaping on parcels containing towers, antenna support structures or telecommunications facilities must be in accordance with landscaping requirements as approved in the site plan. Utility buildings and structures accessory to a tower must be architecturally designed to blend in with the surrounding environment and to meet setback requirements that are compatible with the actual placement of the tower. Ground mounted equipment must be screened from view by suitable vegetation, except where a design of non-vegetative screening better reflects and complements the character of the surrounding neighborhood.

Subd. 11. Design. Towers must be of stealth design as approved in the site plan unless the city determines that such design is infeasible due to the lack of comparable vertical structures in the vicinity of the proposed site.

The proposed tower is a monopole type tower that is typical of other telecommunications towers in the City. The proposed equipment at the base of the tower is also typical of similar to that located at the base of other towers in the City. The City will need to determine if any additional stealth type design should be implemented on this site. One item to consider would be requiring all equipment to be located within an enclosed structure.

In addition to the equipment cabinets, the applicant is proposing a future generator within the fenced area. Most generators associated with cellular towers within the city are enclosed in a building to mitigate noise. The applicant has agreed to install any future generator within an approved sound enclosure (noted on plans).

4. The proposed tower is 180 feet in height. The drawings provided also indicate a lightning rod that extends an additional 5' above the top of the tower. The city's current ordinance does not differentiate this structure from the tower. The maximum height of a tower including any additional apparatus is 185'.
5. It should be noted that base of the proposed tower (elevation 978.7) sits approximately 20' below the adjacent McCulley Road centerline elevation (998.9) and approximately 13' below the elevation of the adjacent CSAH 19 (991).
6. The applicant has provided the City with verification of the need for the proposed tower (see attached letter and coverage map).
7. The City requires all towers to be able to accommodate colocation. The applicant has provided a letter from an engineer verifying that the proposed tower can accommodate a second set of

antennas on this tower. In addition, the City requested that the applicant provide a “ghost” plan indicating the probable location of a second lease on the site. The applicant has provided this information, and it confirms that the tower and site can accommodate colocation.

8. The applicant is proposing to screen the site utilizing an 8' tall chain link fence with black vinyl slats and barbed wire on top of fence. The proposed fence will not be in keeping with the most recently developed tower sites in the city. The city will want to see a more decorative and architecturally compatible fence installed on this site (i.e., cedar board on board, black vinyl, etc.).
9. The applicant has now provided a landscape plan that provides for 24 Black Hills Spruce around the east, south and west sides of the proposed fenced area. The proposed landscaping will help to mitigate impacts resulting from the installation of the ground equipment. It should be noted that the proposed screening will not wholly mitigate all visibility to the ground equipment area from surrounding properties. Staff will be seeking additional direction and discussion from the Planning Commission relating to the proposed landscape plan.
10. There are two (2) lights shown on the plans in the area of the ground mounted equipment (see below). The lights do not appear to meet applicable City requirements and will need to be revised on the plans to fully comply. A full cut-off type fixture is required. The applicant will need to submit a cut-sheet to the city confirming compliance prior to City Council consideration.
11. The applicant has provided the City with a copy of relevant portions of a lease signed by the applicant and property owner(s), requiring the applicant to remove the tower and associated telecommunications facilities upon cessation of operations on the leased site, or, if a lease does not yet exist, a written agreement to include such a provision in the lease to be signed. The applicant will need to submit the signed copy of this document upon its execution.
12. The applicant will need to obtain all applicable approvals from the Minnehaha Creek Watershed District.

Several of the items noted above would require the applicant to submit revised plans. It is anticipated that these items can be completed prior to consideration by the City Council.

A request for a Conditional Use Permit must meet the requirements established for granting a Conditional Use Permit in the City's Zoning Ordinance. The criteria for granting a conditional use permit are clearly delineated in the City's Zoning Ordinance (Section 520.11 subd. 1, a-i) as follows:

1. *The conditional use will not adversely affect the health, safety, morals and general welfare of occupants of surrounding lands.*
2. *The proposed use will not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity for the proposes already permitted or on the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.*
3. *Existing roads and proposed access roads will be adequate to accommodate anticipated traffic.*

4. *Sufficient off-street parking and loading space will be provided to serve the proposed use.*
5. *The proposed conditional use can be adequately serviced by public utilities or on-site sewage treatment, and sufficient area of suitable soils for on-site sewage treatment is available to protect the city from pollution hazards.*
6. *The proposal includes adequate provision for protection of natural drainage systems, natural topography, tree growth, water courses, wetlands, historic sites and similar ecological and environmental features.*
7. *The proposal includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance.*
8. *The proposed condition use is consistent with the comprehensive plan of the City of Independence.*
9. *The proposed use will not stimulate growth incompatible with prevailing density standards.*

The proposed telecommunications tower and associated base equipment are similar to those located within the City on other telecommunications tower sites. The applicant will need to provide a more architecturally compatible fence to adequately screen the proposed equipment and associated site improvements. The proposed landscaping around the ground equipment site perimeter will further mitigate the impacts of the proposed equipment and building.

In the existing zoning district, telecommunication towers are permitted as a conditional use. Telecommunications towers are often difficult to locate and therefore consider by cities due to the height of the towers and potential visual impact to surrounding properties. There are several residential and agricultural properties that are directly adjacent to the subject property. The property is located at the intersection of two county roads. Resulting traffic, noise, and other measurable ground impacts should not be incrementally amplified as a result of the proposed telecommunications tower and associated base site improvements. The Planning Commission will need to determine if the requested conditional use permit and site plan meet all of the aforementioned conditions and restrictions as well as the criteria for granting a conditional use permit.

Neighbor Comments:

The City has not received any written comments regarding the proposed amendment to the conditional use permit and site plan approval.

Recommendation:

Staff is seeking a recommendation from the Planning Commission for the request for a conditional use permit and site plan approval. Should the Planning Commission make a recommendation to approve the requested actions, the following findings and conditions should be considered:

1. The proposed conditional use permit and site plan review meet all applicable conditions and restrictions stated Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. The conditional use permit will be reviewed annually by the City to ensure conformance with the

conditions set forth in the resolution.

3. This conditional use permit will approve a monopole tower with a maximum height of 180 feet and the associated accessory equipment, site improvements and landscaping (as indicated on the approved site plan).
4. Prior to consideration by the City Council, the applicant shall complete the following items:
 - a. Completion of all comments provided within the report and or prepared by the city.
 - b. Completion of all comments and conditions made by the Planning Commission during their review of the Conditional Use Permit and Site Plan.
 - c. Provide lighting cut sheets confirming full compliance with applicable standards.
 - d. Revise the fence plan with a more architecturally compatible fence.
 - e. Obtain all applicable approvals by Minnehaha Creek Watershed District.
5. The applicant shall pay for all fees associated with the City's processing and review of the Conditional Use Permit and Site Plan Review.

Attachments:

1. Applicant Application and Narrative
2. Proposed Plan Set
3. Need Verification Letter and Graphic
4. Colocation Verification
5. Engineers Fall Zone Verification

Aerial Photographs

87 McCulley Road (Looking northwest)



87 McCulley Road (Looking southwest)



87 McCulley Road (Looking northeast)





**CITY OF
INDEPENDENCE
MINNESOTA**

Date Submitted: 01-28-2025

Applicant Information

Name: Karl A Gerber
Address: 9973 Valley View Rd.
Eden Prairie, Minnesota
55344
Primary Phone: 715-415-4528
Email: kgerber@buellconsulting.com

Owner Information

Name: Larry Vensel
Address: 87 McCulley Rd.
Maple Plain, Minnesota
55359
Primary Phone: 763-300-2738
Email: NA@NA.COM

Property Address:

PID:

Planning Application Type: Conditional Use Permit

Description:

Supporting Documents: Site Survey (Existing Conditions), Site Survey (Proposed Conditions), Building Plans, Construction Plans, Preliminary/Final Plan

Signature:

PROJECT DESCRIPTION:

CONSTRUCTION OF TELECOMMUNICATIONS AND PUBLIC UTILITY FACILITY, CONSISTING OF A CELL TOWER, SPACE FOR CARRIER EQUIPMENT, AND A UTILITY BACKBOARD WITHIN A FENCED COMPOUND. NO WATER OR SEWER IS REQUIRED. THIS WILL BE AN UNMANNED FACILITY.

CODE COMPLIANCE:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

- | | |
|--|--|
| 1. INTERNATIONAL BUILDING CODE | 11. IEEE C2 NATIONAL ELECTRIC SAFETY CODE, |
| 2. NATIONAL ELECTRIC CODE | LATEST EDITION |
| 3. NFPA101 LIFE SAFETY CODE | 12. TELECORDIA GR-1275 |
| 4. IFC | 13. ANSI/T 311 |
| 5. AMERICAN CONCRETE INSTITUTE | 14. UNIFORM MECHANICAL CODE |
| 6. AMERICAN INSTITUTE OF STEEL CONSTRUCTION | 15. UNIFORM PLUMBING CODE |
| 7. MANUAL OF STEEL CONSTRUCTION, 13TH EDITION | 16. LOCAL BUILDING CODE |
| 8. ANSI/TIA/EIA-222 | 17. CITY/COUNTY ORDINANCES |
| 9. TIA 607 | 18. STATE BUILDING CODE |
| 10. INSTITUTE FOR ELECTRICAL & ELECTRONICS ENGINEER 81 | |



THE TOWERS LLC
US-MN-5154
RED OAK
87 MCCULLEY ROAD
MAPLE PLAIN, MN 55359
180' MONOPOLE TOWER



10801 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 CONSTRUCTION DEPT (952) 946-4700

SITE NAME: MIN RED OAK
MDG: 5000930335
PROJECT ID: 17063174

PREPARED FOR:



THE TOWERS, LLC

750 PARK OF COMMERCE DR.
 SUITE 200
 BOCA RATON, FL 33487

NOT FOR CONSTRUCTION



9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

PROJECT
 US-MN-5154

RED OAK

87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

SHEET CONTENTS:

- PROJECT DESCRIPTIONS
- CODE COMPLIANCE
- VICINITY MAP
- PROJECT INFORMATION
- SHEET INDEX
- ISSUE SUMMARY
- DRAWING APPROVALS
- CONTACTS

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

T-1



PROJECT INFORMATION

VERTICAL BRIDGE SITE NAME: RED OAK
 VERTICAL BRIDGE SITE NUMBER : US-MN-5154
 VERIZON SITE NAME: MIN RED OAK
 VERIZON MDG: 5000930335
 VERIZON PSLC: 17063174
 SITE ADDRESS: 87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359
 COUNTY: HENNEPIN
 LATITUDE (DECIMAL): N 44.979239°
 LONGITUDE (DECIMAL): W 93.646050°
 LATITUDE (DMS): N 44° 58' 45.26"
 LONGITUDE (DMS): W 93° 38' 45.78"
 GROUND ELEVATION: 978.7' AMSL
 STRUCTURE TYPE: MONOPOLE TOWER
 STRUCTURE HEIGHT: 180' AGL
 OVERALL HEIGHT: 185' AGL
 RFDS FORM DATED: 11-14-24

SHEET INDEX		
SHEET	SHEET DESCRIPTION	
T-1:T-2	PROJECT TITLE SHEET & GENERAL NOTES	VERTICAL BRIDGE
-	SURVEY	
A-1	OVERALL SITE PLAN AND TOWER ELEVATION	
A-1.1	SITE GRADING AND LANDSCAPING PLAN	
A-2	ENLARGED SITE PLAN	
A-3	SITE PREP & GRADING NOTES AND DETAILS	
A-4-A-5	FENCE DETAILS	
A-6	SIGN DETAILS	
A-7	MISC. DETAILS	VERIZON
A-8	SITE PHOTOS	
G-1:G-3	GROUNDING NOTES, PLAN AND DETAILS	
U-1:U-2	SITE UTILITY PLANS, DETAILS AND NOTES	
VZW A-1	VERIZON SITE PLAN	
VZW A-2	RFDS INFO, MOUNTING DETAIL AND ONE-LINE DIAGRAM	
VZW A-3	CABINET AND BASE EQUIPMENT DETAILS	
VZW A-4	CABLE ICE BRIDGE, GPS AND MISC. DETAILS	
VZW A-5	GENERATOR WITH WEATHER-SOUND ENCLOSURE DETAILS	
VZW G-1:G-2	GROUNDING PLAN, DETAILS AND NOTES	
VZW U-1	VERIZON UTILITY PLAN, DETAILS AND NOTES	
VZW U-2	VERIZON ONE-LINE ELECTRICAL DIAGRAM	

ISSUE SUMMARY		
REV	DESCRIPTION	SHEET/DETAIL
A:D	ISSUED FOR REVIEW	ALL
E	ISSUED FOR ZONING	ALL

CONTACTS	
PROPERTY OWNER:	VENSEL FAMILY TRUST 87 McCULLEY RD MAPLE PLAIN, MN 55359
LESSOR / LICENSOR:	THE TOWERS, LLC 750 PARK OF COMMERCE DR, SUITE 200 BOCA RATON, FL 33487
LESSEE:	VERIZON WIRELESS 1701 GOLF ROAD TOWER 2, SUITE 400 ROLLING MEADOW, IA 60008 CONTACT: DANNY PEREZ EMAIL: danny.perez2@verizonwireless.com
POWER UTILITY COMPANY CONTACT:	WRIGHT HENNEPIN ELECTRIC COOP 6800 ELECTRIC DR. ROCKFORD, MN 55373 YALONDA GRANGROTH (763) 477-3007
TELCO UTILITY COMPANY CONTACT:	T.B.D.
DESIGNER:	DESIGN 1 OF EDEN PRARIE 9973 VALLEY VIEW ROAD EDEN PRAIRIE, MN 55344 (952) 903-9299
STRUCTURAL ENGINEER (TOWER):	T.B.D
GEOTECHNICAL ENGINEER:	DELTA OAKS GROUP 4904 PROFESSIONAL COURT, 2ND FLOOR RALEIGH, NC 27609 (919) 342-8247
SITE ACQUISITION:	BUELL CONSULTING, INC. 720 MAIN ST, SUITE 200 ST. PAUL, MN 55118

DRAWING APPROVALS		
JOB TITLE	NAME	DATE
VERTICAL BRIDGE		
RF ENGINEER	JORDAN ALSTAD	12/13/2024
CONSTRUCTION ENGINEER	BRIAN NELSEN	12/13/2024
TRANSPORT ENGINEER		
EQUIPMENT ENGINEER		
REAL ESTATE SPECIALIST		

VERTICAL BRIDGE CONSTRUCTION SCOPE OF WORK:

- 1.00 PERMITTING
 - A. CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL PERMITS AND ALL REQUIRED INSPECTIONS.
- 2.00 SITE CLEARING
 - A. CONTRACTOR SHALL CLEAR ACCESS EASEMENT AND LEASE AREA OF ALL TREES AND STUMPS. REMOVE AND DISPOSE OF ALL DEBRIS. CONTRACTOR SHALL NOT DISTURB AREA OUTSIDE OF LIMITS OF DISTURBANCE.
 - B. IF REQUIRED PER UTILITY COORDINATION CONTRACTOR SHALL CLEAR UTILITY EASEMENTS OF ALL TREES AND STUMPS. REMOVE AND DISPOSE OF ALL DEBRIS.
 - C. CONTRACTOR SHALL INSTALL SILT FENCE PRIOR TO THE START OF CONSTRUCTION.
 - D. ALL DEBRIS OR MATERIALS TO BE LEFT ON SITE WILL BE CLEARED WITH THE LAND OWNER ON A SIGNED DOCUMENT.
- 3.00 ACCESS ROAD
 - A. CONTRACTOR SHALL COMPLETE GRAVEL ACCESS DRIVE TO TOWER COMPOUND PER CONSTRUCTION DRAWINGS OR AT A MINIMUM OF VERTICAL BRIDGE STANDARDS.
 - B. 18" CULVERT PIPE IS VERTICAL BRIDGE MINIMUM STANDARD UNLESS DOT ENFORCED SIZE IS REQUESTED. SEE CONSTRUCTION DRAWINGS GRADING PLAN FOR SITE CULVERT LOCATION(S) AND SIZES.
- 4.00 COMPOUND FENCE
 - A. CONTRACTOR SHALL INSTALL STYMIE LOCK SYSTEM AND VERTICAL BRIDGE LOCK ON COMPOUND GATE. VERTICAL BRIDGE LOCK COMBO (0951)
 - B. CONTRACTOR SHALL INSTALL MUSHROOM AND GATE STOPS.
 - C. CONTRACTOR SHALL INSTALL 50'X50'X6' CHAINLINK FENCE WITH (3) RUNS OF BARBED WIRE ON TOP FOR MONOPOLE AND GUYED TOWERS UNLESS NOTED OTHERWISE. (75'X75'X6' FENCED COMPOUND FOR SST TOWER SITES)
- 5.00 TOWER AND FOUNDATION
 - A. CONTRACTOR SHALL COORDINATE DELIVERY OF ANCHOR BOLTS, TEMPLATE AND TOWER STEEL WITH TOWER VENDOR.
 - B. CONTRACTOR SHALL UTILIZE SUPPLIED FOUNDATION DESIGN FOR TOWER. REBAR AND CONCRETE INSTALLATION SHALL BE INSPECTED AND TESTED BY A 3RD PARTY COMPANY AND SUBMIT TEST AND INSPECTION REPORTS TO VERTICAL BRIDGE. (SPOILS FROM FOUNDATION SHALL BE REMOVED FROM SITE)
 - C. 3 DAY / 7 DAY / 28 DAY BREAK TEST REQUIRED. BREAK TEST MUST BE SUBMITTED FOR REVIEW PRIOR TO TOWER STACK.
 - D. CONTRACTOR SHALL INSTALL TOWER, ALL ASSOCIATED STEP BOLTS, SAFETY CLIMB EQUIPMENT, LIGHTNING ROD, WAVEGUIDE LADDER AND ALL MISCELLANEOUS TOWER PARTS.
 - E. CONTRACTOR SHALL CONFORM TO SUPPLIED FAA HEIGHT VERIFICATION.
- 6.00 TOWER LIGHTING
 - A. TOWER LIGHTING EQUIPMENT SHALL BE INSTALLED BY LIGHTING MANUFACTURE.
 - B. CONTRACTOR SHALL SUPPLY AND INSTALL 100A SUB-PANEL WITH (3) 20 AMP BREAKERS FOR TOWER LIGHTING IF REQUIRED.
 - C. CONTRACTOR SHALL SUPPLY AND INSTALL (1) GFI OUTLET AT SUB-PANEL LOCATION FOR TOWER LIGHTING IF REQUIRED.
 - D. CONTRACTOR SHALL SUPPLY AND INSTALL (1) 2" CONDUIT FROM SUB-PANEL LOCATION TO TOWER LEG WITH WEATHER-HEAD IF REQUIRED.
- 7.00 UTILITY H-FRAME CONSTRUCTION
 - A. CONTRACTOR SHALL SUPPLY AND INSTALL A 4-GANG 800 AMP METER PANEL ON A NEW 8' H-FRAME.
 - B. H-FRAME TO BE CONSTRUCTED TO HOLD 4-GANG METER BASE ON FRONT WITH METERS FACING OUT OF COMPOUND.
 - C. H-FRAME TO BE CONSTRUCTED TO HOLD TOWER LIGHTING SUB-PANEL AND LIGHTING CONTROLLER ON FRONT ALONGSIDE METER BASE.
 - D. CONTRACTOR SHALL SUPPLY GFCI ALL WEATHER RECEPTACLES ON H-FRAME.
 - E. CONTRACTOR SHALL SUPPLY AND INSTALL 500-WATT METAL HALIDE FLOOD LIGHT 120 VOLT WITH TIMER SWITCH.
- 8.00 POWER SERVICE
 - A. CONTRACTOR SHALL USE PROVIDED UTILITY REPORT AND CONSTRUCTION DRAWINGS TO BID POWER FROM POWER DEMARC.
 - B. CONTRACTOR SHALL BE IN CONSTANT COMMUNICATION WITH POWER COMPANY UNTIL POWER IS ACQUIRED AT MULTI-METER FRAME.
 - C. CONTRACTOR SHALL NOTIFY UTILITY PROVIDER OF START OF CONSTRUCTION.
 - D. CONTRACTOR SHALL CONDUCT A SECOND POWER WALK WITH UTILITY PROVIDER AT START OF CONSTRUCTION.
 - E. IF CHANGES TO THE SCOPE OF WORK ARE MADE BY THE UTILITY PROVIDER AFTER CONSTRUCTION START, CONTRACTOR SHALL NOTIFY VERTICAL BRIDGE CM/PM IMMEDIATELY.
- 9.00 VERIZON TELCO/FIBER SERVICE INSTALL BY VERTICAL BRIDGE
 - A. CONTRACTOR SHALL SUPPLY AND INSTALL A SEPARATE HAND-HOLE AT THE ROW, AT THE COMPOUND

- AND EVERY 300' (OR AT ANY BEND) WITH 2" CONDUIT FOR THE LIT FIBER PER THE CONSTRUCTION DRAWINGS. MARK HAND-HOLES LIT FIBER
- B. CONTRACTOR SHALL SUPPLY AND INSTALL A SEPARATE HAND-HOLE AT THE ROW, AT THE COMPOUND AND EVERY 300' (OR AT ANY BEND) WITH 2" CONDUIT FOR THE DARK FIBER PER THE CONSTRUCTION DRAWINGS. MARK HAND-HOLES DARK FIBER FIBER
- C. FIBER TO FOLLOW ACCESS ROAD TO ROW ALWAYS!
- D. CONTRACTOR TO PROVIDE AND INSTALL CARLON EXPANSION JOINT CONNECTIONS AT CABINETS/SHELTER LOCATION PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- E. CONTRACTOR SHALL PROVIDE 2" SDR-11 HDPE CONDUIT FOR FIBER CONDUIT AS NOTED ON DRAWINGS WHEN DIRECTIONAL BORING IS UTILIZED.

- 10.00 VERIZON CIVLS
 - A. CONTRACTOR SHALL PROVIDE LUMP SUM FEE FOR ALL VERIZON LINE ITEMS UNDER TENANT CIVLS ON BID DOCUMENT. THIS INCLUDES SET AND CONNECTIONS OF VERIZON'S EQUIPMENT/GENERATOR PADS, FUEL TANKS, EQUIPMENT/GENERATOR ELECTRICAL, TELCO/FIBER CONDUITS, EQUIPMENT GROUNDING AND ICE BRIDGE.
- 11.00 VERIZON ANTENNA MOUNT(S)
 - A. CONTRACTOR SHALL PROVIDE SEPARATE LINE ITEM FOR ANTENNA MOUNT INSTALLATION UNDER TENANT MOUNT. CONTRACTOR SHALL ORDER THE ANTENNA MOUNT AND CONFIRM THE ITEM DESCRIPTION THROUGH VERIZON.
 - B. CONTRACTOR WILL BE REQUIRED TO ORDER ANTENNA MOUNT ASAP TO AVOID ANY DELAYS TO STACK THE TOWER.

VERIZON CONSTRUCTION SCOPE OF WORK:

- 1.00 VERIZON ANTENNA AND LINES
 - A. CONTRACTOR SHALL PROVIDE A LUMP SUM FEE IN "TENANT L&A" FOR THE INSTALL OF VERIZON L&A INCLUDING ANY REQUIRED TESTING AND MATERIALS AS DIRECTED BY VERIZON PERSONNEL FOR A TYPICAL MARKET COLLOCATION.
- 2.00 CIVLS
 - A. CONTRACTOR SHALL PROVIDE A LUMP SUM FEE IN "TENANT CIVLS" FOR ALL VERIZON CIVIL WORK INCLUDING EQUIPMENT/GENERATOR/PROPANE PADS AND EQUIPMENT SUPPORTS (I.E. PLINTHS ETC.), CARRIER GROUNDING, ELECTRICAL CONDUITS & CONDUCTORS AND H-FRAME, EQUIPMENT SET AS WELL AS ANY OTHER SERVICES AND/OR MATERIALS AS DIRECTED BY VERIZON FOR A TYPICAL MARKET COLLOCATION.
- 3.00 MOUNTS
 - A. CONTRACTOR SHALL PROVIDE A LUMP SUM FEE IN "TENANT MOUNT" FOR PROVIDING THE MOUNT ONLY (PRICE OF MOUNT INSTALLATION TO BE INCLUDED IN "TENANT L&A").
- 4.00 STARTUP COMMISSIONING
 - A. CONTRACTOR SHALL PROVIDE LUMP SUM FEE UNDER BID CLARIFICATION/EXCEPTIONS SECTION FOR COMMISSIONING AND START-UPS (AS REQUIRED BY "STANDARD VERIZON INSTALL). VERIZON IS RESPONSIBLE FOR PAYMENT OF THESE SERVICES.
- 5.00 VERIZON POWER SERVICE
 - A. CONTRACTOR/VERIZON CM RESPONSIBLE FOR SETTING UP VERIZON'S POWER ACCOUNT OR TRANSFER OF INITIAL SERVICE ACCOUNT FROM VERTICAL BRIDGE TO VERIZON.
 - 1. CONTRACTOR RESPONSIBLE FOR REPORTING POWER UPDATES.
 - 2. CONTRACTOR RESPONSIBLE FOR TRACKING AND CONFIRMING METER SET.
 - 3. PHOTO CONFORMATION REQUIRED.
 - B. VERIZON POWER SERVICE SHALL BE 200 AMPS
 - C. TYPICAL VERIZON ELECTRICAL POWER SERVICE INSTALL. SEE CONSTRUCTION DRAWINGS FOR POWER ROUTING.
- 6.00 THE DESIGNER/E.O.R. MAKES NO WARRANTY, EXPRESSED OR IMPLIED, ON THE STRUCTURAL ADEQUACY FOR PROPRIETARY BRACKETS, CLIPS, PARTS, FROM A MANUFACTURER.

CONTRACTOR NOTES

VERTICAL BRIDGE TIMELINE EXPECTATIONS

- ONCE NTP HAS BEEN ISSUED, CONTRACTOR HAS (3) BUSINESS DAYS TO PROVIDE A SCHEDULE TO VERTICAL BRIDGE CONSTRUCTION MANAGER AND PROJECT MANAGER.
- CONSTRUCTION STARTS WITHIN 7 DAYS OF NTP RECEIPT.
- DAILY SAFETY REPORTS ARE REQUIRED.
- DAILY SITE UPDATES WITH PHOTOS ARE REQUIRED.
- TOWER STACKED (OTHER) WITHIN 28 DAYS OF NTP RECEIPT.
- CLOSEOUT APPROVAL WITHIN 60 DAYS OF NTP RECEIPT.

VERTICAL BRIDGE CM NOTES

- NO LIGHTING TO BE INSTALLED WITH THE EXCEPTION OF EMERGENCY/WORK LIGHTING ON A TIMER SWITCH.



PREPARED FOR:

vertical bridge
THE TOWERS, LLC
 750 PARK OF COMMERCE DR.
 SUITE 200
 BOCA RATON, FL 33487

NOT FOR
 CONSTRUCTION



9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

PROJECT
 US-MN-5154

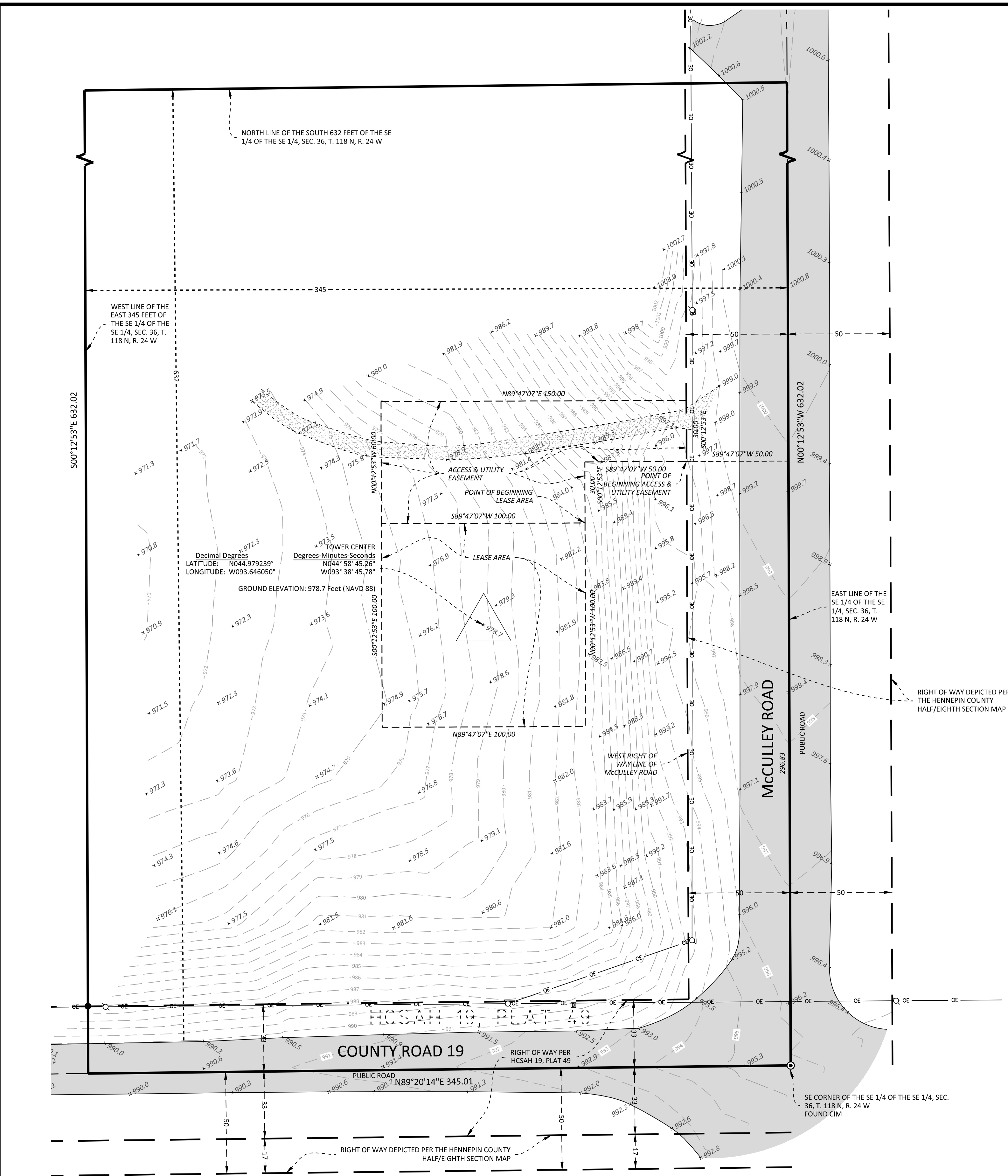
RED OAK

87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

SHEET CONTENTS:
 GENERAL NOTES

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

24.15 (LWS TECH) | MARK SALO, LS (MN, OK, WI) | 11/12/2024 8:51:25 AM
 L:\PROJECTS\53242\SITE NAME\RED OAK\CAD\SURVEY\53242-ESM-RED OAK DWG-ESM



LEGEND		
● FOUND MONUMENT	— BOUNDARY LINE	- - - EASEMENT LINE
○ SECTION CORNER AS NOTED	— RIGHT-OF-WAY LINE	- - - SETBACK LINE
○ FOUND RIGHT-OF-WAY MONUMENT	- - - UNDERLYING / ADJACENT LOT TIE LINE	- - - RESTRICTED ACCESS
○ SET MONUMENT	- - - SECTION LINE	- - - TREE LINE
⊗ GATE VALVE / HYDRANT	(100.00) DEED DISTANCE	— CONCRETE CURB
○ SANITARY MANHOLE	— WATERMAIN	— BUILDING LINE
○ CLEAN OUT	— SANITARY SEWER	— BITUMINOUS SURFACE
○ STORM MANHOLE	— STORM SEWER	— CONCRETE SURFACE
○ STORM CATCH BASIN	— UNDERGROUND ELECTRIC	○ DECIDUOUS TREE
△ FLARED END SECTION	— UT UNDERGROUND TELEPHONE	○ CONIFEROUS TREE
⊕ TRANSFORMER	— UNDERGROUND GAS	○ SPOT ELEVATION
○ LIGHT	— OVERHEAD ELECTRICAL WIRE	○ CONTOUR
○ GUY ANCHOR	— CHAIN LINK FENCE	○ SOIL BORING
○ UTILITY POLE	— WOOD FENCE	○ REGULAR PARKING
○ GUARD POST	— WIRE FENCE	○ STALL COUNT
○ SIGN	— WET LAND	○ TRAFFIC MARKERS
○ GAS METER	— RETAINING WALL	
○ GAS MANHOLE	— BLOCK RETAINING WALL	
○ ELECTRIC MANHOLE	— STONE RETAINING WALL	
○ ELECTRIC METER	— POND / WATER LINE	
○ TELEPHONE PEDESTAL	— FEMTA FLOOD ZONE LINE	
○ CABLE TV BOX		
○ COMMUNICATIONS MANHOLE		

- ### SURVEY NOTES
- This survey was prepared utilizing Title Commitment No. VTB-184896-C prepared by Fidelity National Title Insurance Company, bearing a commitment date of 06/30/2024 insuring agent: Tower Title, LLC.
 - The bearing system for this survey is based on the Hennepin County coordinate system, NAD83 (1986 Adjust). The east line of the SE Quarter, Section 36, Township 118N, Range 24W is assumed to bear North 00 degrees 12 minutes 53 seconds East. The originating monument utilized to establish the horizontal position of this survey was the SE corner of said section.
 - The vertical datum is based on NAVD88. The originating benchmarks are SLAUG (Elev=990.926) and Y 117 RESET (Elev=1013.666), both referenced from the NGS Geodetic Database.
 - A Gopher State One Call (GSOC) request was placed on 10/11/2024 and assigned GSOC Ticket No(s). 242852643, 242852644 and 24852645. Utility information shown hereon is a compilation of provided map information and those visible utilities and marked utilities which were located during the survey field work. Utility suppliers often do not respond to locate requests in the field but may provide maps, plans, and drawings in lieu of physical location. The surveyor makes no guarantees that the underground utilities shown hereon comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown hereon are in the exact location as indicated, although they are located as accurately as possible from the available information. The surveyor has not physically located the underground utilities. Pursuant to MS 216.D contact Gopher State One Call at (651-454-0002) prior to any excavation.
 - Subject property's address is 87 McCulley, Independence, MN 55364. The property identification number is 3611824440009.
 - The subject property zoning information was not provided.
 - The surveyed property lies within Flood Plain Zone X - "Areas determined to be outside the 0.2% annual chance flood plain", as depicted by scaled map location and graphic plotting according to FEMA, FIRM Map No. 27053c0285F dated 11/04/2016.
 - The access and utility easement has access to McCulley Road as shown hereon.
 - The lease area and access and utility easement lie completely within the parcel as described in the title commitment, being the same land vested in Lawrence F. Vensel & Susan K. Vensel, or successor(s) as Trustees of the Vensel Family Trust as described in Warranty Deed dated 10/28/2012 and recorded 12/05/2022 in Instrument No. 11167056 in Hennepin County, Minnesota.
 - Field work was completed on 10/10/2024.

SUBJECT PROPERTY

Description from title commitment:

Real property in Hennepin County, Minnesota, described as follows:

The East 345 feet of the South 632 feet of the Southeast Quarter of the Southeast Quarter of Section 36, Township 118 North, Range 24 West of the 5th Principal Meridian, subject to the right of way of a public road along the South and East sides thereof.

The following notes correspond to the reference numbers listed in Schedule B, Section 2 of the title commitment.

Schedule B, Section II items per Title Commitment:

None

OBSERVED POSSIBLE ENCROACHMENTS

None Observed at the time of the survey.

DESCRIPTION

LEASE AREA:

That part of the Southeast Quarter of the Southeast Quarter of Section 36, Township 118 North, Range 24 West, Hennepin County, Minnesota, described as follows:

Commencing at the southeast corner of said the Southeast Quarter of the Southeast Quarter of Section 36 thence North 00 degrees 12 minutes 53 seconds West, assumed bearing along the east line of said Southeast Quarter of the Southeast Quarter, a distance of 296.83 feet; thence South 89 degrees 47 minutes 07 seconds West, a distance of 50.00 to the intersection of the west right of way line of McCulley Road; thence continue South 89 degrees 47 minutes 07 seconds West, a distance of 50.00 feet; thence South 00 degrees 12 minutes 53 seconds East, a distance of 30.00 feet to the point of beginning; thence South 89 degrees 47 minutes 07 seconds West, a distance of 100.00 feet; thence South 00 degrees 12 minutes 53 seconds East, a distance of 100.00 feet; thence North 89 degrees 47 minutes 07 seconds East, a distance of 100.00 feet; thence North 00 degrees 12 minutes 53 seconds West, a distance of 100.00 feet to the point of beginning and there terminating.

Containing 10,000 s.f. or 0.2296 acres

ACCESS AND UTILITY EASEMENT:

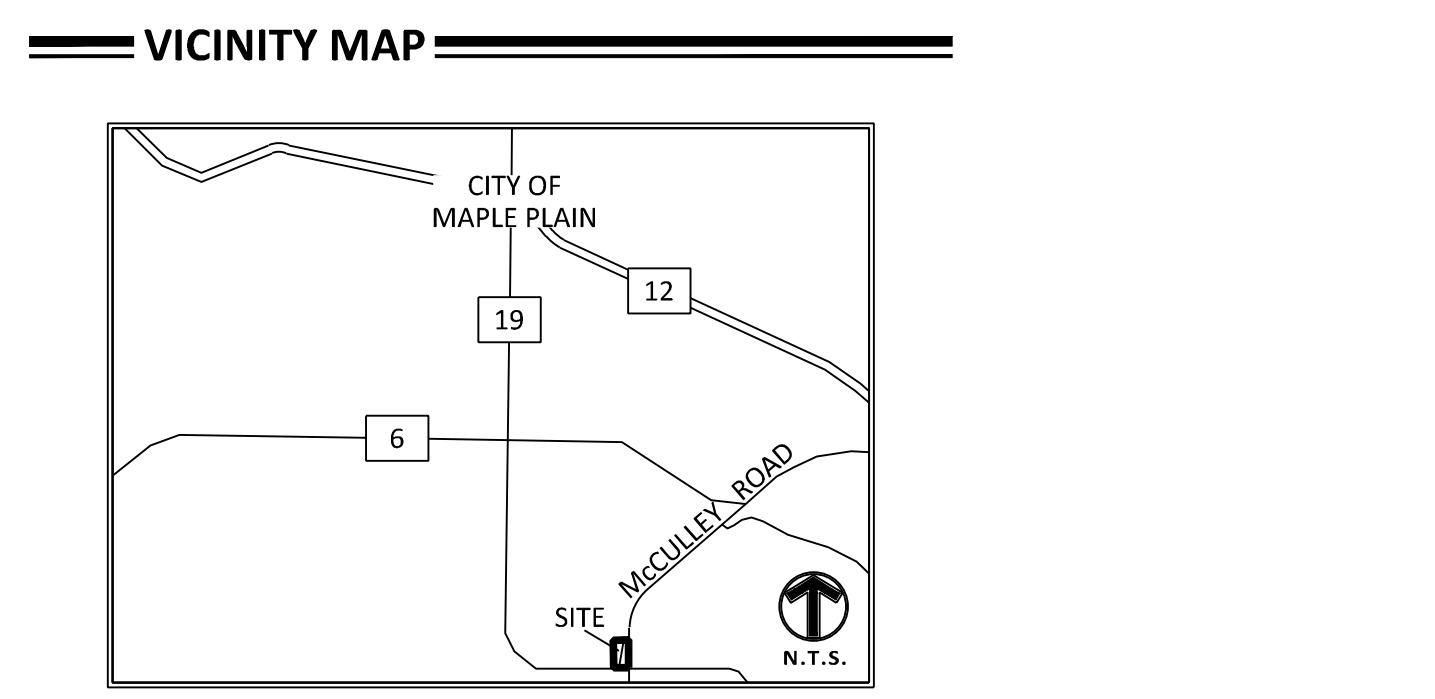
That part of the Southeast Quarter of the Southeast Quarter of Section 36, Township 118 North, Range 24 West, Hennepin County, Minnesota, described as follows:

Commencing at the southeast corner of said the Southeast Quarter of the Southeast Quarter of Section 36 thence North 00 degrees 12 minutes 53 seconds West, assumed bearing along the east line of said Southeast Quarter of the Southeast Quarter, a distance of 296.83 feet; thence South 89 degrees 47 minutes 07 seconds West, a distance of 50.00 to the intersection of the west right of way line of McCulley Road and the point of beginning; thence continue South 89 degrees 47 minutes 07 seconds West, a distance of 50.00 feet; thence South 00 degrees 12 minutes 53 seconds East, a distance of 30.00 feet; thence North 89 degrees 47 minutes 07 seconds West, a distance of 100.00 feet; thence North 00 degrees 12 minutes 53 seconds West, a distance of 60.00 feet; thence North 89 degrees 47 minutes 07 seconds East, a distance of 150.00 feet to the intersection of the said west right of way line; thence South 00 degrees 12 minutes 53 seconds East along said west right of way line, a distance of 30.00 feet to the point of beginning and there terminating.

Containing 7,500 s.f. or 0.1722 acres

TOWER CENTER

TOWER CENTER	Decimal Degrees	Degrees-Minutes-Seconds
LATITUDE:	N044° 58' 45.26"	N044° 58' 45.26"
LONGITUDE:	W093° 38' 45.78"	W093° 38' 45.78"
GROUND ELEVATION: 978.7 Feet (NAVD 88)		



CERTIFICATION

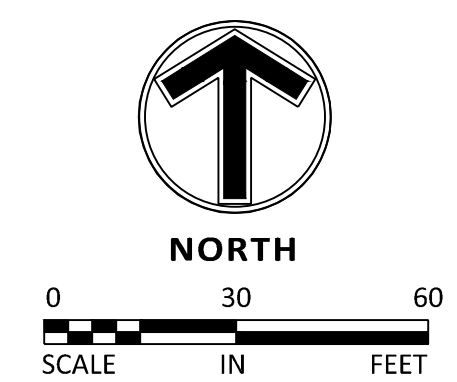
I hereby certify to Vertical Bridge REIT, LLC, a Delaware limited liability company, its subsidiaries, and their respective successors and/or assigns, Toronto Dominion (Texas) LLC, as Administrative Agent, for itself and on behalf of the lenders parties from time to time to that certain Second Amended and Restated Loan Agreement dated June 17, 2016 with Vertical Bridge Holdco, LLC, as borrower and Vertical Bridge Holdco Parent, LLC, as parent, as may be amended, restated, modified or renewed, their successors and assigns as their interest may appear and Tower Title, LLC.

Dated this 12th day of November, 2024.

Sambatek, Inc.

Mark R. Salo

Mark R. Salo
 Minnesota License No. 43933
 msalo@sambatek.com



NO	DATE	BY	CKD	APPR	COMMENT
A	11/12/2024	CDJ	MRS	MRS	CLIENT COMMENTS

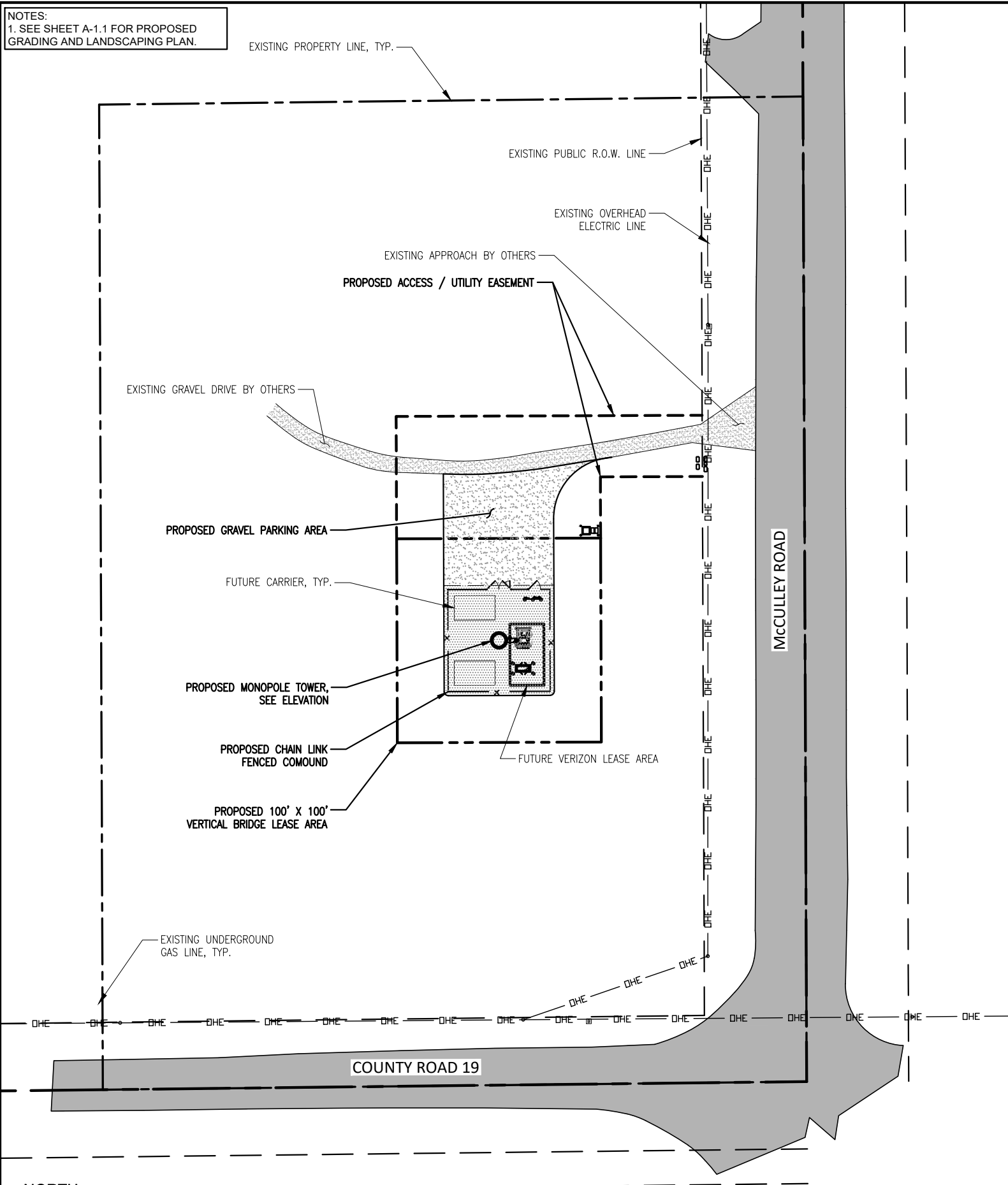
DATE ISSUED	10/30/2024
DRAWN BY	CDJ
DESIGNED BY	
CHECKED BY	MRS
PROJECT NO.	53242

LEASE AREA & UTILITY & ACCESS EASEMENT SURVEY MAP

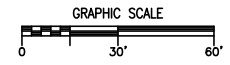
THE TOWERS, LLC
 SITE # US-MN-5154 MIN RED OAK
 87 McCULLEY ROAD
 MAPLE PLAIN, HENNEPIN COUNTY, MINNESOTA 55359

SHEET 1 OF 1 REV. 1

NOTES:
1. SEE SHEET A-1.1 FOR PROPOSED GRADING AND LANDSCAPING PLAN.

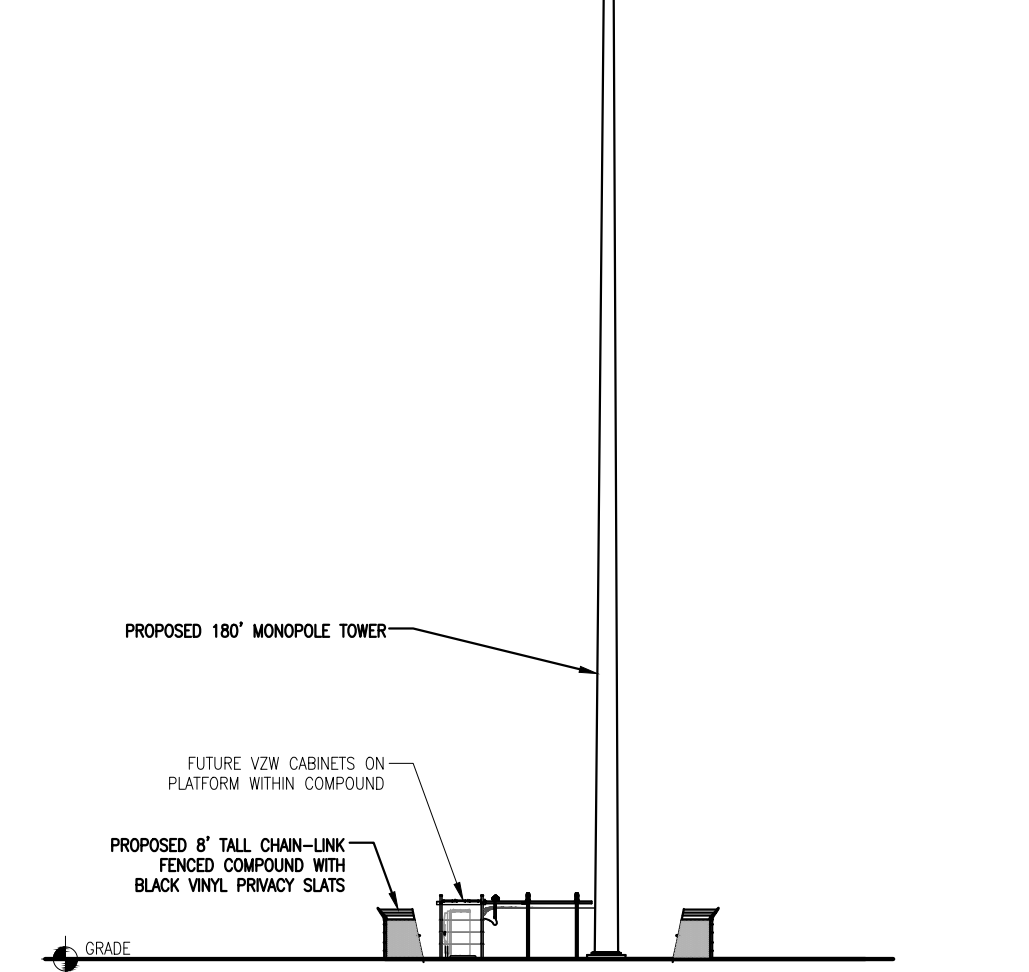
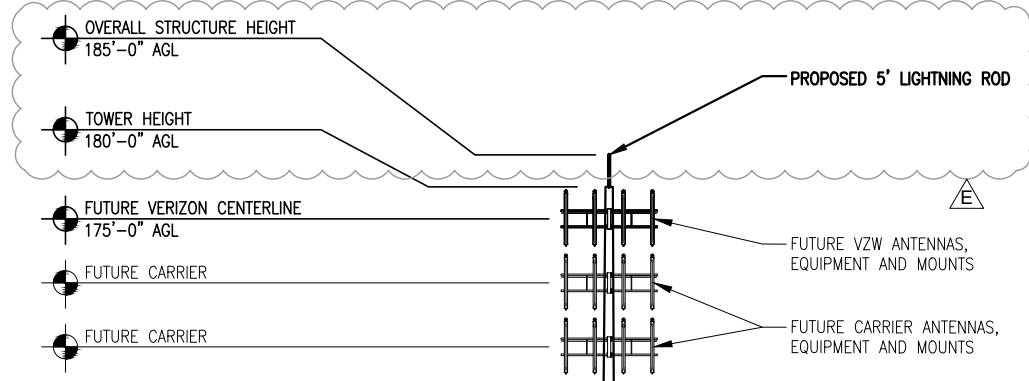


1 OVERALL SITE PLAN
SCALE: 1" = 60'-0"

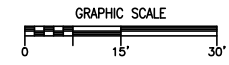


NOTES:

1. THESE DRAWINGS DO NOT CONSTITUTE A WARRANTY, EXPRESSED OR IMPLIED, OF THE ACCURACY OF THE STRUCTURAL ANALYSES AND THE PERFORMANCE OF THE COMPLETED CONSTRUCTION AS SHOWN ON THESE DOCUMENTS AND THE STRUCTURAL ANALYSES.
2. NO STRUCTURAL ANALYSIS FOR THE TOWER OR FOUNDATION HAVE BEEN PERFORMED AS PART OF THESE DRAWINGS. THE STRUCTURAL ANALYSIS FOR THE TOWER AND FOUNDATION ARE BY THE TOWER SUPPLIER AND SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF THE PROJECT.
3. PLEASE COORDINATE ANY STRUCTURAL CONCERNS/MATTERS OR ANY LOADING MODIFICATIONS TO THE CONSULTANT WHO AUTHORED THE ANALYSIS AND NOTIFY DESIGN 1 IMMEDIATELY OF THE ISSUE.
4. TOWER FOUNDATION AND THE ACCESS DRIVE TO BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS AND SPECIFICATIONS OF THE GEOTECHNICAL REPORT WHICH IS NOT INCLUDED IN THIS PACKAGE. DISCREPANCIES BETWEEN THE REPORT AND THE OTHER DOCUMENTS TO BE IMMEDIATELY REPORTED TO THE DESIGNER.
5. TOWER TO BE ERECTED AND INSTALLED IN ACCORDANCE WITH TOWER MANUFACTURER'S DRAWINGS NOT INCLUDED WITH THIS PACKAGE. DISCREPANCIES BETWEEN TOWER DRAWINGS AND DESIGNER DRAWINGS TO BE REPORTED THE DESIGNER IMMEDIATELY.
6. CONTRACTOR TO ENSURE TIP OF ANTENNAS DO NOT EXCEED TOWER HEIGHT.
7. ELEVATION IS SHOWN FOR GENERAL DIAGRAMMATIC PURPOSES ONLY. DO NOT SCALE.



2 TOWER ELEVATION
SCALE: 1" = 30'-0"



PREPARED FOR:
vertical bridge
THE TOWERS, LLC
750 PARK OF COMMERCE DR.
SUITE 200
BOCA RATON, FL 33487

NOT FOR CONSTRUCTION

DESIGN 1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

PROJECT
US-MN-5154

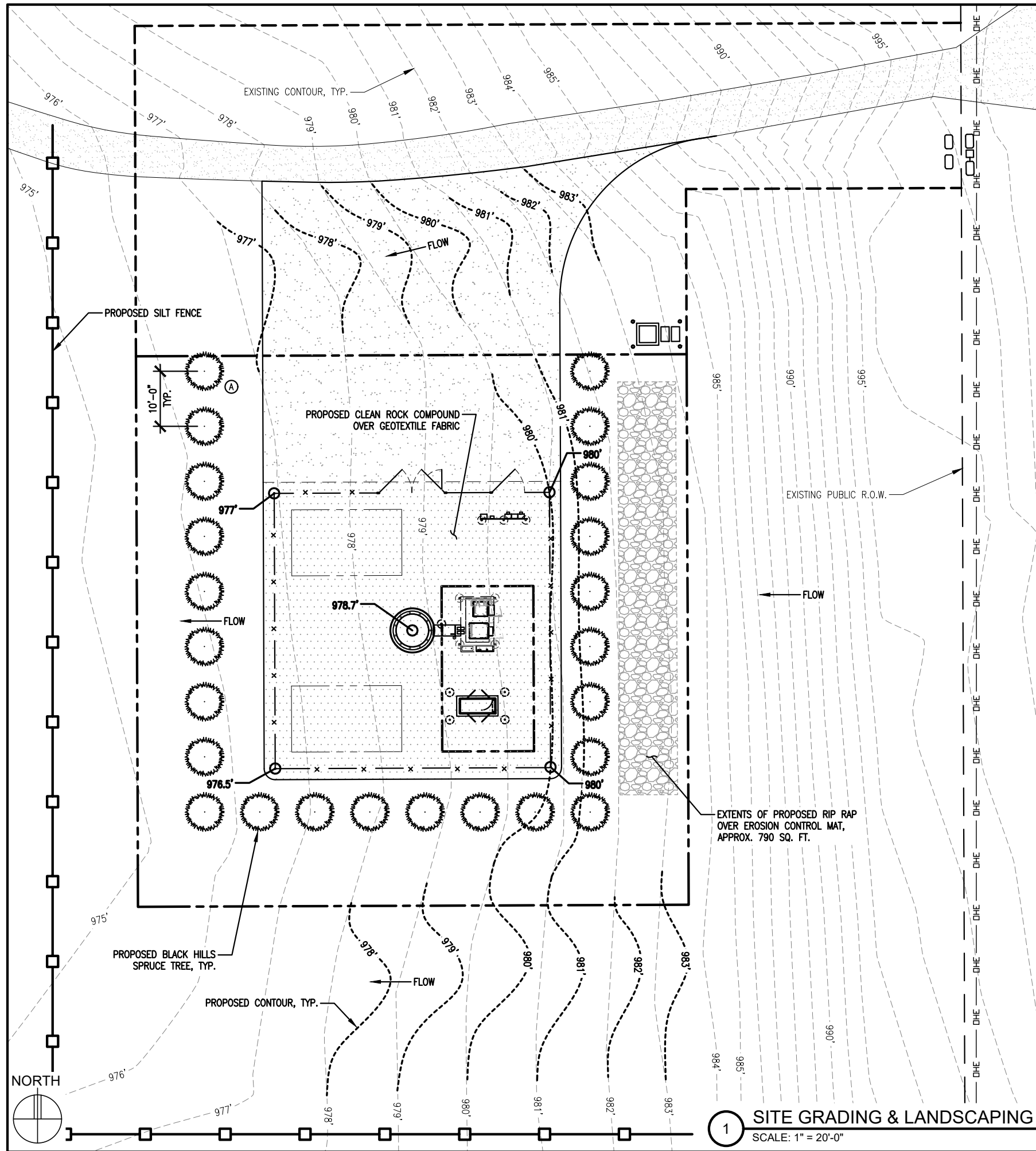
RED OAK

87 MCCULLEY ROAD
MAPLE PLAIN, MN 55359

SHEET CONTENTS:
OVERALL SITE PLAN
TOWER ELEVATION

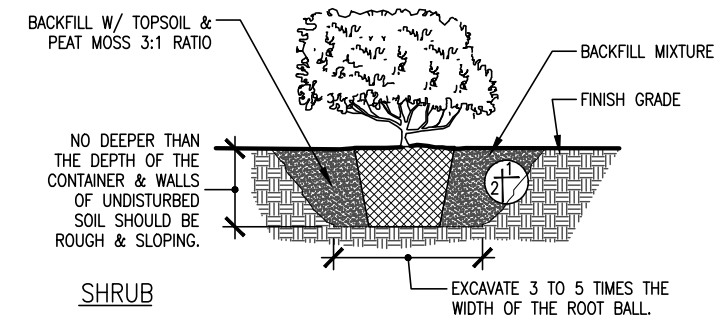
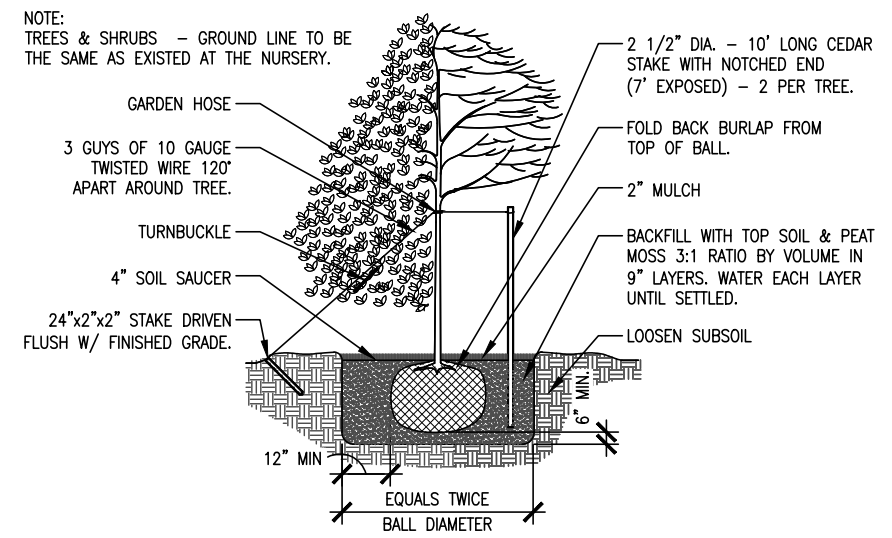
DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

A-1

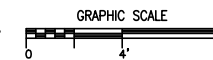


LANDSCAPE KEY					
SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	PLANTING SIZE	MATURE SIZE
	24	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	6' MIN. BALLED & BURLAP	H: 20'-40' W: 10'-15'

2 LANDSCAPE KEY
SCALE: N/A



3 PLANTING DETAIL
SCALE: 1/8" = 1'-0"



NOT FOR CONSTRUCTION

DESIGN 1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

PROJECT
US-MN-5154

RED OAK

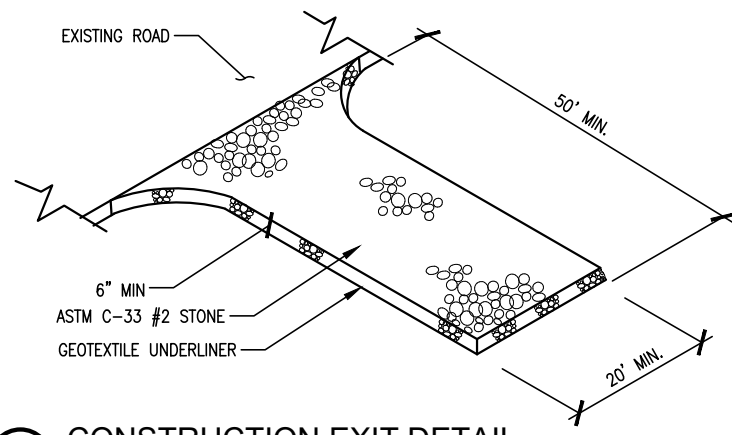
87 MCCULLEY ROAD
MAPLE PLAIN, MN 55359

SHEET CONTENTS:
SITE GRADING PLAN
LANDSCAPING PLAN, KEY
AND DETAIL

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

GRADING & EXCAVATING NOTES:

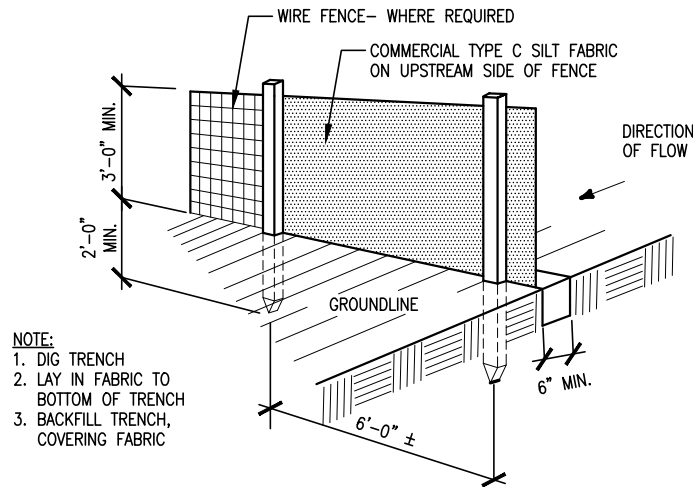
- ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUNDWATER. DEWATERING FOR EXCESS GROUNDWATER SHALL BE PROVIDED IF REQUIRED.
- CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
- ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
- AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
- USE APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND -BE FREE FROM CLOUDS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS -BE PLACED IN 6" LAYERS AND COMPACTED TO 95% STANDARD PROCTOR EXCEPT IN GRASSED/LANDSCAPED AREAS, WHERE 90% STANDARD PROCTOR
- REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACING FILLS. PLOW, STRIP, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
- PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAMAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
- REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES OF GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL GRAVEL RESURFACING MATERIAL AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL MAY BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE, SUBJECT TO ENGINEER'S APPROVAL.
- DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED/REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
- ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
- ALL CUT AND FILL SLOPES SHALL BE MAXIMUM 2 HORIZONTAL TO 1 VERTICAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING SITE VEHICLE TRAFFIC AS TO NOT ALLOW VEHICLES LEAVING THE SITE TO TRACK MUD ONTO PUBLIC STREETS. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING PUBLIC STREETS DUE TO MUDDY VEHICLES LEAVING THE SITE.



1 CONSTRUCTION EXIT DETAIL

GENERAL EROSION & SEDIMENT CONTROL NOTES:

- THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AND DETAILS AS SHOWN HEREIN AND STIPULATED WITHIN STATE STANDARDS SHALL BE FOLLOWED AND INSTALLED IN A MANNER SO AS TO MINIMIZE SEDIMENT LEAVING THE SITE.
- PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS.
- EROSION CONTROL DEVICES SHALL BE INSTALLED BEFORE GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. CONTRACTOR SHALL CLEAN OUT ALL SEDIMENT PONDS WHEN REQUIRED BY THE ENGINEER OR THE LOCAL JURISDICTION INSPECTOR. CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
- THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT IS WITHIN 12" OF THE TOP OF THE SILT FENCE.
- FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED.
- SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
- ALL CUT AND FILL SLOPES MUST BE SURFACED ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
- CONTRACTOR SHALL REMOVE ALL EROSION & SEDIMENT CONTROL MEASURES AFTER COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.



2 SILT FENCE DETAIL

SEEDING GUIDELINES:

FINAL STABILIZATION OF ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, SHALL BE LOAMED AND SEEDDED. LOAM SHALL BE PLACED AT A MINIMUM COMPACTED DEPTH OF 4". RECOMMENDED SEEDING DATES FOR PERMANENT VEGETATION SHALL BE BETWEEN JUNE 15 THROUGH AUGUST 1 AND SEPTEMBER 15 THROUGH OCTOBER 15. TEMPORARY VEGETATIVE MEASURES SHALL CONSIST OF AN ANNUAL OR PERENNIAL RYE GRASS WITH RECOMMENDED SEEDING DATES BEING FROM JUNE 1 THROUGH AUGUST 15 AND SEPTEMBER 30 THROUGH NOVEMBER 30.

EVALUATE PROPOSED COVER MATERIAL:

BEFORE SPREADING COVER MATERIAL OVER THE DESIGNATED AREA, OBTAIN A REPRESENTATIVE SOIL SAMPLE AND SUBMIT TO A REPUTABLE SOIL TESTING LABORATORY FOR CHEMICAL AND PHYSICAL ANALYSIS. THE PRELIMINARY TEST IS NECESSARY TO DETERMINE THE REQUIRED INORGANIC AND/OR ORGANIC AMENDMENTS THAT ARE NEEDED TO ASSIST IN ESTABLISHING THE SEED MIXTURE IN AN ENVIRONMENTALLY AND ECONOMICALLY SOUND MANNER. THE RESULTS WILL GIVE THE COVER MATERIAL CHARACTERISTICS SUCH AS pH AND FERTILIZATION NEEDS. THESE RESULTS SHALL BE KEPT ON-SITE BY THE CONTRACTOR AND AVAILABLE FOR REVIEW BY THE COUNTY.

SEED BED PREPARATION:

PROPOSED COVER MATERIAL SHOULD BE SPREAD EVENLY OVER THE SITE AREA IN A MINIMUM 4" LIFT VIA BULLDOZER/BUCKET LOADER. USING THE INFORMATION FROM THE SOIL ANALYSIS, CAREFULLY CALCULATE THE QUANTITIES OF LIMESTONE AND PRE-PLANT FERTILIZER NEEDED PRIOR TO APPLYING. PRE-PLANT AMENDMENTS CAN BE APPLIED WITH A BROADCAST AND/OR DROP SEEDER AND INCORPORATED WITH AN OFFSET DISK, YORK RAKE, AND/OR HAND RAKE. AFTER INCORPORATION THE PRE-PLANT SOIL AMENDMENTS, THE SEED BED SHOULD BE SMOOTH AND FIRM PRIOR TO SEEDING. THE FOLLOWING SEED MIXTURES SHALL BE USED AS NOTED:

SEED MIXTURE:

SPECIES/VARIETY	LBS/ACRE
CREeping RED	20
FESCUE	20
KENTUCKY	5
BLUEGRASS	
PERENNIAL RYEGRASS	

SEED TIME AND METHOD:

THE PREFERRED TIME FOR SEEDING THE COOL SEASON MIXTURE IS LATE SUMMER. SOIL AND AIR TEMPERATURES ARE IDEAL FOR SEED GERMINATION AND SEEDING GROWTH. WEED COMPETITION IS REDUCED BECAUSE SEEDS OF MANY WEED SPECIES GERMINATE EARLIER IN THE GROWING SEASON. ADDITIONALLY, HERBICIDE USE IS GREATLY REDUCED. HOWEVER, SEEDING MAY BE DONE AT ANY OF THE ABOVE NOTED TIMES.

MULCHING:

NEWLY SEEDDED AREAS SHOULD BE MULCHED TO INSURE ADEQUATE MOISTURE FOR SUCCESSFUL TURF ESTABLISHMENT AND TO PROTECT AGAINST SURFACE MOVEMENT OF SEDIMENT-BOUND AGROCHEMICALS AND SOIL EROSION. IF MULCHING PROCEDURES ARE NOT SPECIFIED ON PLANS, APPLY GOOD QUALITY STRAW OR HAY AT A RATE OF 2 BALES/1000 SQ. FT. OTHER COMMERCIALY AVAILABLE MULCHES CAN BE USED.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE:

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS: STEEL EITHER T OR U
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE: WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH: FILTER X, MIRAFI 100X' STABILINKA T140N OR APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. PREFABRICATED UNIT: GEOFAB, ENVIROFENCE OR APPROVED EQUAL
- ALL SILT FENCE MATERIALS MUST BE LISTED ON THE CURRENT STATES. D.O.T. QUALIFIED PRODUCTS LIST.

PREPARED FOR:

vertical bridge
THE TOWERS, LLC
 750 PARK OF COMMERCE DR.
 SUITE 200
 BOCA RATON, FL 33487

NOT FOR CONSTRUCTION

DESIGN
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

PROJECT
 US-MN-5154

RED OAK

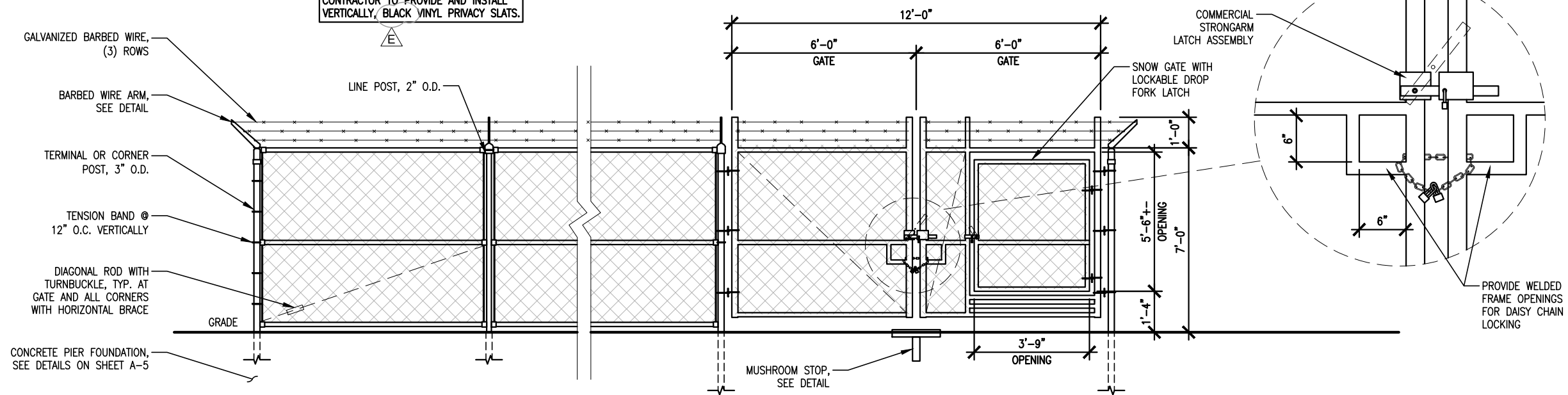
87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

SHEET CONTENTS:
 DRAINAGE,
 GRADING & EROSION
 CONTROL NOTES & DETAILS

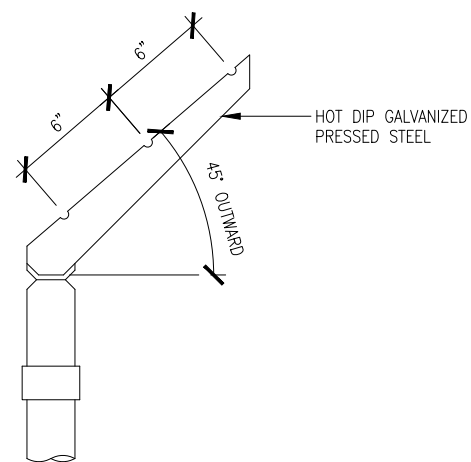
DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

NOTE:
CONTRACTOR TO INSTALL NUTS
ON ALL BOLTS TOWARDS THE
INTERIOR OF THE COMPOUND

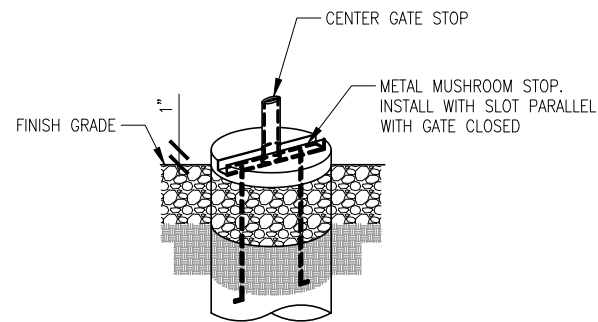
NOTE:
CONTRACTOR TO PROVIDE AND INSTALL
VERTICALLY, BLACK VINYL PRIVACY SLATS.



1 GATE DETAIL
SCALE: 1/4" = 1'-0"



2 BARBED WIRE ARM DETAIL



3 MUSHROOM STOP DETAIL

PREPARED FOR:

vertical bridge

THE TOWERS, LLC
750 PARK OF COMMERCE DR.
SUITE 200
BOCA RATON, FL 33487

NOT FOR
CONSTRUCTION

DESIGN 1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

PROJECT
US-MN-5154

RED OAK

87 MCCULLEY ROAD
MAPLE PLAIN, MN 55359

SHEET CONTENTS:
FENCE DETAILS

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

A-4

NOTES:

NOTES:
ZINC COATING – THE WEIGHT OF THE COATING SHALL NOT BE LESS THAN 1.2 OUNCES PER SQUARE FOOT OF ACTUAL SURFACE COVERED. ALL FERROUS METALS USED AS PART OF THE FENCE INSTALLATION SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL. ALL SCREWS, BOLTS, LOCK WASHERS, NUTS, ETC. SHALL BE HOT DIP GALVANIZED OR MADE OF STAINLESS STEEL.

FABRIC – STANDARD INDUSTRIAL GRADE #9 GAUGE WITH 2 INCH MESH ZINC COATED CHAIN LINK WITH A BREAKING STRENGTH OF NOT LESS THAN 1290 POUNDS SHALL BE USED. THE FABRIC SHALL BE ZINC COATED BY THE HOT DIP PROCESS AFTER FABRICATION.

METAL POSTS – METAL POSTS (LINE, CORNER, TERMINAL, GATE POSTS, MIDDLE RAILS, BRACES AND TOP RAIL) SHALL BE HOT DIP GALVANIZED SCHEDULE 40 TUBULAR STEEL WITH AN OUTSIDE DIAMETER AS INDICATED ON THIS DRAWING. A POST TOP FITTING OF GALVANIZED STEEL WILL BE INSTALLED TO EXCLUDE MOISTURE.

POST CAPS – ALL POST CAPS TO USE THE BARBED WIRE OUTRIGGER BRACKET AND SHALL BE ATTACHED TO THE POST WITH TAMPER RESISTANT SCREWS, BRADS, OR BOLTS.

TOP RAIL – A MINIMUM OF ONE COUPLING IN EACH STRAIGHT RUN OF TOP RAIL, SHALL HAVE A HEAVY SPRING INSERTED WITHIN THE COUPLING TO TAKE UP EXPANSION AND CONTRACTION OF THE TOP RAIL. THE TOP RAIL SHALL BE FASTENED TO TERMINAL POSTS WITH PRESSED STEEL CONNECTIONS.

MIDDLE RAIL – THE MIDDLE RAIL SHALL BE OF THE SAME MATERIAL AS THE TOP RAIL AND INSTALLED WITH HOT DIP GALVANIZED FITTINGS ATTACHED TO THE POSTS.

BRACE RAIL – BRACE RAIL MATERIAL SHALL BE OF THE MATERIAL AS THE TOP RAIL AND LOCATED 2/3 OF THE DISTANCE UP FROM THE BOTTOM OF THE FABRIC. BRACE RAILS SHALL BE SECURELY FASTENED TO POSTS BY SUITABLE PRESSED STEEL CONNECTIONS.

TRUSS RODS – SHALL BE 3/8" ROUND GALVANIZED STEEL RODS WITH GALVANIZED TURNBUCKLES. THE ZINC COATING SHALL BE NOT LESS THAN 1.2 OUNCES PER SQUARE FOOT OF SURFACE.

TENSION WIRE – THE TENSION WIRE SHALL BE OF #7 GAUGE HOT DIP GALVANIZED SPRING TENSION WIRE WITH A BREAKING STRENGTH OF NOT LESS THAN 1900 POUNDS. THIS WIRE SHALL BE KEPT TAUT WITH GALVANIZED TURNBUCKLES AND ATTACHED TO POSTS WITH GALVANIZED HARDWARE OR CABLE CLAMPS.

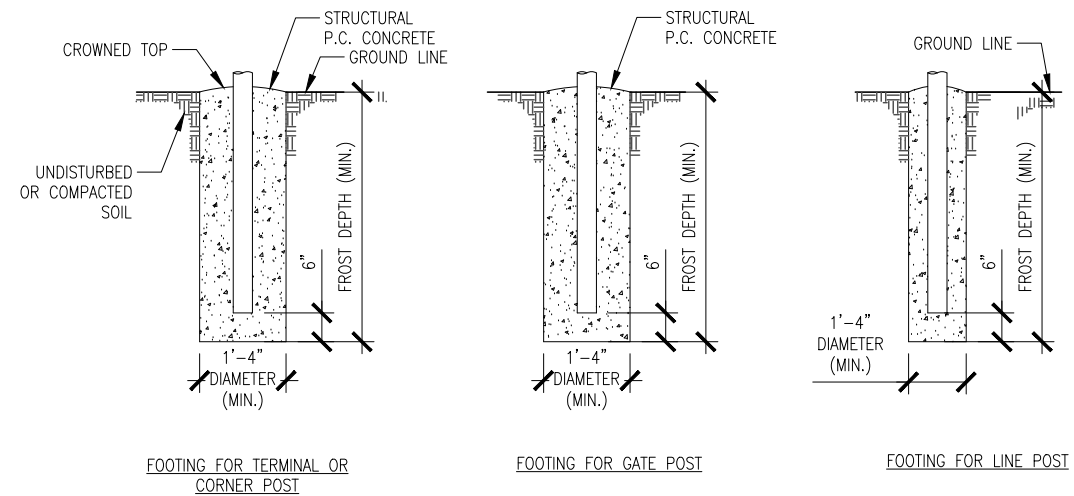
FABRIC TIES – THE FABRIC TIES SHALL BE ALUMINUM WIRE. NOT LESS THAN #9 GAGE.

STRETCHER BARS – THE STRETCHER BARS SHALL BE FLAT GALVANIZED STEEL BARS NOT LESS THAN 5/16" X 3/4" AND NOT LESS THAN 2" SHORTER THAN THE FABRIC. STRETCHER BAR BANDS SHALL BE FLAT GALVANIZED STEEL BARS NOT LESS THAN 5/16" X 1 1/2" WITH 5/16" DIAMETER GALVANIZED CARRIAGE BOLT.

BARBED WIRE – BARBED WIRE OF GALVANIZED STEEL (OR ALUMINUM) CONSISTING OF 12 1/2 GAUGE WIRE WITH 4-POINT BARBS OF 14 GAUGE WIRE SPACED 5 INCHES APART.

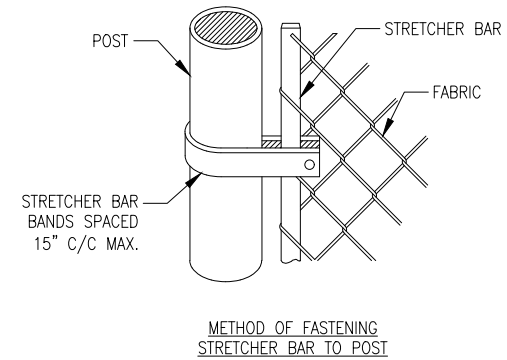
GATE FRAMES SHALL BE CONSTRUCTED OF 2 1/2 INCH OUTSIDE DIAMETER HEAVY DUTY GALVANIZED STEEL PIPE. THE GATES SHALL BE ASSEMBLED USING CORNER FITTINGS OF HEAVY PRESSED STEEL OR MALLEABLE CASTINGS OR MAY BE WELDED IF THE ENTIRE GATE FRAME IS HOT DIP GALVANIZED AFTER THE WELDING. ALL GATES SHALL BE EQUIPPED WITH HEAVY DUTY GALVANIZED STEEL TYPE HINGES WITH LARGE BEARING SURFACES OF ADEQUATE STRENGTH TO SUPPORT THE GATE. THE HINGES SHALL NOT TWIST OR TURN UNDER THE ACTION OF THE GATE. GATES WILL PROVIDE A FULL RANGE OF MOTION AND BE EASILY OPENED AND CLOSED BY ONE PERSON. GATE LATCH SHALL BE CARGO PROTECTORS, INC. MODEL FL-100. LATCH SHALL BE EQUIPPED TO RECEIVE A PADLOCK.

PROVIDE R.F. WARNING SIGNAGE ON ALL GATES.

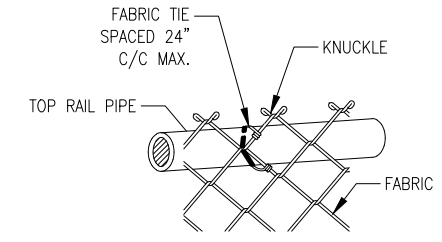


1 POST FOOTINGS

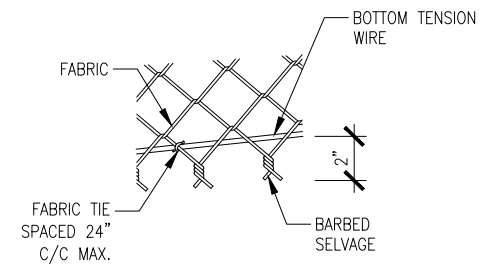
NOTE:
CONTRACTOR TO PROVIDE AND INSTALL VERTICALLY, BLACK VINYL PRIVACY SLATS.



METHOD OF FASTENING STRETCHER BAR TO POST



METHOD OF TYING FABRIC TO PIPE



METHOD OF TYING FABRIC TO TENSION WIRE

2 FABRIC/BAR CONNECTIONS

PREPARED FOR:
vertical bridge
THE TOWERS, LLC
750 PARK OF COMMERCE DR.
SUITE 200
BOCA RATON, FL 33487

NOT FOR CONSTRUCTION

DESIGN 1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

PROJECT
US-MN-5154

RED OAK
87 MCCULLEY ROAD
MAPLE PLAIN, MN 55359

SHEET CONTENTS:
FENCE NOTES
FENCE DETAILS

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

NOT FOR CONSTRUCTION

DESIGN
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

PROJECT
 US-MN-5154

RED OAK

87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

SHEET CONTENTS:
 SITE SIGNAGE DETAILS

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25



A | OWNER CONTACT SIGN
 18" HIGH X 24" WIDE
 WHITE BACKGROUND, BLACK LETTERING
 MOUNTING LOCATION: LEFT GATE
 QUANTITY: 1



B | FCC REGISTRATION SIGN
 8" HIGH X 12" WIDE
 WHITE/GREEN BACKGROUND, WHITE/BLACK LETTERING
 MOUNTING LOCATION: GATE & BASE OF TOWER
 QUANTITY: 2



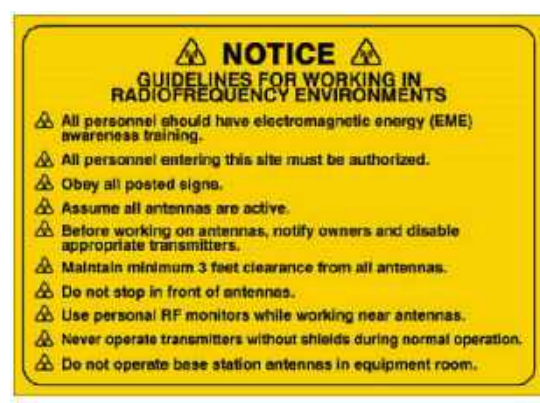
E | NOTICE RF SIGN (BLUE)
 12" HIGH X 8" WIDE
 WHITE/BLUE BACKGROUND, WHITE/BLACK LETTERING
 MOUNTING LOCATION: WHERE ACCESS GATE INSTALLED
 QUANTITY: 1



F | NOTICE RF SIGN (YELLOW)
 12" HIGH X 8" WIDE
 WHITE/YELLOW BACKGROUND, BLACK LETTERING
 MOUNTING LOCATION: WHERE ACCESS GATE INSTALLED
 QUANTITY: 1

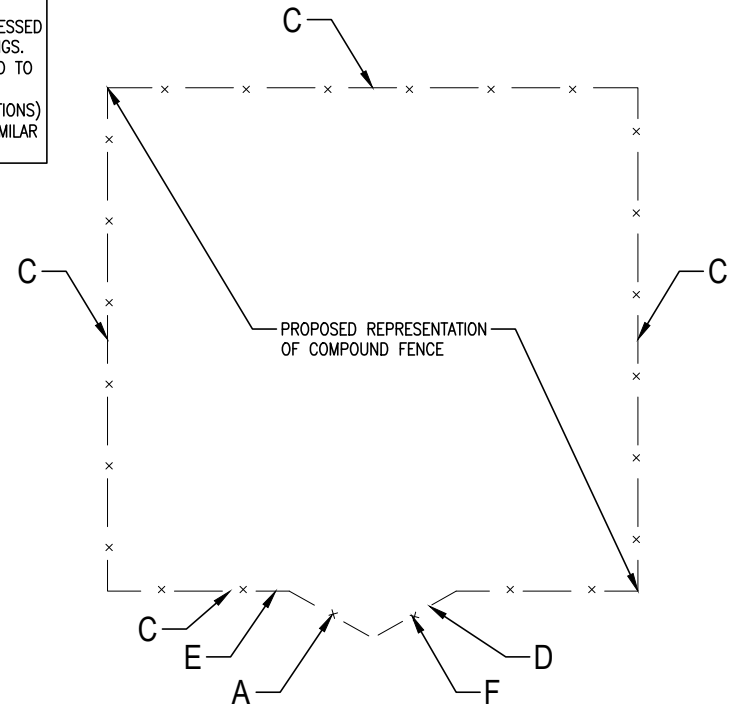
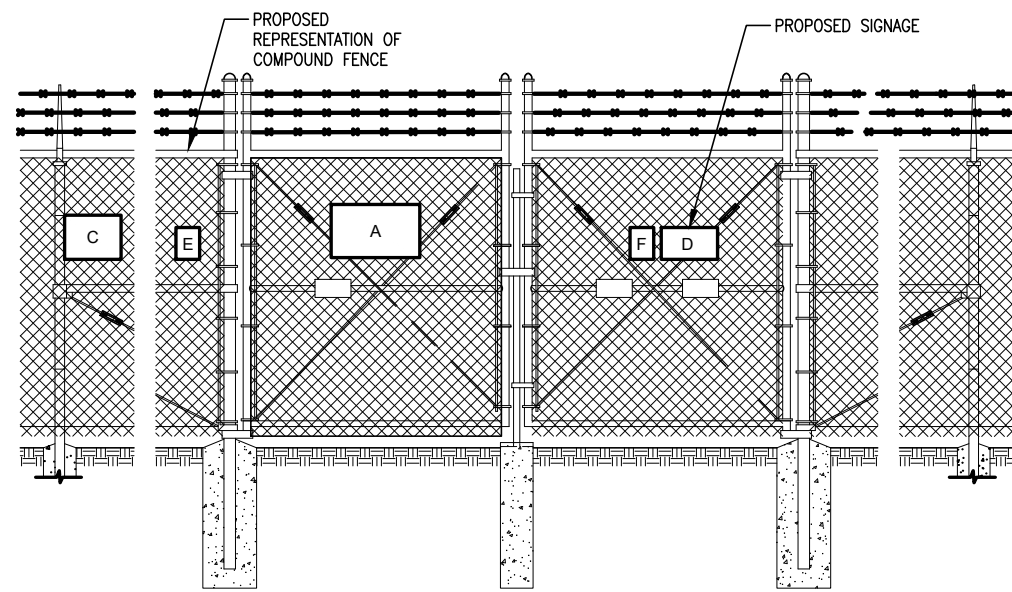


C | NO TRESPASSING
 10" HIGH X 14" WIDE
 WHITE/BLACK/RED BACKGROUND, BLACK/WHITE LETTERING
 MOUNTING LOCATION: WHERE GATE IS INSTALLED (QTY. 1)
 AROUND FENCED COMPOUND (QTY. 3)



D | RF GUIDELINES SIGN
 8" HIGH X 12" WIDE
 YELLOW BACKGROUND, BLACK LETTERING
 MOUNTING LOCATION: RIGHT GATE & BASE OF TOWER
 QUANTITY: 2

NOTES:
 1. SIGNAGE, PLAN, & ELEVATION IS SHOWN FOR INFORMATION PURPOSES ONLY. CONTRACTOR TO VERIFY EXACT PLACEMENT WITH TOWER OWNER
 2. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
 3. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE, & FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.



1 | SITE SIGNAGE

NOT FOR CONSTRUCTION

DESIGN 1
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

PROJECT
 US-MN-5154

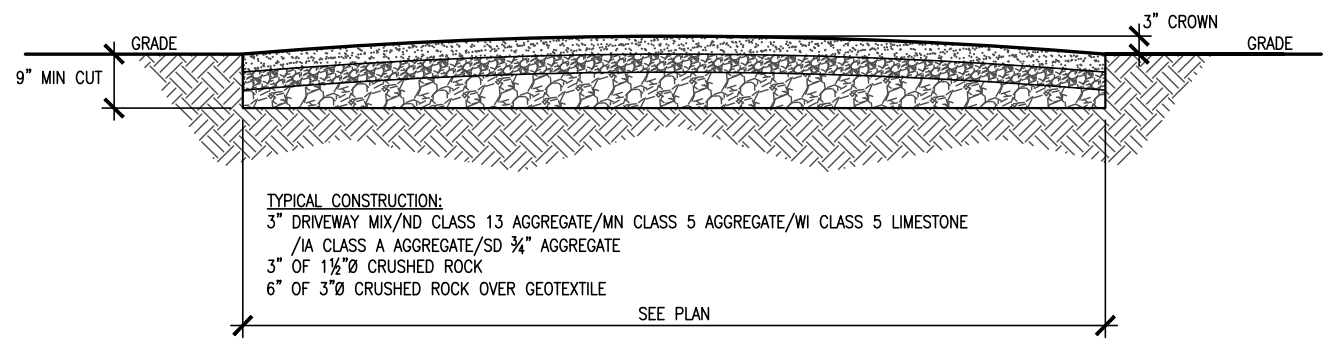
RED OAK

87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

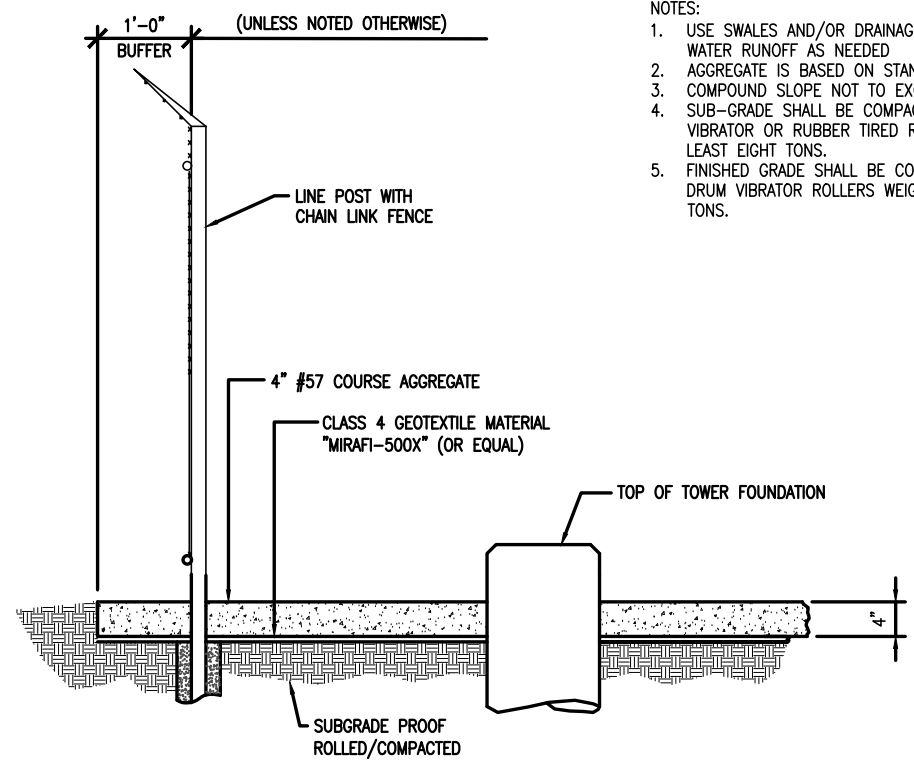
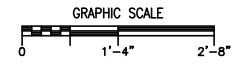
SHEET CONTENTS:
 GRAVEL DRIVE SECTION
 SURFACING DETAIL
 BOLLARD DETAIL
 UTILITY TRENCH DETAIL

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

- NOTES:
1. PREPARE SUB-GRADE AND CONSTRUCT IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
 2. ANY VARIANCE FROM THIS ROADWAY DESIGN MUST BE SUBMITTED AND APPROVED PRIOR TO BID.
 3. CONTRACTOR TO COMPACT EACH LAYER OF ROCK IN ACCORDANCE WITH ASTM & LOCAL STANDARDS.

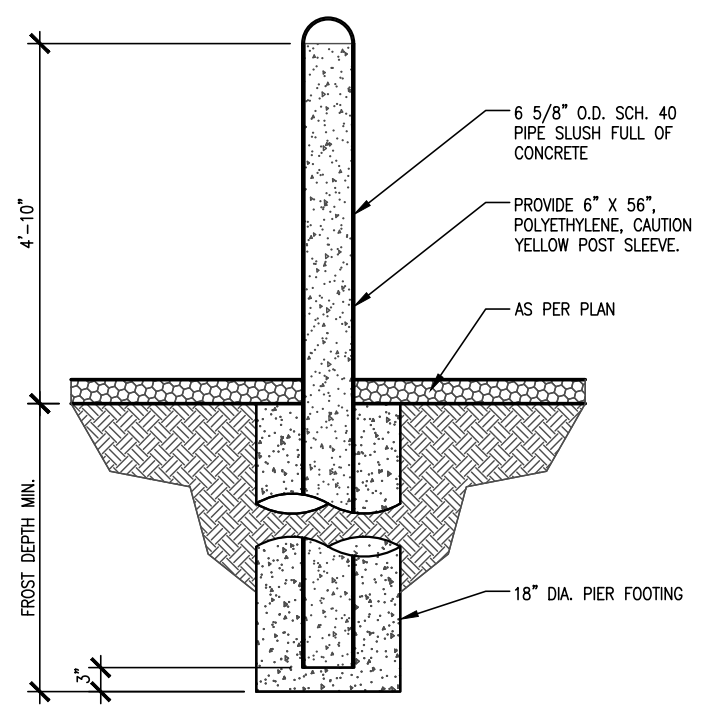


1 GRAVEL DRIVE SECTION
 SCALE: 3/8" = 1'-0"

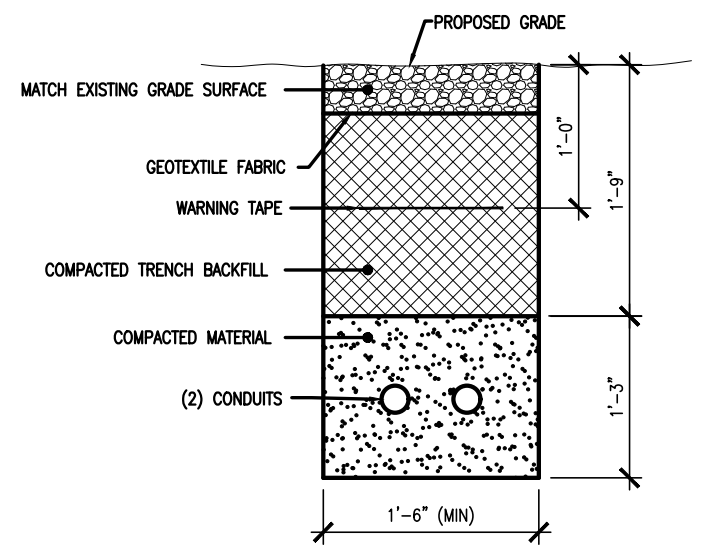
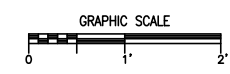


- NOTES:
1. USE SWALES AND/OR DRAINAGE DITCHES FOR PROPER WATER RUNOFF AS NEEDED
 2. AGGREGATE IS BASED ON STANDARD AASHTO
 3. COMPOUND SLOPE NOT TO EXCEED 5%
 4. SUB-GRADE SHALL BE COMPACTED BY SHEEPS FOOT VIBRATOR OR RUBBER TIRED ROLLERS WEIGHING AT LEAST EIGHT TONS.
 5. FINISHED GRADE SHALL BE COMPACTED BY SMOOTH DRUM VIBRATOR ROLLERS WEIGHING AT LEAST EIGHT TONS.

2 COMPOUND SURFACING DETAIL



3 BOLLARD DETAIL
 SCALE: 1/2" = 1'-0"



4 UTILITY TRENCH DETAIL



1 SITE PHOTO
VIEW: LOOKING EAST



2 SITE PHOTO
VIEW: LOOKING NORTH



3 SITE PHOTO
VIEW: LOOKING WEST



4 SITE PHOTO
VIEW: LOOKING NORTH

PREPARED FOR:



THE TOWERS, LLC
750 PARK OF COMMERCE DR.
SUITE 200
BOCA RATON, FL 33487

NOT FOR
CONSTRUCTION



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

PROJECT
US-MN-5154

RED OAK

87 MCCULLEY ROAD
MAPLE PLAIN, MN 55359

SHEET CONTENTS:
PHOTOS

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

GENERAL GROUNDING NOTES:

An external buried ground ring (Lead 1) shall be established around the equipment cabinets and tower foundations. Lead 1 shall be kept 24" from foundations; if foundations are less than 48" apart, keep Lead 1 centered between them. If the tower base is over 20'-0" from the equipment cabinets, a separate Lead 1 shall be established around each foundation, and the two Lead 1s shall be bonded with two parallel leads at least 6 feet apart horizontally. Connections between the two Lead 1s shall be bi-directional.

All subgrade connections shall be by exothermic weld, brazed weld, or gas-tight UL467-listed compression fittings pre-filled with anti-oxidant compound. Subgrade connections shall not be 'cold galvanize' coated.

Lead 1 shall be #2 solid bare tin-clad (SBTC) copper wire buried at local frost depth. Lead 1 bends shall be minimum 24" radius. 'Whip' lead bends may be of 12" radius.

Ground rods shall be galvanized steel, 5/8", spaced twenty feet apart, or as shown. Rods shall be kept min. 24 inches from foundations. Ground rods are required to be installed at their full specified length. Depth shall be as shown in Detail 11.1 in the Verizon Wireless Standard Detail Booklet.

SPECIAL CONSIDERATIONS FOR GROUND RODS:

When ground rods are not specified to be backfilled w/ Bentonite Slurry: If boulders, bedrock, or other obstructions prevent driving of ground rods, the Contractor will need to have drilling equipment bore a hole for ground rod placement. Hole to be backfilled w/ Bentonite Slurry.

When specified with slurried Bentonite encasement, drilling equipment will be used to be bore a hole for ground rod placement. Slurry shall be made from pelletized material ("Grounding Gravel"); powdered Bentonite is not allowed. If boulders, bedrock, or other obstructions are found, Contractor shall drill to the specified depth and provide Bentonite encasements.

Above-grade connections shall be by lugs w/ two-hole tongues unless noted otherwise, joined to solid leads by welding (T&B 54856BE "BROWN"), self-threading (RECOGNIZED, EM 2522DH.75.312), or 10,000psi crimping (BURNDY YA3C 2TC 14E2). Surfaces that are galvanized or coated shall have coating(s) removed prior to bolting. Bolts shall be stainless steel with flat washers on each side of the connection and a lock washer beneath the fastening nut. Star-tooth washers shall be used between lug & dissimilar metal (copper-to-steel, etc) but are not required between tin-clad CU lugs & tin-clad CU bus bars. Lug tongues shall be coated with anti-oxidant compound, and excess compound wiped clean after bolting. The connection shall then be coated with cold-galvanizing compound, or with color-matching paint.

Ground bars exposed to weather shall be tin-clad copper, and shall be clean of any oxidation prior to lug bolting.

Galvanized items shall have zinc removed within 1" of weld area, and below lug surface contact area. After welding or bolting, the joint shall be coated with cold galvanizing compound.

Ground Bar leads

Ground bars are isolated electrically from tower bottoms and equipment cabinets by their standoff mounts. Leads from each ground bar to the ground ring shall be a pair of #2 SBTC, each connected to Lead 1 bi-directionally with #2 SBTC 'jumpers'. Pairs of #2 SBTC may be required between ground bars. Leads shall be routed to ground bars as follows:

- * The Main Ground Bar (MGB), typically mounted adjacent to the ILC (location varies).
- * The Port Ground Bars (PGB), mounted inside and outside on the equipment shelter walls beneath the transmission line port. Note: Transmission line grounds also attach to the PGBs.
- * The Tower Ground Bar (TGB) mounted at the base of the tower. Note: Transmission line grounds also attach to the TGBs.

NOTE: Contractor shall confirm that TGBs exist at 75-foot vertical intervals on any guyed or self-support tower, and that transmission lines are grounded to each TGB. Only the bottom-most TGB is isolated from the tower steel frame; upper TGBs may use the tower steel frame as common ground, requiring no copper leads between TGBs.

#2 SBTC Whip leads

"Whip" leads shall connect the buried external ground ring to the following items:

Monopole Towers:

* Three whips to flanges on the monopole base, at least 90° apart. If none are provided, attach to the baseplate or consult tower manufacturer.

Self-Support Towers:

* Two whips to flange(s) on each tower leg base. If none are provided, attach to the baseplate or consult tower manufacturer.

Guyed Towers:

* Two whips to flange(s) on the tower base. If none are provided, attach to the baseplate or consult tower manufacturer.
 * Establish a Lead 1 within the fence enclosure of each guy anchor, at least 40 foot perimeter and having 4 ground rods.
 * #2 SBTC leads shall extend up, and be clamped (bronze clamshell or equal), to any two guy wires. NEVER weld leads to the guy wires. The lead to the guy anchor 'hand' plate may be welded.

Fences:

Metallic fence within 25 feet of tower Lead 1, or within 6 feet of shelter lead 1, shall have whip leads as follows:

- * Each corner post.
- * Each pair of gate posts.
- * Any line post over 20'-0" from a grounded post.
- * Each gate leaf to its respective gatepost using braided strap (3/4", tin-clad copper w/ lug ends).
- * Fences around guy anchors shall be grounded in similar fashion.

Fuel tanks:

NEVER WELD to any fuel enclosure. NEVER penetrate the fuel containment. Metal tanks shall have one whip lead attached. Use an approved clamp or two-hole lug on an available flange.

Equipment Shelter/Platform and Other General Requirements (including but not limited to):

- Extend new Lead 21B up to shelter halo, remaking two-way connections as needed. Generator-equipped shelters have 6 such connections. Connections within the shelter shall be by compression; NEVER weld inside the shelter.
- Each vertical support pipe of the exterior cable bridge. Bridge end shall be kept at least 6" from the tower structure. The cable bridge shall be jumpered to the vertical support pipes with #2 SBTC at each vertical support pipe.
- Opposite corners of the steel equipment platform.
- Opposite corners of the roof shield over the equipment shelter.
- Each HVAC unit shield, if separate (may be 'jumpered' to main roof shield).
- Each HVAC package unit.
- Commercial electric meter box.
- Generator receptacle, if present.
- Steel building skid, if shelter is metal frame.
- Each air intake or exhaust fan vent louver.
- Each generator vent hood or louver.
- Generator exhaust stack, external.
- Opposite corners of generator support frame, if separate from shelter.
- Generator fuel tank, if separate from generator unit.
- Host building rain gutter, downspouts, and roof flashings within 25 feet.
- Telco MPOP (Main Point of Presence), if external to equipment shelter.
- Within cable vaults, one each to the ladder and to the manhole rim.

Note: The door frame is connected to the interior ground halo, and need no separate connection to the external ground ring.

Inspection & Testing

Test lead #1 and ground rods after installation but before backfilling or connecting to any other grounding, using the 3-point fall of potential method. Contractor to notify Verizon Wireless senior construction engineer at least 48 hours prior to testing. Document installation and test results with photographs.

SYMBOL AND NOTE LEGEND

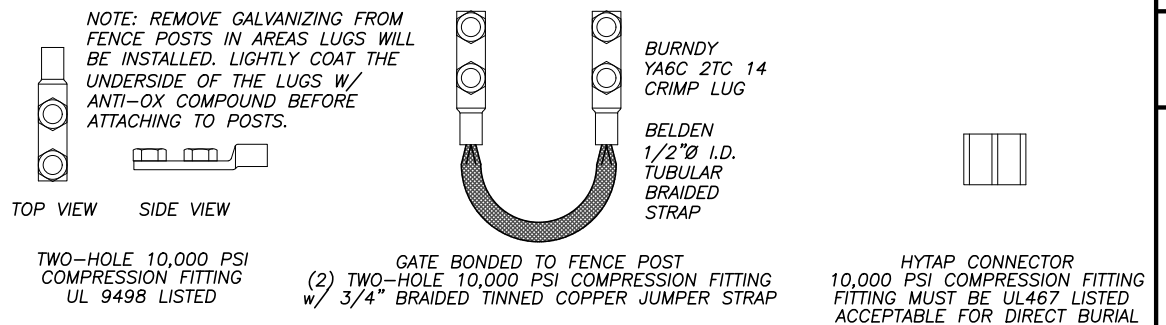
- ①--- #2 SBTC AROUND EQUIPMENT CABINETS, TOWER, OR GUY ANCHOR
- 5/8" X 10'-0" GALVANIZED STEEL GROUND ROD
- ⊙ TEST WELL PREFERRED LOCATION
- #2 SBTC 'WHIP' LEAD
- ⑤--- (2) #2 SBTC FROM MGB, PGB, OR TGB TO LEAD 1
- ⑥ AC HVAC UNIT
- ②1B BC BUILDING CORNER
- ⑥ BO BOLLARD
- ⑥ CBS CABLE BRIDGE SUPPORT POST
- ④ EL ELECTRICAL SERVICE GROUND
- ⑥ EM COMMERCIAL ELECTRICAL METER
- ⑥ FAN GUY ANCHOR PLATE
- ⑥ FP FENCE POST
- ⑨0 GEN GENERATOR
- ⤿ GP GATE POST, 3/4" BRAID STRAP TO LEAF
- ⑥ GPS GPS UNIT
- ⑥ GUY GUY WIRE, MECH. CLAMP ONLY - NO WELDS
- ⑥ HL HOOD OR LOUVER
- ⑥ HB OUTSIDE OF HOFFMAN BOX
- ⑥ ILC INTEGRATED LOAD CENTER
- ⑤ MGB MAIN GROUND BAR
- ⑥ MU GENERATOR MUFFLER
- ⑤ PGB PORT GROUND BAR
- ⑥ RBR FOUNDATION REINFORCING
- ⑥ RS ROOF SHIELD
- ⑥ SB STEEL BEAM
- ⑥ SP STEEL POST
- ⑥ STP STEEL PLATFORM
- ⑥ TEL HOFFMAN BOX
- ⑤ TGB TOWER GROUND BAR
- ⑥ TWR TOWER BASE
- ⑥ VP DIESEL FUEL VENT PIPE

GENERAL CONTRACTOR NOTES:

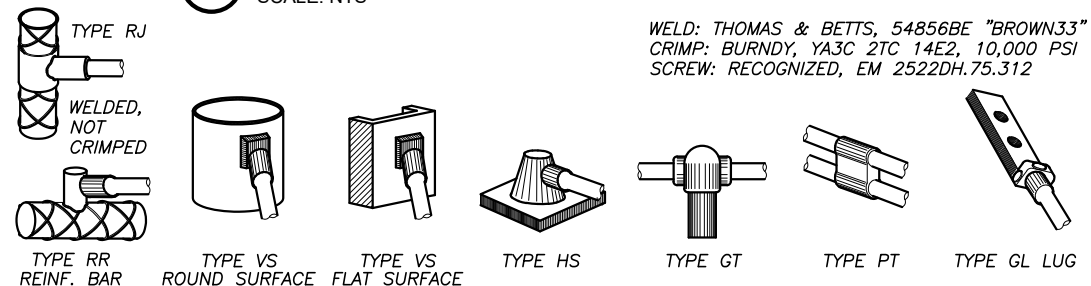
- CONTRACTOR TO COORDINATE PUBLIC & PRIVATE UTILITY LOCATES PRIOR TO CONSTRUCTION START. NOTIFY THE DESIGNER AND CARRIER CONSTRUCTION ENGINEER IMMEDIATELY OF ANY UTILITY LINE ISSUES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT THE INSTALLATION OF ALL GROUNDING MEETS THE CARRIERS GROUNDING STANDARDS AS APPLICABLE.
- CONTRACTOR SHALL ENSURE THAT EACH WHIP IS ROUTED TO LEAD 1 BY THE SHORTEST PATH, AND BENDS SHALL NOTE BE LESS THAN 12" RADIUS.
- PRIMARY ELECTRICAL - DEPTH AND SPECIFICATION BY POWER UTILITY COMPANY.
- SECONDARY ELECTRICAL - INSTALL CONDUIT 32" BELOW GRADE WITH TWO (2) DETECTABLE RIBBONS.
- FIBER OPTIC - INSTALL CONDUIT 36" BELOW GRADE WITH PULL STRING, TRACEABLE WIRE AND TWO (2) DETECTABLE RIBBON.

LEAD IDENTIFICATION & DESCRIPTION:

1 RING, EXTERNAL BURIED w/ RODS	#2 SBTC	25 RING TO NEAREST LIGHTNING ROD	#2 SBTC
1A RING, CONCRETE ENCASED	#2 SBTC	26 LGHTNG ROD SYS TO NEARBY MTL	NFPA 780
2 DEEP ANODE (TO IMPROVE OHMS)	ROD OR PIPE	27 RING TO TOWER RING	(2) #2 SBTC
3 RING TO BLDG STL FRAME	#2 SBTC	28 RING TO SHELTER RING	(2) #2 SBTC
4 MAIN AC PANEL NEUTRAL BUS TO (2) GROUND RODS, ISOLATED FROM LEAD #1	NEC 250.66	29 BRANCH AC PNL TO BTTY CHG FRM	NSTD33-11
5 RING TO GROUND BAR	(2) #2 SBTC	30 BRANCH AC PNL TO OUTLETS	NSTD33-11
6 RING TO EXT MTL OBJECT	#2 SBTC	31 MGB/FGB TO PWR, BTTY FRAMES	#2/0 I-STR
7 DEEP ANODE TO MGB	NSTD33-9	32 #31 TO BATTERY CHARGER FRAME	#6 I-STR
8 AC PANEL TO WATER METER	NEC 250.66	33 #31 TO BATTERY RACK FRAME	#6 I-STR
9 EXT WATER TO INT WATER PIPES	NSTD33-9	34 #31 TO PCU FRAME	#6 I-STR
10 INT WATER PIPE TO MGB	NSTD33-9	35 #31 TO DSU FRAME	#6 I-STR
11-12 NOT USED		36 #31 TO PDU FRAME	#6 I-STR
13 AC PANEL TO MGB	NSTD33-9	37 MGB/FGB TO BTTY RETURN	NSTD33-14.5
14 MGB/FGB TO BLDG STL FRAME	#2/0 I-STR	37A MGB/FGB TO RTN TERM CARR SUPP	#6 I-STR
14C MGB/FGB TO ROOF/WALL MTL PNL	#1/0 I-STR	38 FGB TO PDU GB	#750MCM I-STR
15 MGB/FGB TO FGB-HE SAME FLOOR	#2/0 I-STR	38A FGB TO PDU GB CARRIER SUPPLY	#2/0 I-STR
16 NOT USED		39 DC BUS DUCT TO NEXT SECTION	#6 I-STR
16A ECPGB TO CABLE ENTRY RACK	#1/0 I-STR	40 DC BUS DUCT TO MGB/FGB	#6 I-STR
17 MGB TO CABLE SHIELDING	#6 I-STR	41A MGB/FGB TO #58	#2/0 I-STR
17A ECPGB TO CABLE SHIELDING	#6 I-STR	42-44 NOT USED	
17B MGB/FGB TO F-0 SPLICE SHELF	#1 I-STR	45 MAIN AC PNL TO BRANCH AC PNL	NSTD33-11
18 LOWEST MGB/FGB TO HIGHEST FGB	#2/0 I-STR	46 BRANCH AC PNL TO DED OUTLET	NSTD33-11
19 LEAD 18 TO OTHER FGBs, <6'	#2/0 I-STR	47 FGB TO INTEG FRM	#2 I-STR
20 MGB/FGB TO BRANCH AC PNL	#6 I-STR	48 LEAD #31 TO INTEG FRM	#6 I-STR
20A NEAREST GRND TO DISCONNECT PNL	NEC 250.66	49 INTEG FRM TO EQUIP SHELF	BY FASTENERS
20B GWB TO AC DISTR PNL	#6 I-STR	50 PDU BTTY RET TO #51	#2/0 I-STR
21 MGB/FGB TO INT HALO	#2 I-STR	51 #50 TO TRANS FRM ISO DC PWR	#6 I-STR
21A INTERIOR 'GREEN' HALO	#2 I-STR	52 TRANS FRM FUSE TO FRM OR BAR	#8 I-STR
21B INT HALO TO EXT RING	#2 SBTC	53A MGB/FGB TO PDF/BDFB	NSTD33-22
21C INT HALO TO EQUIPMENT MTL	#6 I-STR	54 MGB/FGB TO STATIC DEVICES	#6 I-STR
22 ROOF TOWER RING TO ROOF GRND	NFPA 780	55 MGB/FGB TO CABLE AT ENTRY	#6 I-STR
23 MGB/FGB TO ECPGB, SAME FLOOR	#1 I-STR	56 MGB/FGB TO AC PWR RADIO XMTR	#6 I-STR
23A MGB/FGB TO CXR-HF LINR PROT	#6 I-STR	57A MGB/FGB TO CBL GRID/RUNWAY	#2/0 I-STR
24 ECPGB TO EACH PROTECTOR ASSEMBLY	#6 I-STR	58A #41A TO AISLE FRAME	#2 I-STR
24A LOWER PROT ASSY TO UPPER	#6 I-STR	59A #58A TO EACH SGL FRAME GRND	#6 I-STR
		60-89 NOT USED	
		90 GENERATOR FRAME TO EXT RING	#2 SBTC



2 COMPRESSION CONNECTOR DETAILS
SCALE: NTS



1 EXOTHERMIC WELD DETAILS
SCALE: NTS

PREPARED FOR:

vertical bridge
THE TOWERS, LLC
 750 PARK OF COMMERCE DR.
 SUITE 200
 BOCA RATON, FL 33487

NOT FOR CONSTRUCTION

DESIGN
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

PROJECT US-MN-5154

RED OAK

87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

SHEET CONTENTS:
 GROUNDING NOTES

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

G-1

NOTES:
 1. SEE SHEET VZW G-1 FOR VERIZON GROUNDING PLAN.
 2. SEE SHEET G-1 FOR ADDITIONAL NOTES.

PREPARED FOR:
vertical bridge
THE TOWERS, LLC
 750 PARK OF COMMERCE DR.
 SUITE 200
 BOCA RATON, FL 33487

NOT FOR CONSTRUCTION

DESIGN 1
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

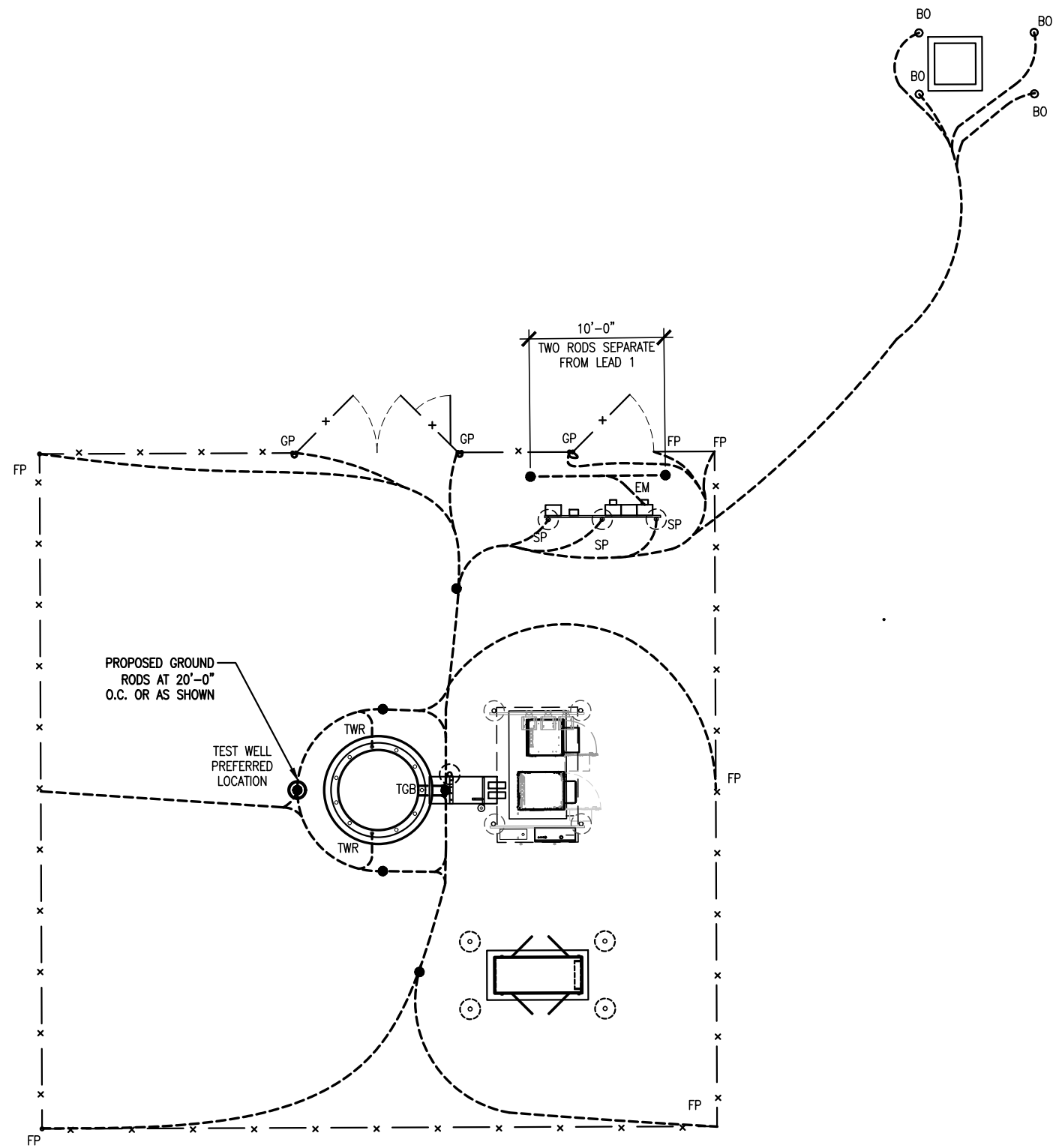
PROJECT
 US-MN-5154

RED OAK

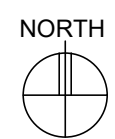
87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

SHEET CONTENTS:
 GROUNDING PLAN

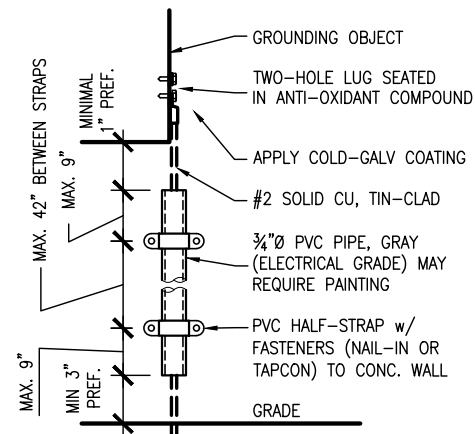
DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25



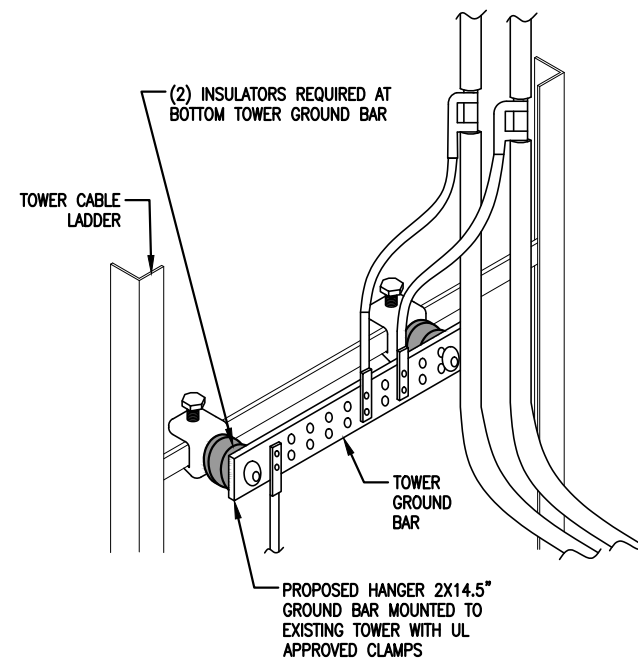
1 GROUNDING PLAN
 SCALE: NTS



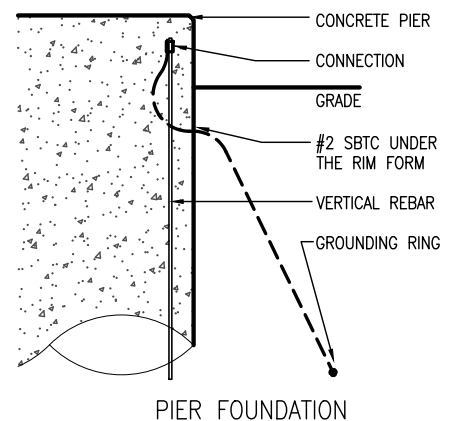
G-2



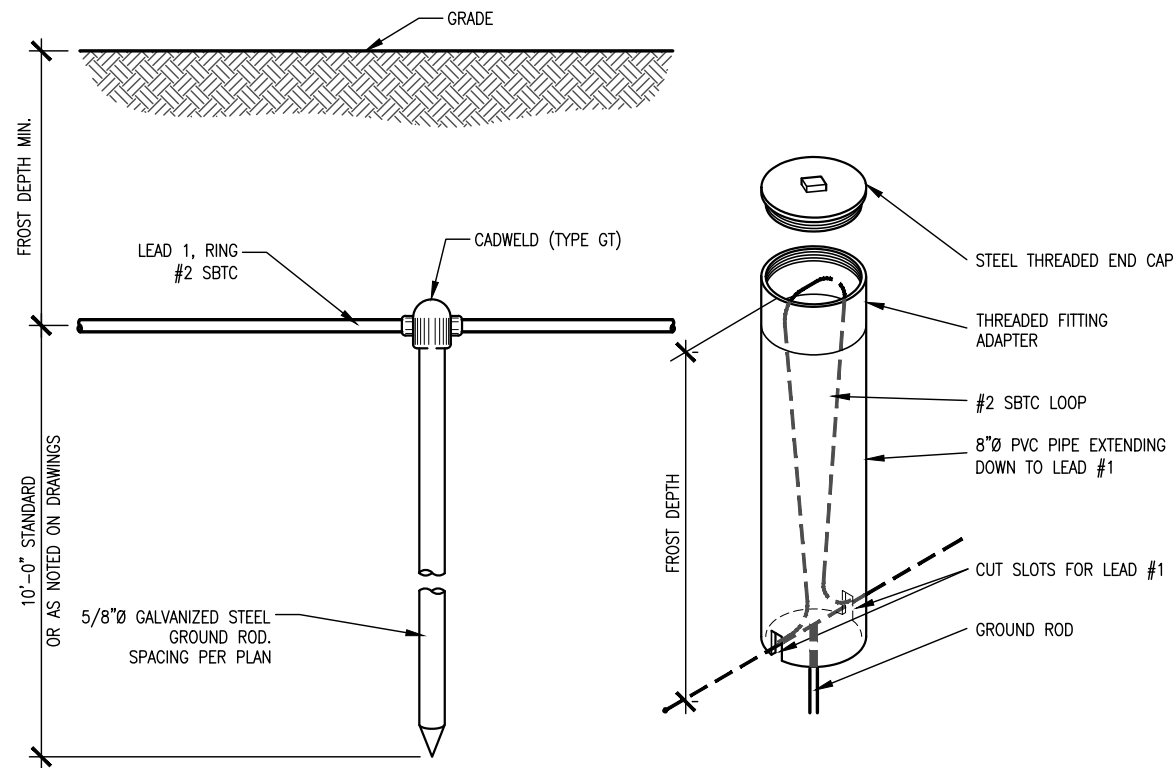
1 CONDUIT DETAIL
SCALE: NONE



3 TOWER GROUND BAR DETAIL
SCALE: NONE



2 REBAR GROUNDING DETAIL
SCALE: NONE



4 GROUND RING & ROD DETAIL
SCALE: NONE

PREPARED FOR:

vertical bridge
THE TOWERS, LLC
750 PARK OF COMMERCE DR.
SUITE 200
BOCA RATON, FL 33487

NOT FOR
CONSTRUCTION

DESIGN 1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

PROJECT
US-MN-5154

RED OAK

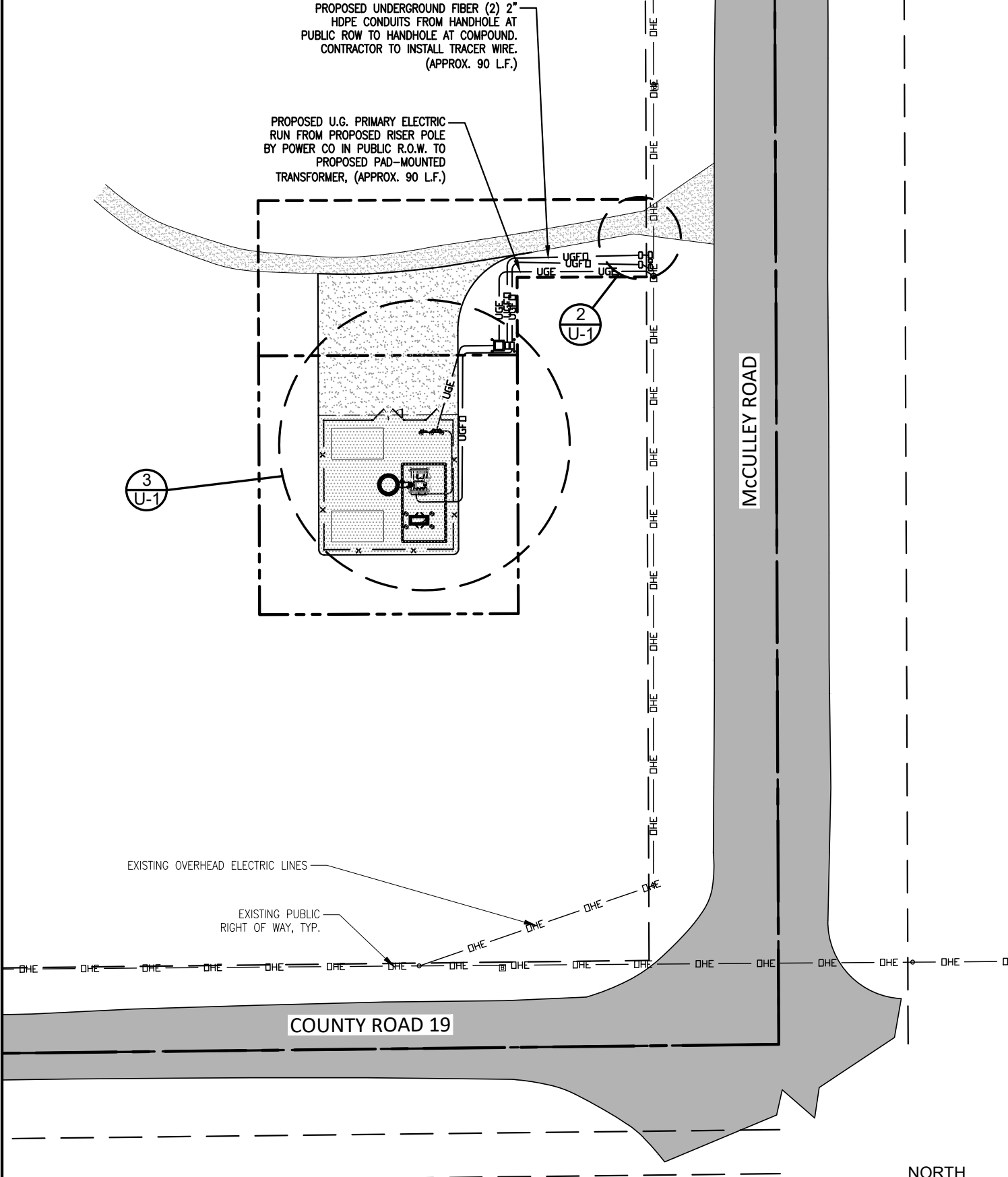
87 MCCULLEY ROAD
MAPLE PLAIN, MN 55359

SHEET CONTENTS:
GROUNDING DETAILS

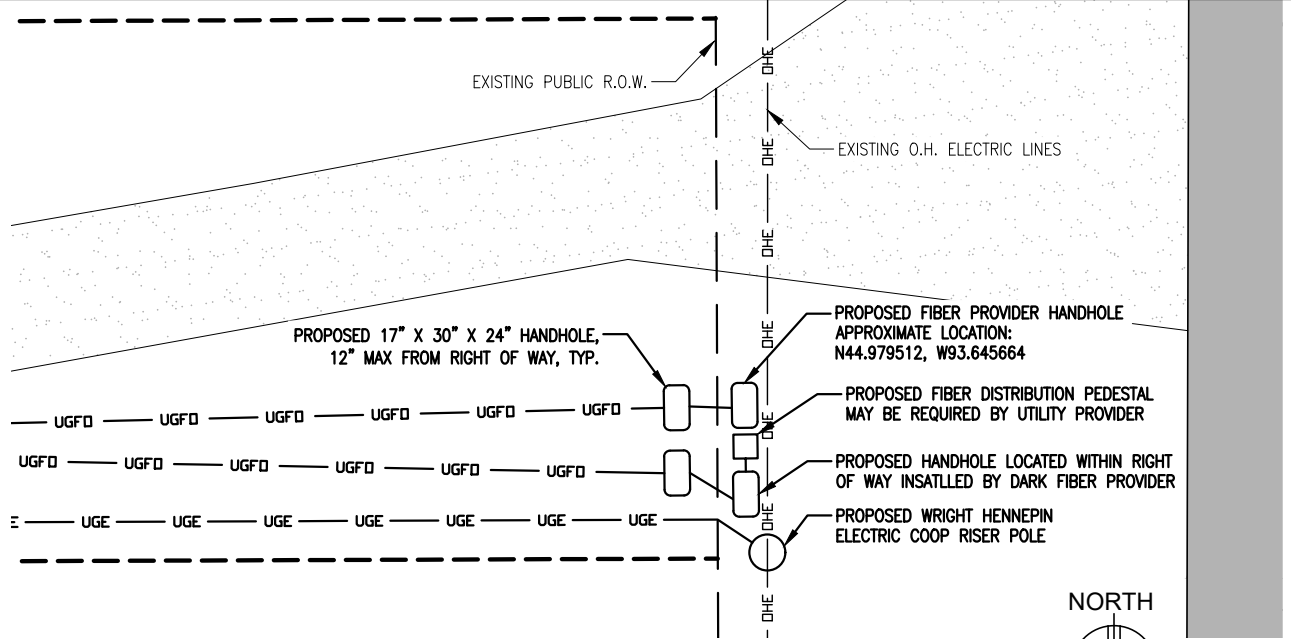
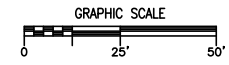
DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

G-3

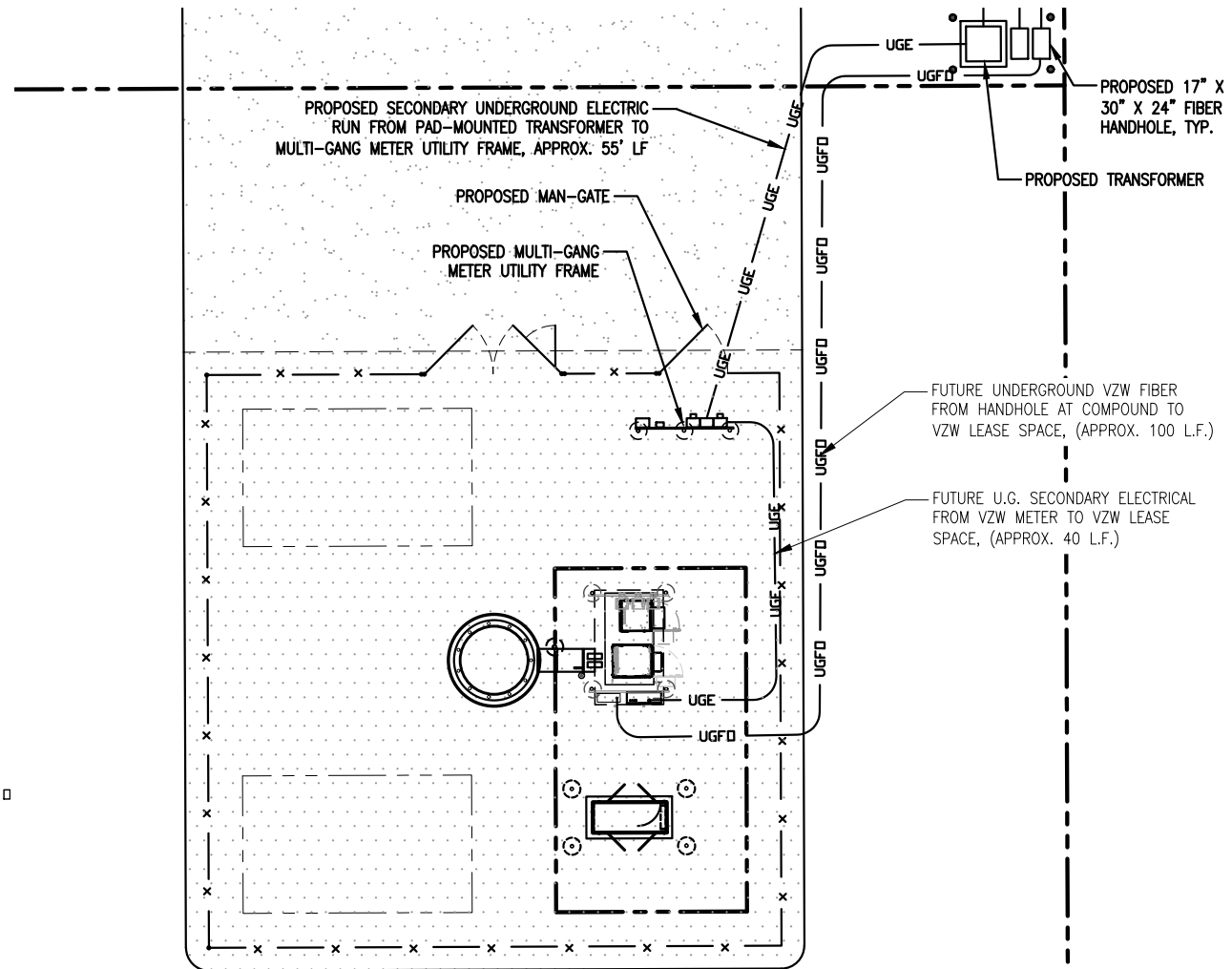
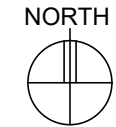
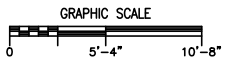
POWER DESIGN NOTES:
 POWER TO BE INSTALLED PER UTILITY COORDINATION REPORT.
 SEE SHEET G-1 FOR ADDITIONAL NOTES.



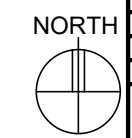
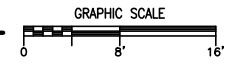
1 SITE UTILITY PLAN
 SCALE: 1" = 50'-0"



2 PULLBOX LOCATION PLAN
 SCALE: 3/32" = 1'-0"



3 ENLARGED SITE UTILITY PLAN
 SCALE: 1/16" = 1'-0"



PREPARED FOR:
vertical bridge
THE TOWERS, LLC
 750 PARK OF COMMERCE DR.
 SUITE 200
 BOCA RATON, FL 33487

NOT FOR CONSTRUCTION

DESIGN 1
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

PROJECT
 US-MN-5154

RED OAK

87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

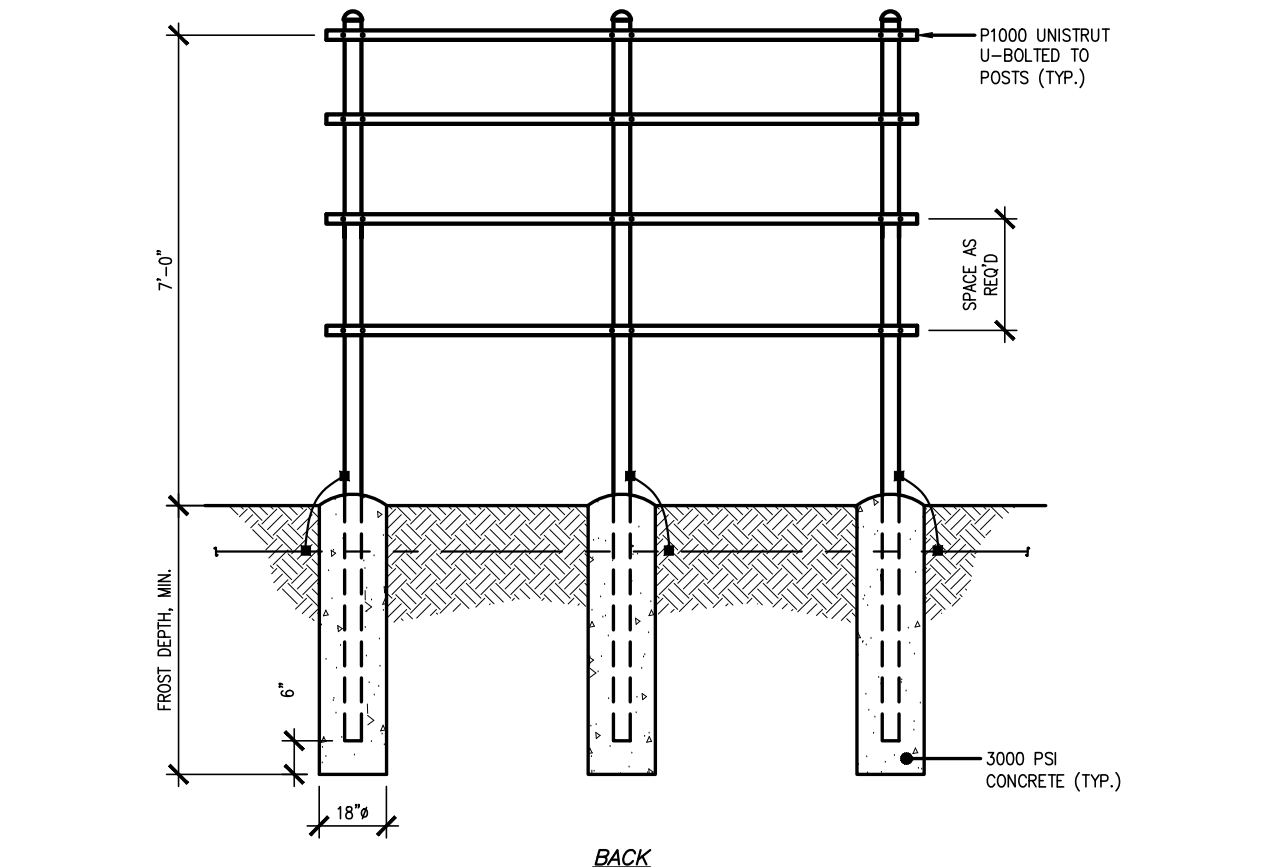
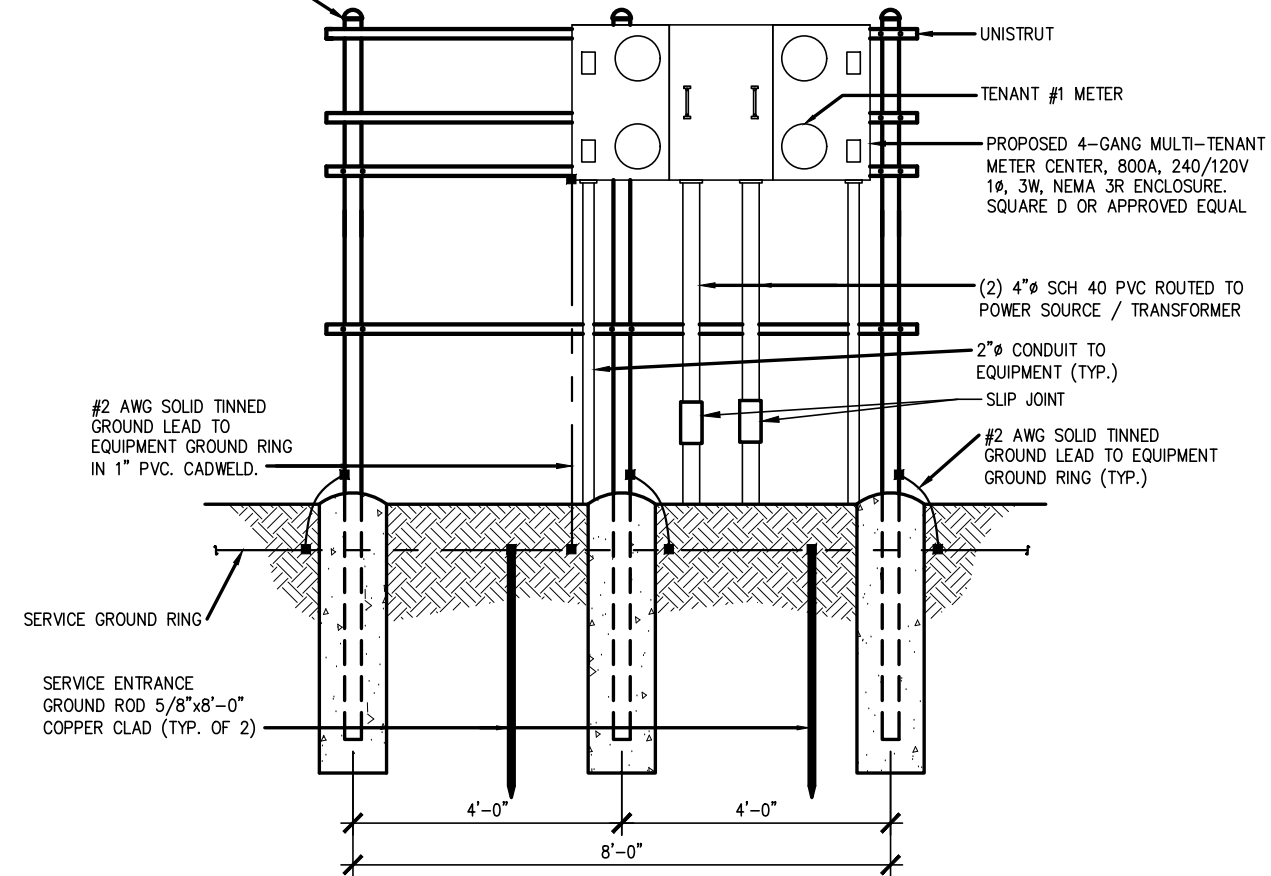
SHEET CONTENTS:
 SITE UTILITY PLAN
 ENLARGED SITE UTILITY PLAN
 PULLBOX LOCATION PLAN

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

U-1

3-1/2" SCH. 40 GALVANIZED PIPE w/END CAP (TYP.)

FRONT



1 METER UTILITY FRAME DETAIL
SCALE: NONE

ELECTRIC SERVICE NOTES:

ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN CONFORMANCE WITH NFPA 70 (LATEST REVISION). THE RESPECTIVE EQUIPMENT MANUFACTURER'S DIRECTIONS AND ALL OTHER APPLICABLE LOCAL CODES, LAWS, ORDINANCES AND REQUIREMENTS IN FORCE. ANY INSTALLATION WHICH WOULD VOID THE U.L. LISTING (OR OTHER THIRD PARTY LISTING) AND/OR THE MANUFACTURER'S WARRANTY OF A DEVICE SHALL NOT BE PERMITTED.

COORDINATE ELECTRIC SERVICE WITH LOCAL POWER UTILITY COMPANY. COORDINATE WITH UTILITY FOR METER TYPE AND CONNECTION.

ALL CONDUIT SHALL BE SEALED WATERTIGHT UNTIL FINAL TERMINATIONS ARE MADE.

PROVIDE PULL CORD IN ALL CONDUITS. SECURE AT EACH END.

ADJUST DEPTH OF CONDUITS TO PASS ABOVE GROUNDING SYSTEM.

PROVIDE 18 INCH (MIN.) RADIUS ELBOWS FOR ALL BENDS.

PROVIDE PHENOLIC ENGRAVED NAMEPLATES AT THE SERVICE DISCONNECT LABELED: "SERVICE DISCONNECT" & "NOTE ENGINE GENERATOR NEUTRAL IS ALSO BONDED TO GROUND AT THE SERVICE DISCONNECT." PROVIDE ADDITIONAL NAMEPLATES NOTING TYPE AND LOCATION OF STANDBY POWER SOURCE.

PREPARED FOR:

vertical bridge

THE TOWERS, LLC
750 PARK OF COMMERCE DR.
SUITE 200
BOCA RATON, FL 33487

NOT FOR CONSTRUCTION

DESIGN

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

PROJECT
US-MN-5154

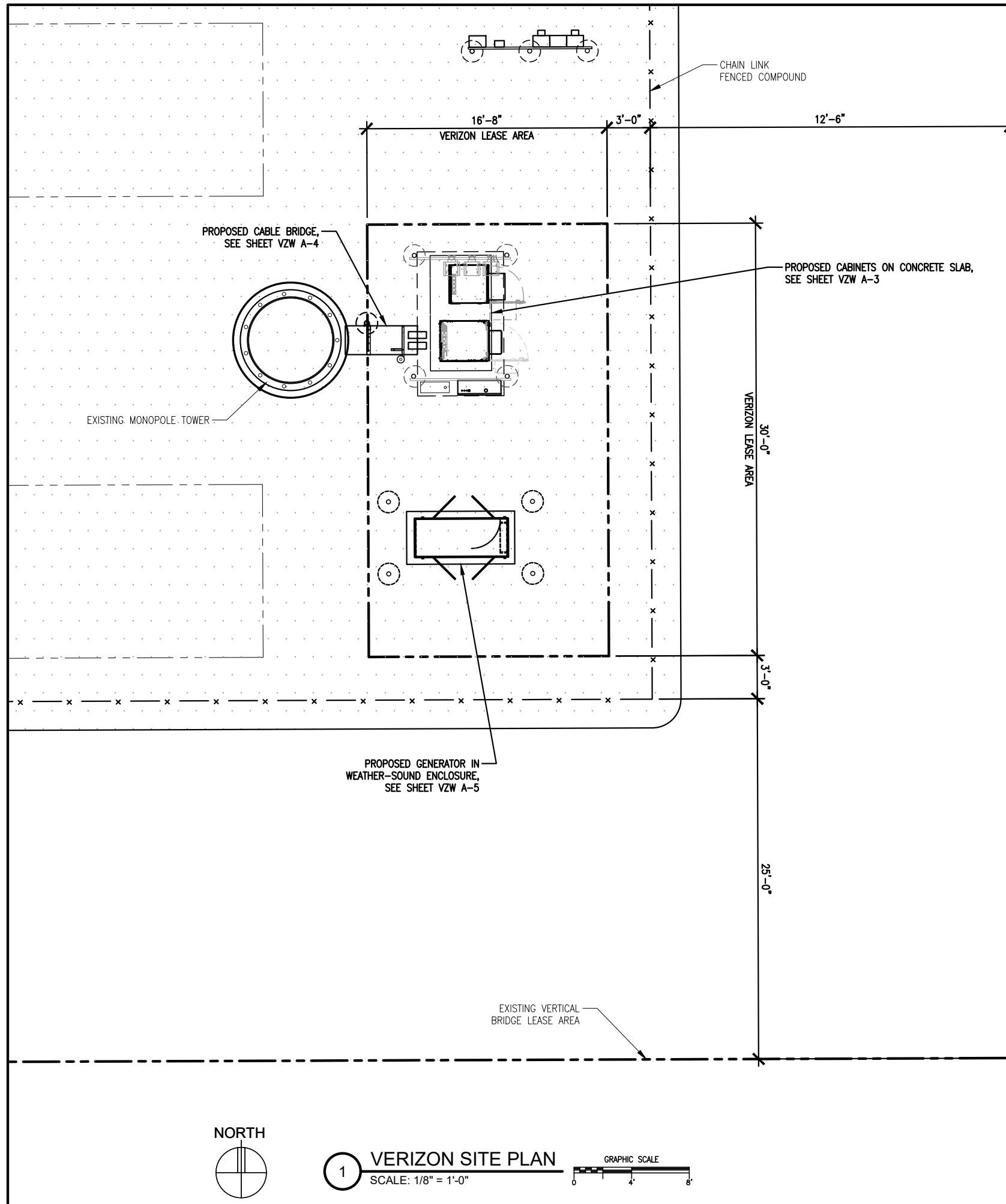
RED OAK

87 MCCULLEY ROAD
MAPLE PLAIN, MN 55359

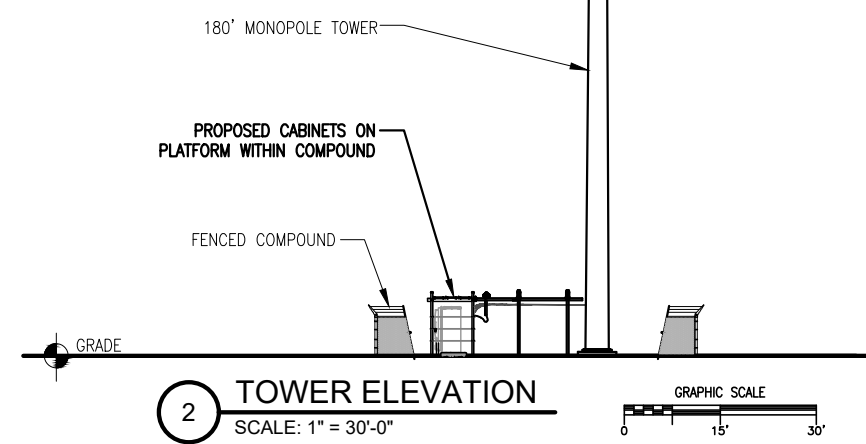
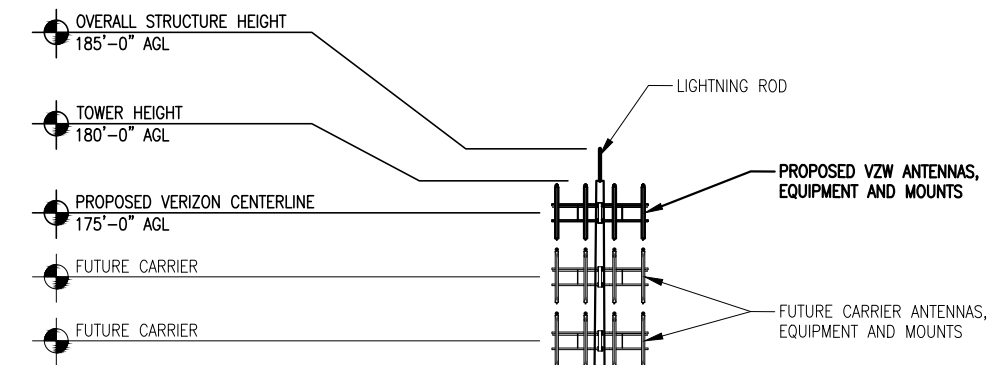
SHEET CONTENTS:
METER UTILITY FRAME DETAIL

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

U-2



- NOTES:
1. THESE DRAWINGS DO NOT CONSTITUTE A WARRANTY, EXPRESSED OR IMPLIED, OF THE ACCURACY OF THE STRUCTURAL ANALYSES AND THE PERFORMANCE OF THE COMPLETED CONSTRUCTION AS SHOWN ON THESE DOCUMENTS AND THE STRUCTURAL ANALYSES.
 2. NO STRUCTURAL ANALYSIS FOR THE MOUNT HAS BEEN PERFORMED AS PART OF THESE DRAWINGS.
 3. PLEASE COORDINATE ANY STRUCTURAL CONCERNS/MATTERS OR ANY LOADING MODIFICATIONS TO THE CONSULTANT WHO AUTHORED THE ANALYSIS AND NOTIFY DESIGN 1 IMMEDIATELY OF THE ISSUE.
 4. EQUIPMENT SLAB AND GENERATOR FOUNDATION TO BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS AND SPECIFICATIONS OF THE GEOTECHNICAL REPORT WHICH IS NOT INCLUDED IN THIS PACKAGE. DISCREPANCIES BETWEEN THE REPORT AND THE OTHER DOCUMENTS TO BE IMMEDIATELY REPORTED TO VERIZON WIRELESS AND THE DESIGNER.
 5. CONTRACTOR TO ENSURE TIP OF ANTENNAS DO NOT EXCEED TOWER HEIGHT.
 6. ELEVATION IS SHOWN FOR GENERAL DIAGRAMMATIC PURPOSES ONLY. DO NOT SCALE.
 7. THE STRUCTURAL ANALYSIS FOR THE MOUNTS (BY OTHERS) SHALL BE PER THE VERIZON NETWORK STANDARD NSTD-445. ALL LOADING AND DESIGN SHALL BE PER THE TIA-222-H STANDARD.



PREPARED FOR:

vertical bridge

THE TOWERS, LLC

750 PARK OF COMMERCE DR.
SUITE 200
BOCA RATON, FL 33487

NOT FOR CONSTRUCTION

DESIGN 1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

PROJECT
US-MN-5154

RED OAK

87 MCCULLEY ROAD
MAPLE PLAIN, MN 55359

SHEET CONTENTS:
VERIZON SITE PLAN
TOWER ELEVATION

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

VZW A-1

Antenna Summary

Added Antenna

700	850	1900	AWS	L-Sub6	Make	Model	Centerline	Tip Height	Azimuth	Install Type	Quantity
				5G	Ericsson	AIR6419	175	176.2	70(A),180(B),280(C)	PHYSICAL	3
LTE	5G	LTE	LTE		JMA Wireless	MX06FHG865-HG	175	179	70(A),180(B),280(C)	PHYSICAL	6

POSITION(S)	
	4
	2 & 3

Non Antenna Summary

Added Non Antenna

Equipment Type	Location	700	850	1900	AWS	L-Sub6	Make	Model	Install Type	Quantity
OVP	Tower							12 OVP	PHYSICAL	1
RRU	Tower	LTE	5G				Ericsson	4490	PHYSICAL	3
RRU	Tower			LTE	LTE		Ericsson	4890	PHYSICAL	3
Hybrid Cable	Tower						6X12 Hybrid Cable	6X12 hybrid Cable	PHYSICAL	2
RRU	Tower					5G	Ericsson	AIR6419_B77D	PHYSICAL	0

POSITION(S)	
	-
	2
	3
	-
	-

HYBRID CABLE LENGTH CALCS:
 15' - CABLE BRIDGE
 175' - ANTENNA RAD C/L
 20' - EXTRA
 210' - TOTAL

NOT FOR CONSTRUCTION

DESIGN
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

PROJECT
 US-MN-5154

RED OAK

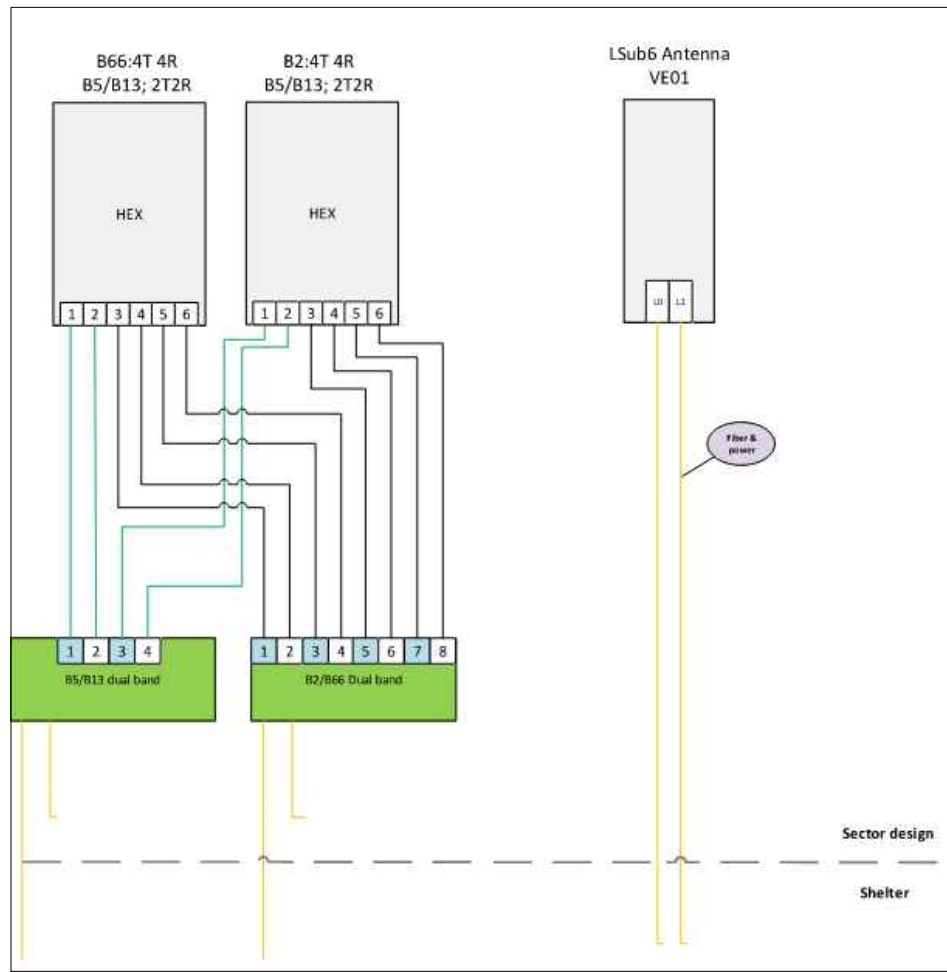
87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

SHEET CONTENTS:
 RFDS INFORMATION
 RFDS PLUMBING DIAGRAM
 ANTENNA MOUNTING DETAIL

DRAWN BY: SJD
 CHECKED BY: TAB
 REV. A 11-14-24
 REV. B 11-25-24
 REV. C 01-23-25
 REV. D 02-25-25
 REV. E 04-09-25

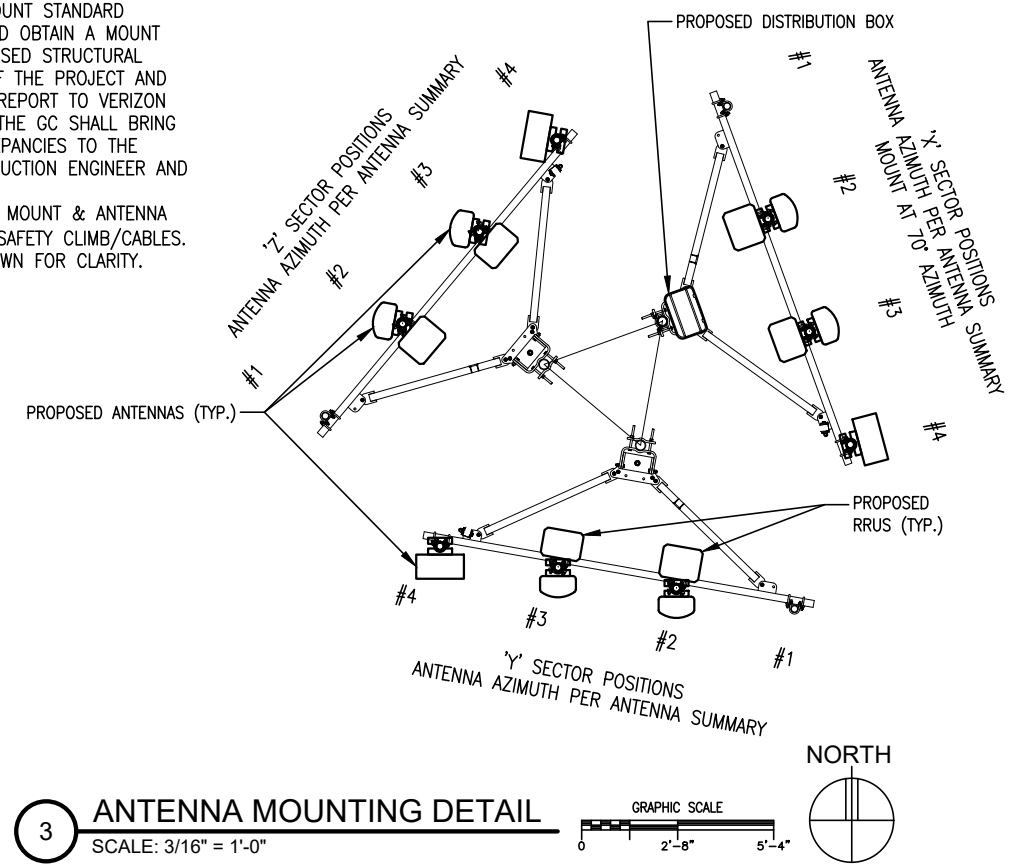
VZW A-2

1 RFDS INFORMATION

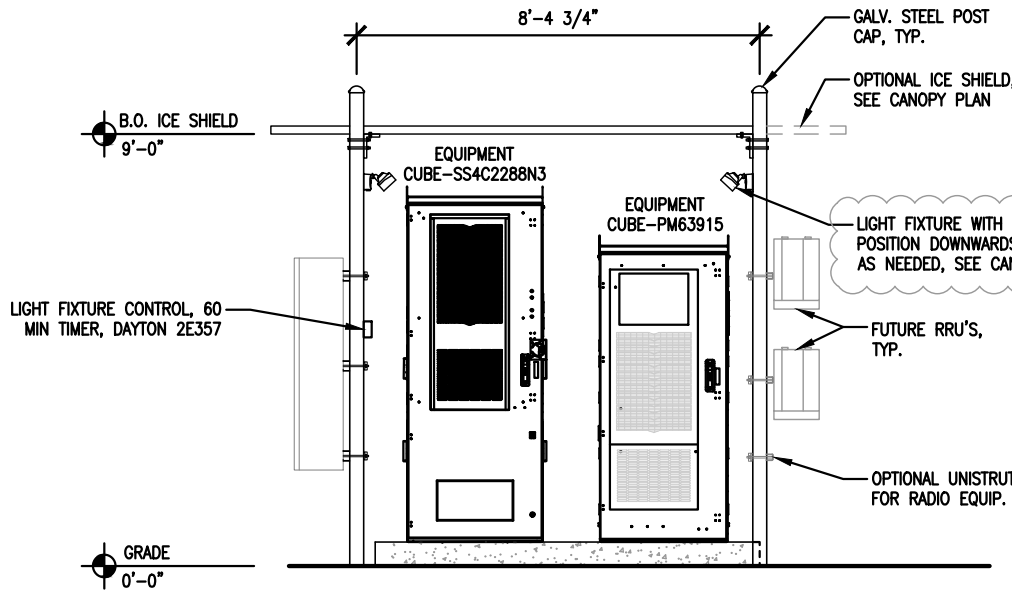


2 RFDS PLUMBING DIAGRAM

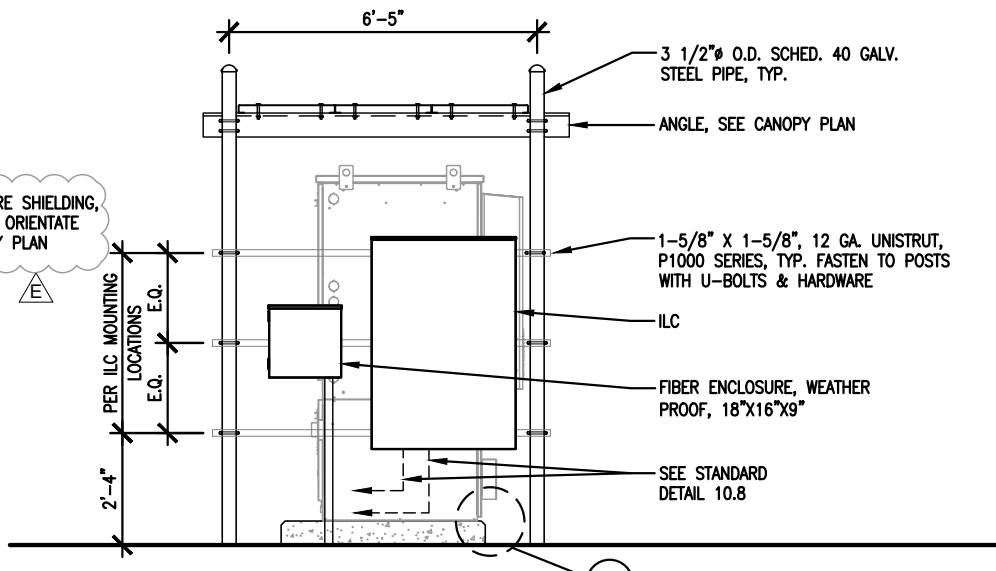
- NOTES:
1. VERIZON WIRELESS GC TO SUPPLY AND INSTALL THE MOUNTS. THE MOUNTS MUST MEET THE VERIZON WIRELESS MOUNT STANDARD NSTD-445. THE GC SHOULD OBTAIN A MOUNT CLASSIFICATION BY A LICENSED STRUCTURAL ENGINEER IN THE STATE OF THE PROJECT AND SUBMIT THE PE-STAMPED REPORT TO VERIZON PRIOR TO CONSTRUCTION. THE GC SHALL BRING ANY CONCERNS OR DISCREPANCIES TO THE ATTENTION OF THE CONSTRUCTION ENGINEER AND ENGINEER OF RECORD.
 2. VZW GC TO ENSURE MOUNT & ANTENNA ARRAY DOES NOT IMPEDE SAFETY CLIMB/CABLES.
 3. TIE-BACKS NOT SHOWN FOR CLARITY.



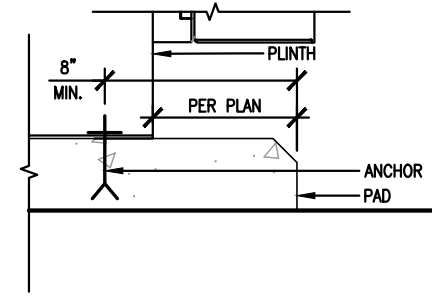
3 ANTENNA MOUNTING DETAIL
 SCALE: 3/16" = 1'-0"



5 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

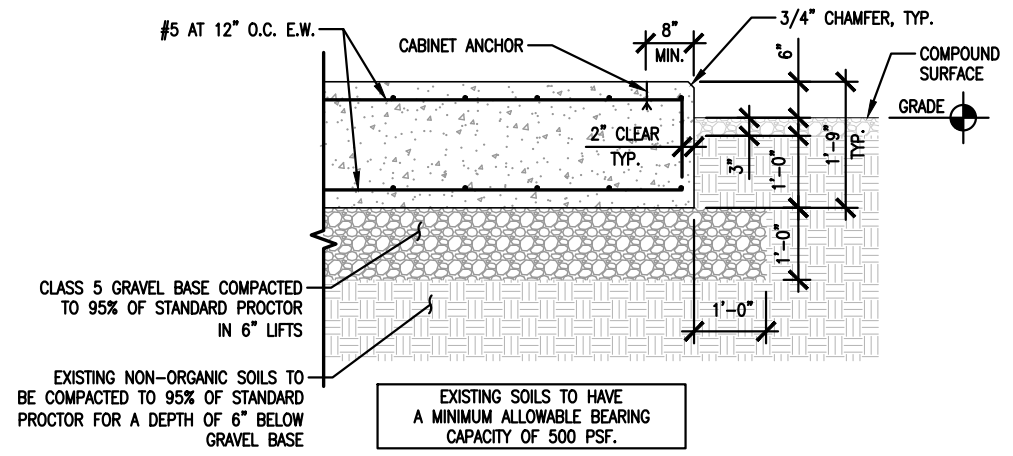


6 SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

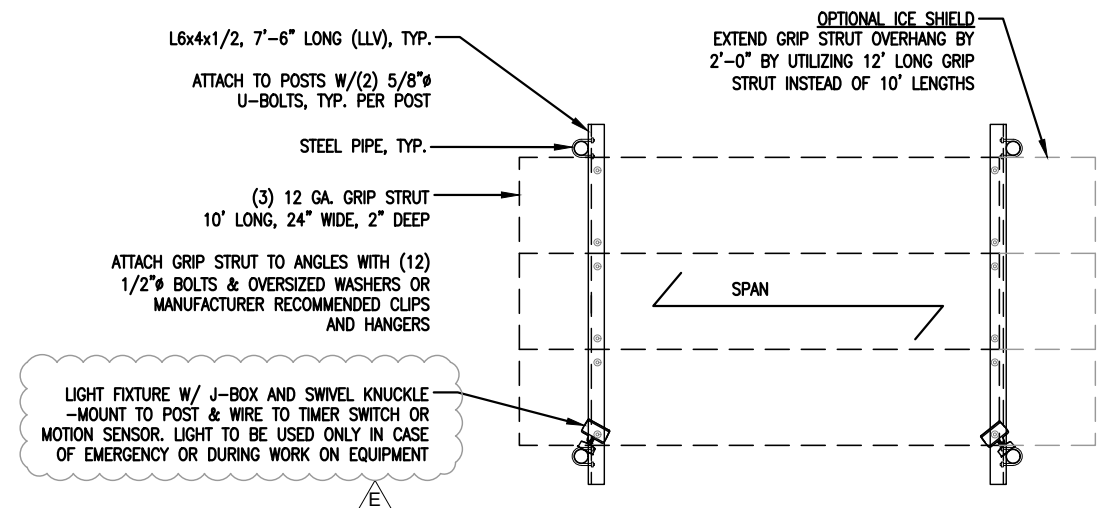


TYPICAL CAB. FRAME ANCHOR BOLT:
 HILTI KWIK BOLT TZ (GALV.) EXP.
 ANCHOR-5/8" X 3-9/16" NOM.
 EMBED, MIN.
 ANCHOR PER MANUFACTURER SPECIFIED
 LOCATIONS

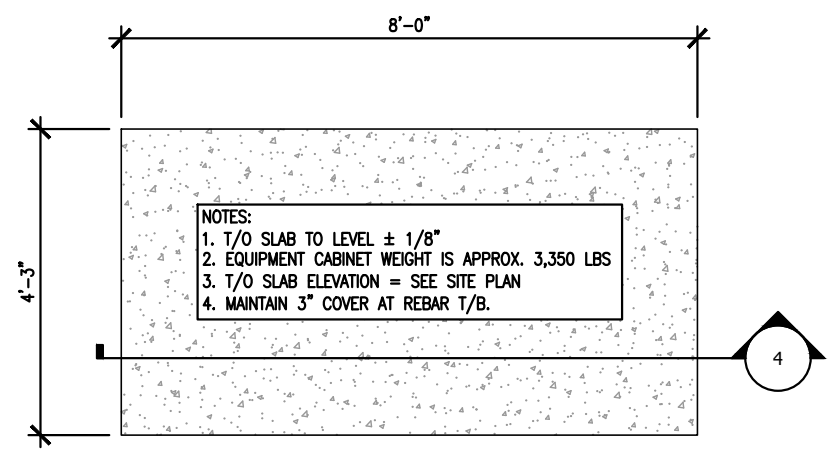
7 DETAIL
 SCALE: 1-1/2" = 1'-0"



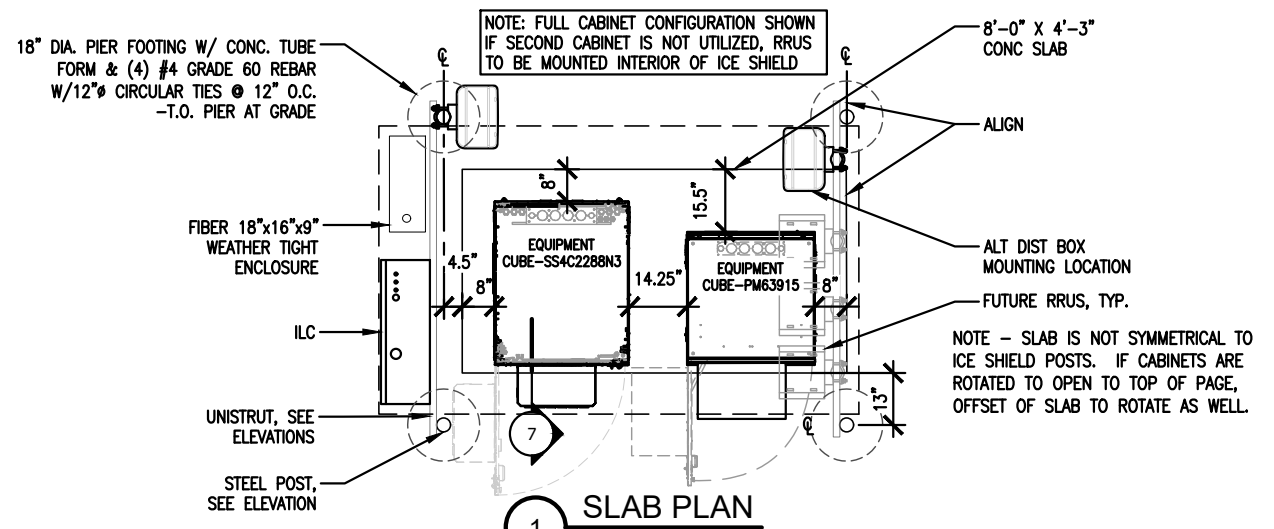
4 FOUNDATION SECTION
 SCALE: 3/8" = 1'-0"



2 CANOPY PLAN
 SCALE: 1/4" = 1'-0"



3 FOUNDATION PLAN
 SCALE: 3/8" = 1'-0"



1 SLAB PLAN
 SCALE: 1/4" = 1'-0"

NOT FOR
 CONSTRUCTION

DESIGN 1
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

PROJECT
 US-MN-5154

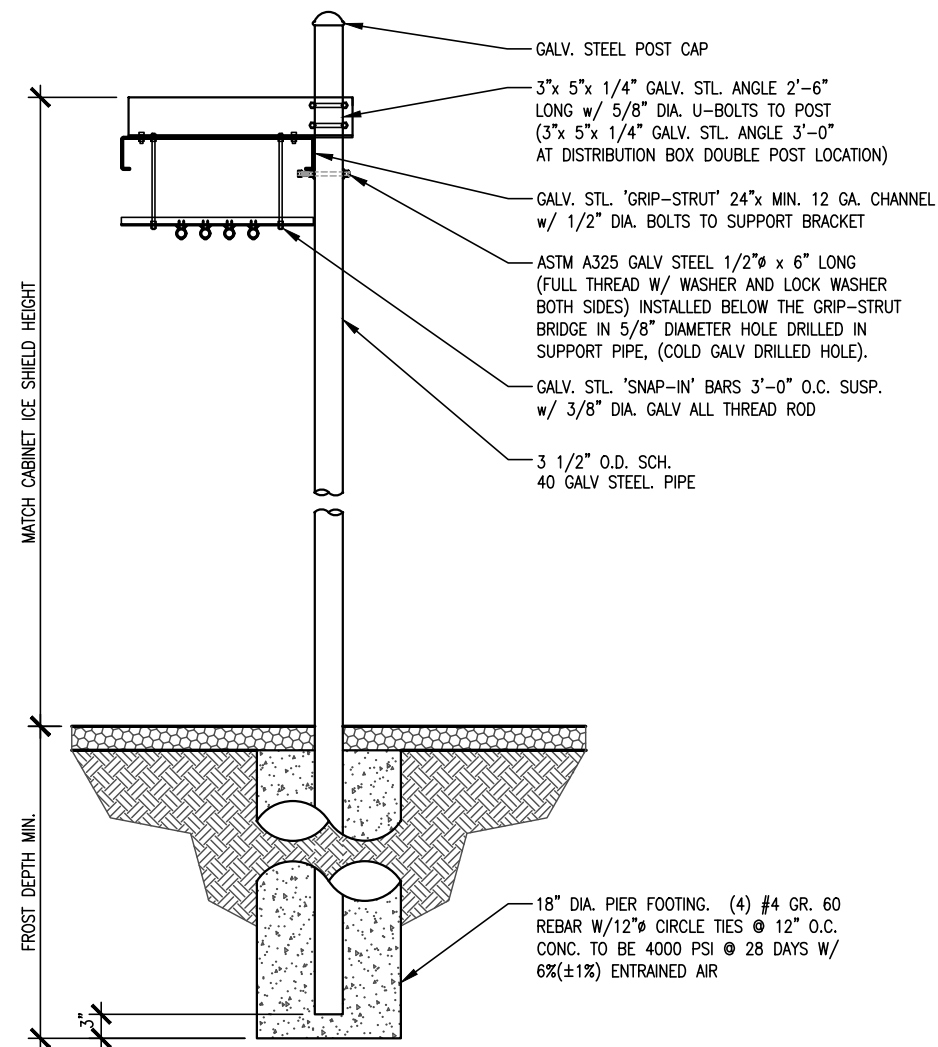
RED OAK

87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

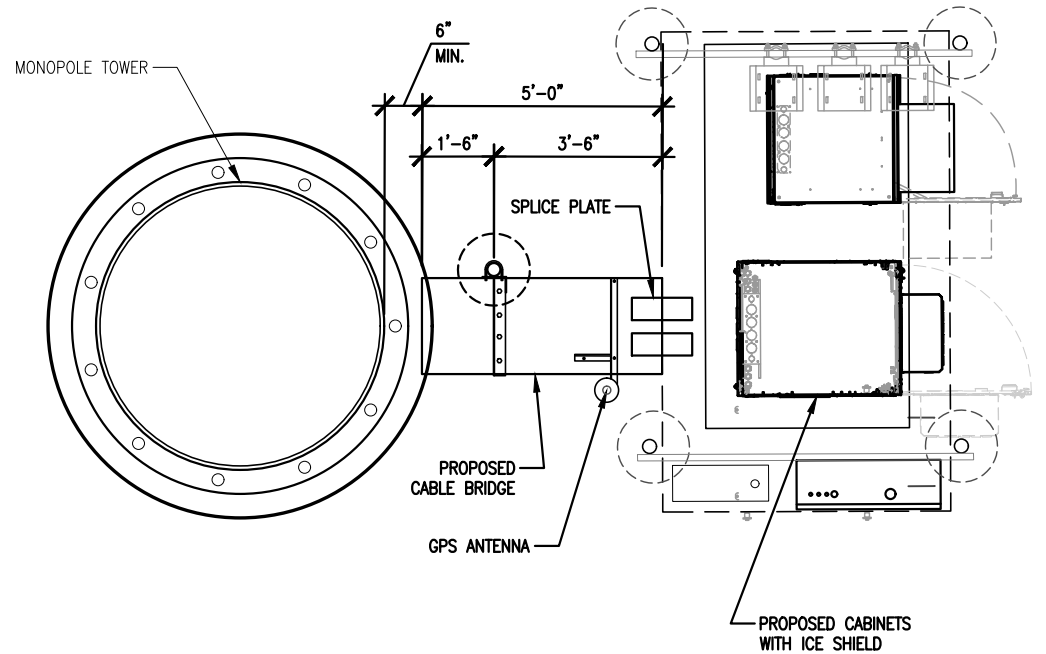
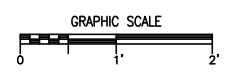
SHEET CONTENTS:
 FOUNDATION PLAN & DETAILS
 LAYOUT PLAN
 ELEVATIONS

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

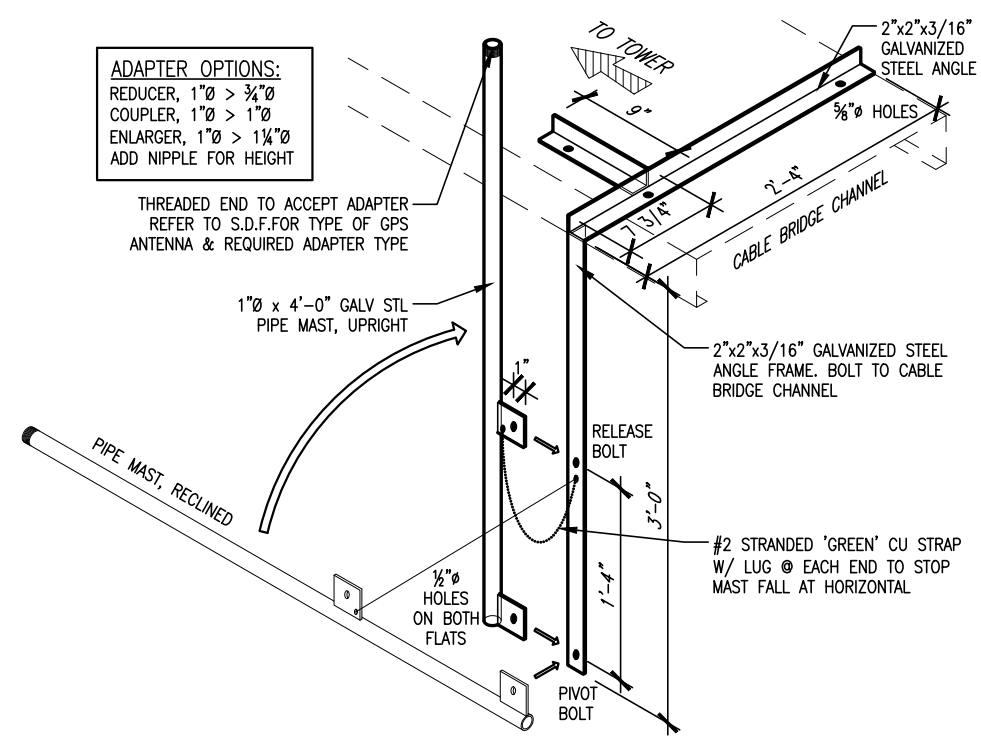
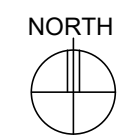
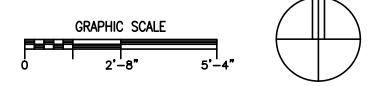
VZW A-3



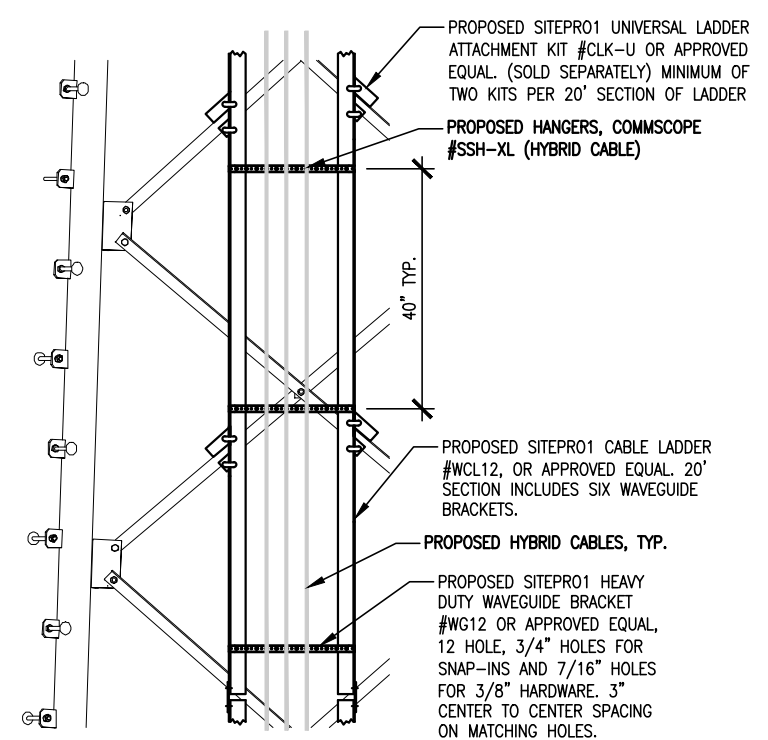
1 CABLE BRIDGE SECTION
SCALE: 1/2" = 1'-0"



2 CABLE BRIDGE PLAN
SCALE: 3/16" = 1'-0"



3 GPS ANTENNA MOUNTING
SCALE: N.T.S



4 CABLE LADDER DETAIL

NOTE:
CABLE BRIDGE SUPPORTS ARE REQUIRED AT INTERVALS NOT TO EXCEED 6'-0" WITH OVERHANG EXTENSIONS NOT TO EXCEED 1'-6"

PREPARED FOR:
vertical bridge
THE TOWERS, LLC
750 PARK OF COMMERCE DR.
SUITE 200
BOCA RATON, FL 33487

NOT FOR CONSTRUCTION

DESIGN 1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

PROJECT
US-MN-5154

RED OAK

87 MCCULLEY ROAD
MAPLE PLAIN, MN 55359

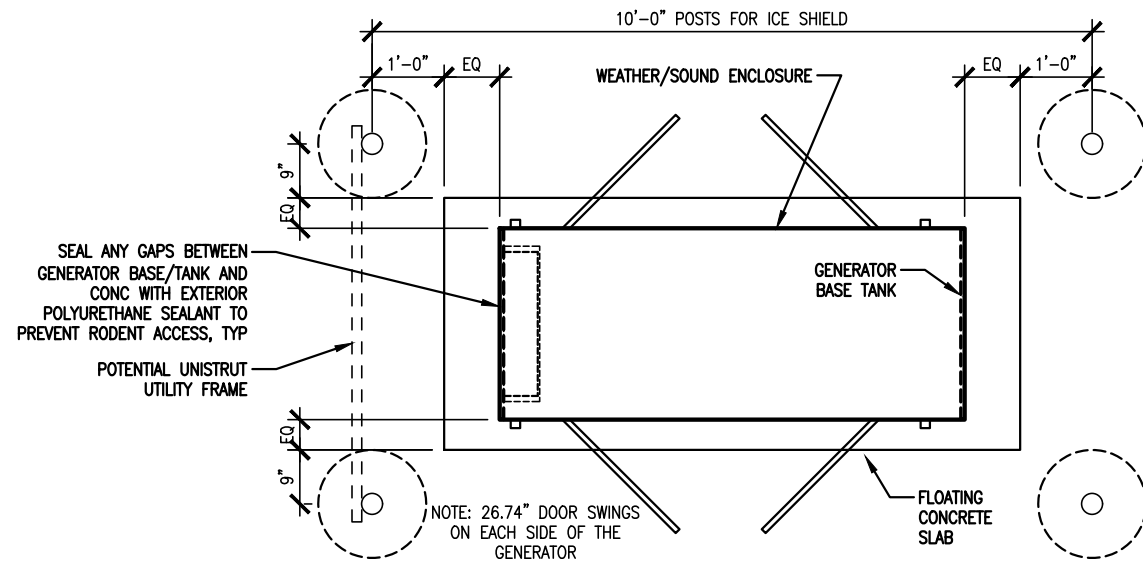
SHEET CONTENTS:
CABLE BRIDGE DETAILS
CABLE LADDER DETAIL
GPS DETAILS

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

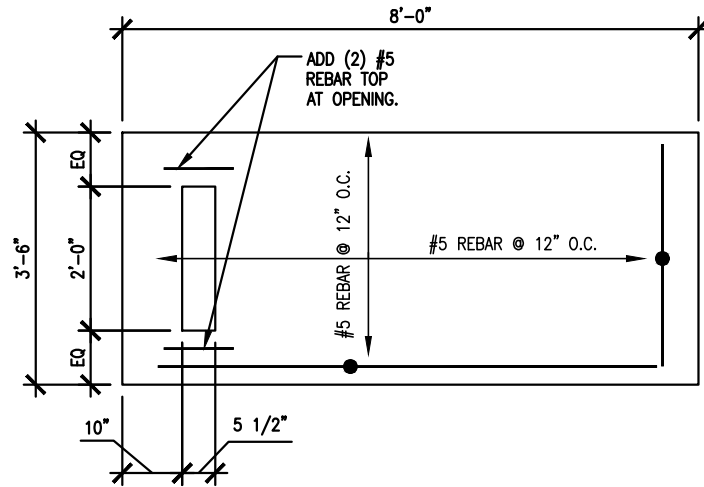
VZW A-4

30RE0ZK (Diesel 30KW) w/ Standard Tank AND Weather-Sound Enclosure
 w/ Ice Shield
 Genset ADV-8622
 Standard Tank ADV-8784

CONTRACTOR TO INSTALL E-STOP (SUPPLIED WITH GENERATOR) IN ACCORDANCE WITH THE MFG'S SPECIFICATIONS/REQUIREMENTS AND THE NEC ON THE SIDE OF THE GENERATOR ENCLOSURE. CONNECT TO GENERATOR CONTROL PANEL AS REQUIRED TO SHUT DOWN ENGINE UPON ACTIVATION.

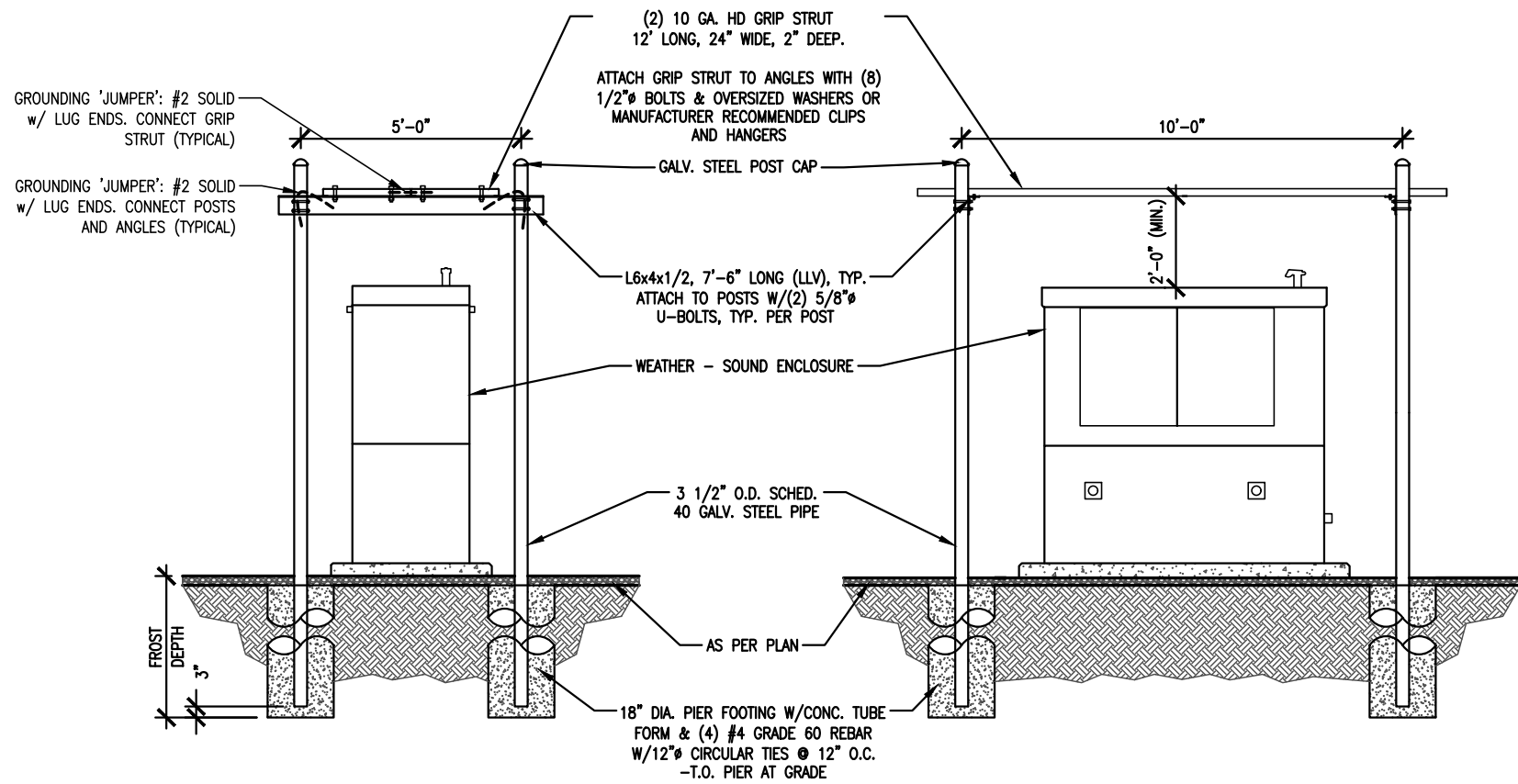


3 GENERATOR PLAN
 SCALE: 3/8" = 1'-0"

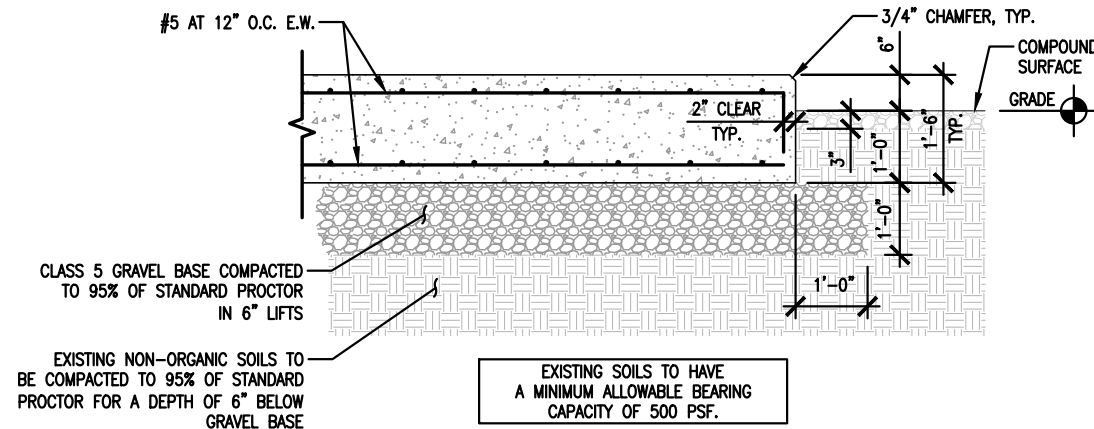


2 GENERATOR PAD PLAN
 SCALE: 3/8" = 1'-0"

NOTES:
 1. T/O SLAB TO LEVEL ± 1/8"
 2. MAINTAIN 3" COVER AT REBAR T/B.
 3. ANCHOR GENERATOR USING CAST-IN BOLTS OR EXPANSION ANCHORS USING ALL PROVIDED HOLES IN BOTTOM OF SKID



4 GENERATOR ELEVATIONS
 SCALE: 1/4" = 1'-0"



1 GENERATOR PAD SECTION
 SCALE: 3/8" = 1'-0"

PREPARED FOR:
vertical bridge
THE TOWERS, LLC
 750 PARK OF COMMERCE DR.
 SUITE 200
 BOCA RATON, FL 33487

NOT FOR CONSTRUCTION

DESIGN 1
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

PROJECT
 US-MN-5154

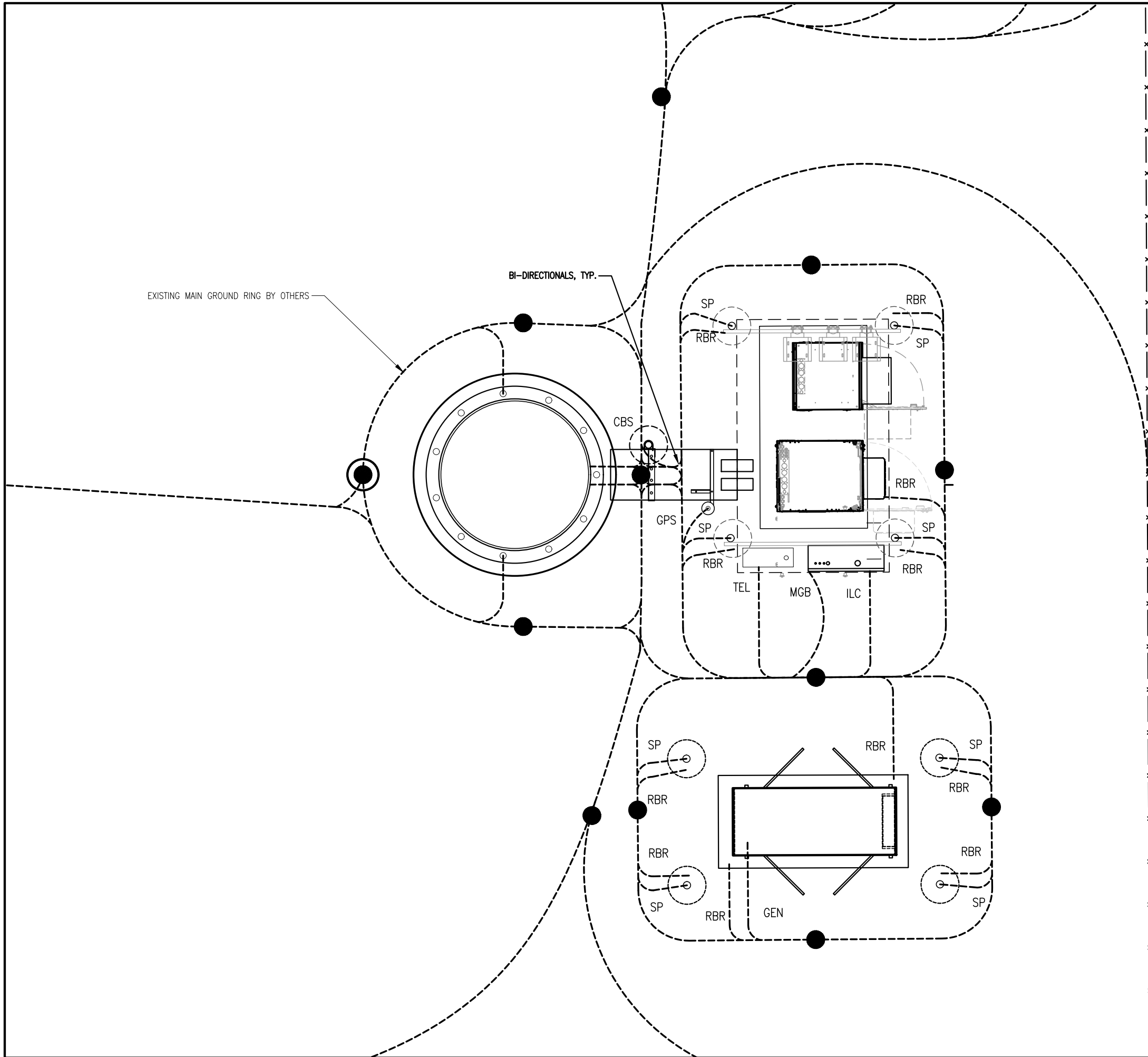
RED OAK

87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

SHEET CONTENTS:
 GENERATOR DETAILS

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

VZW A-5



NOTES:
 1. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT THE INSTALLATION OF ALL GROUNDING MEETS THE VERIZON NETWORK STANDARD NUMBERS "NSTD46" DOCUMENTS TITLES "CELL SITE AND MICROWAVE RADIO STATION PROTECTION - ENGINEERING CONSIDERATIONS".
 2. SEE SHEET G-1 FOR ADDITIONAL NOTES.

PREPARED FOR:
vertical bridge
THE TOWERS, LLC
 750 PARK OF COMMERCE DR.
 SUITE 200
 BOCA RATON, FL 33487

NOT FOR CONSTRUCTION

DESIGN 1
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

PROJECT
 US-MN-5154

RED OAK

87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

SHEET CONTENTS:
 GROUNDING PLAN

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

1 GROUNDING PLAN
 SCALE: NTS



VZW G-1

NOT FOR CONSTRUCTION

DESIGN 1
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

PROJECT
 US-MN-5154

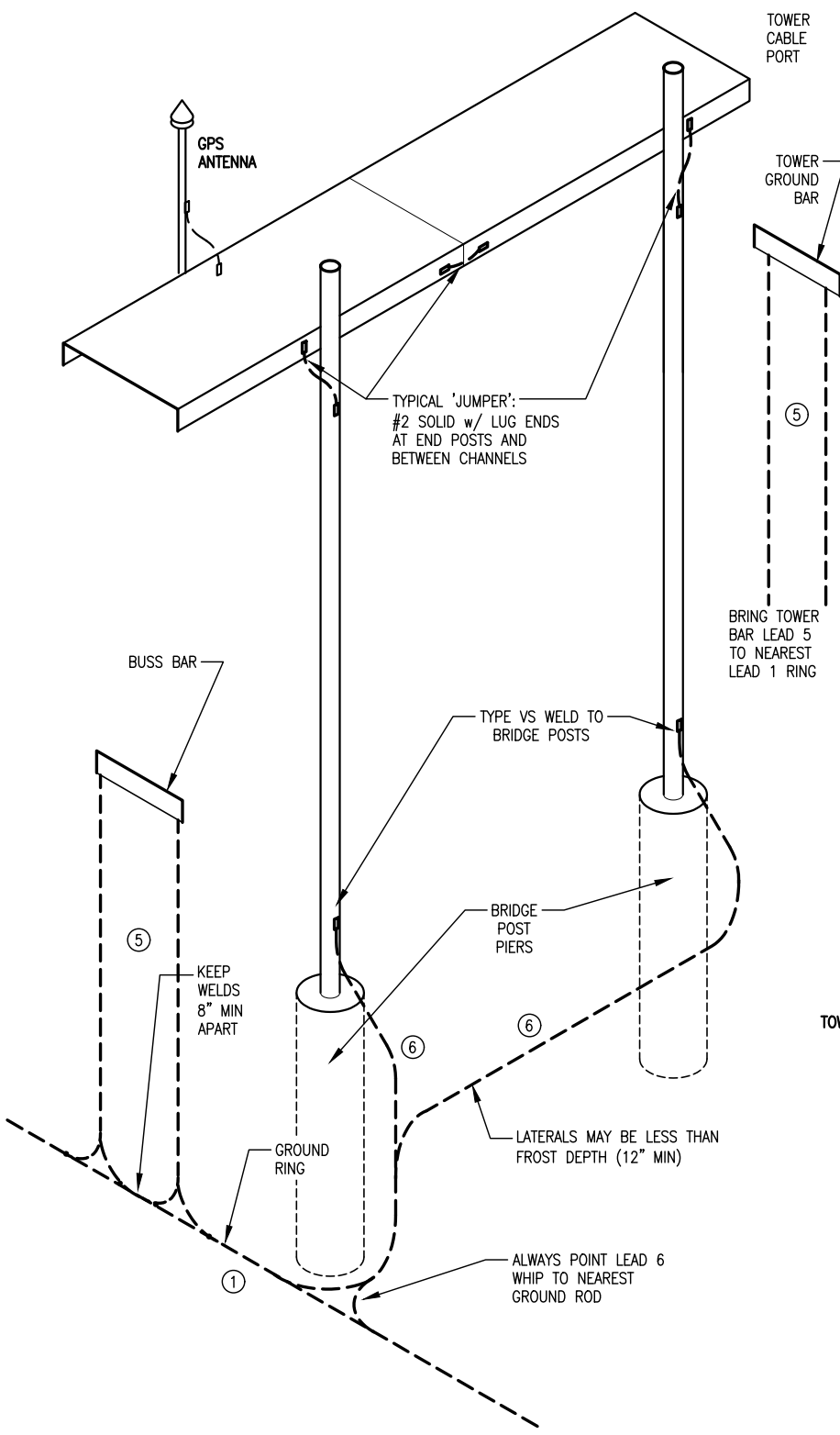
RED OAK

87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

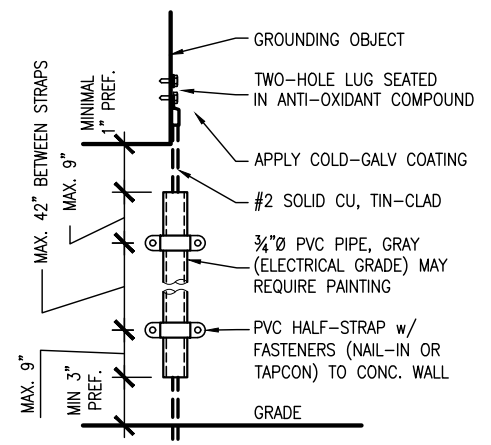
SHEET CONTENTS:
 GROUNDING DETAILS

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

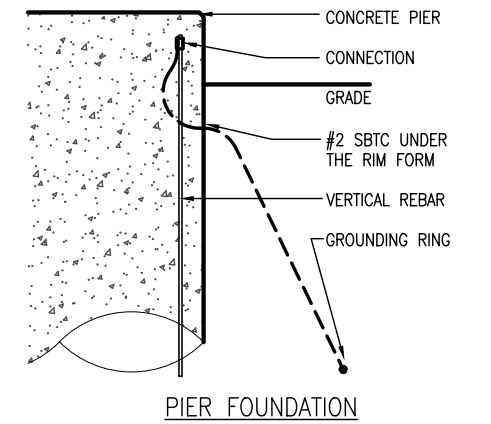
VZW G-2



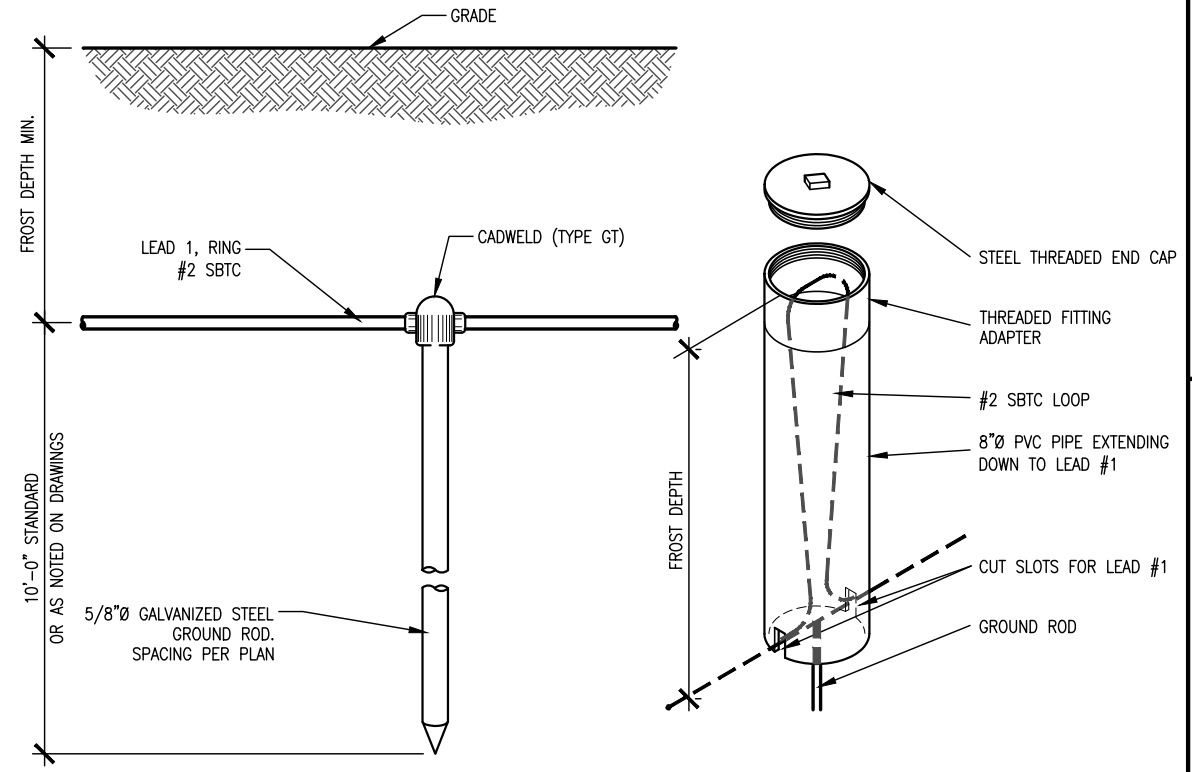
1 TYPICAL CABLE BRIDGE GROUNDING DETAIL
 SCALE: NONE



4 CONDUIT DETAIL
 SCALE: NONE

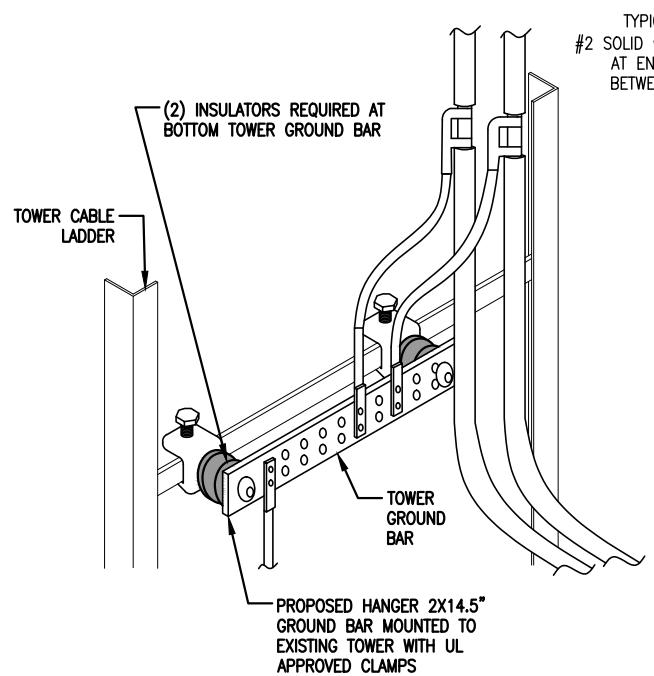


3 REBAR GROUNDING DETAIL
 SCALE: NONE

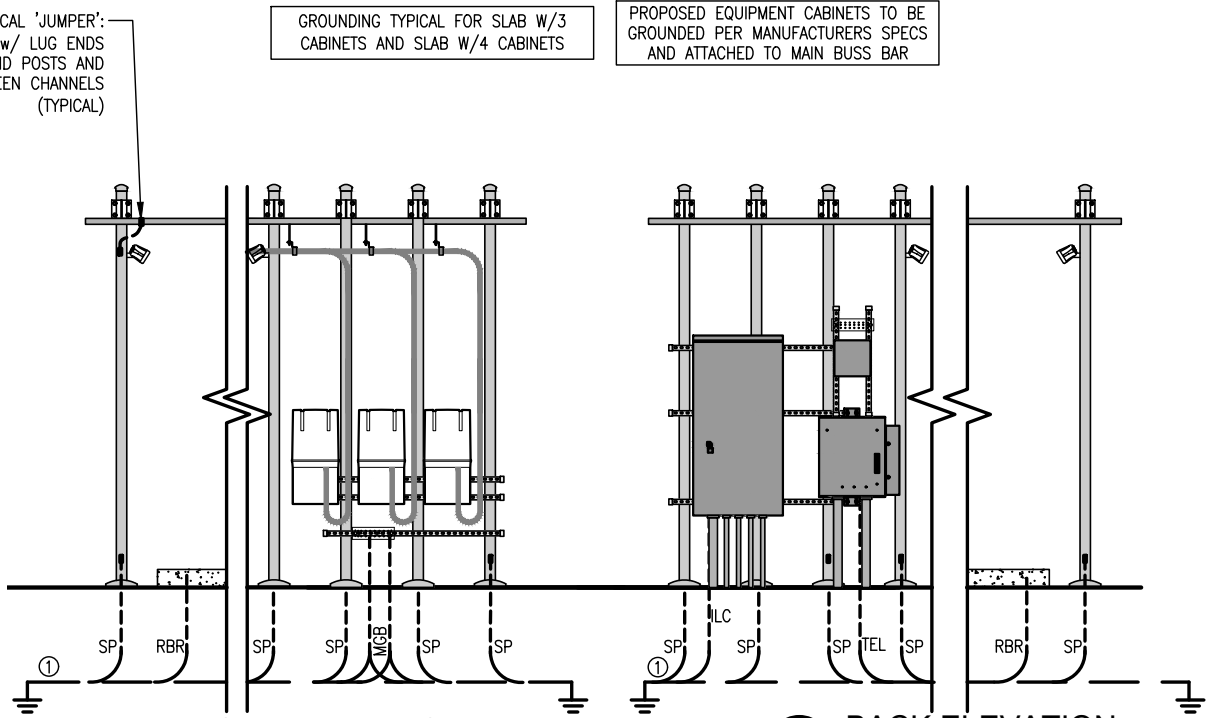


5 GROUND RING & ROD DETAIL
 SCALE: NONE

NOTE: CONTRACTOR SHALL INSTALL GROUNDING PER VZW STANDARD NSTD 46.



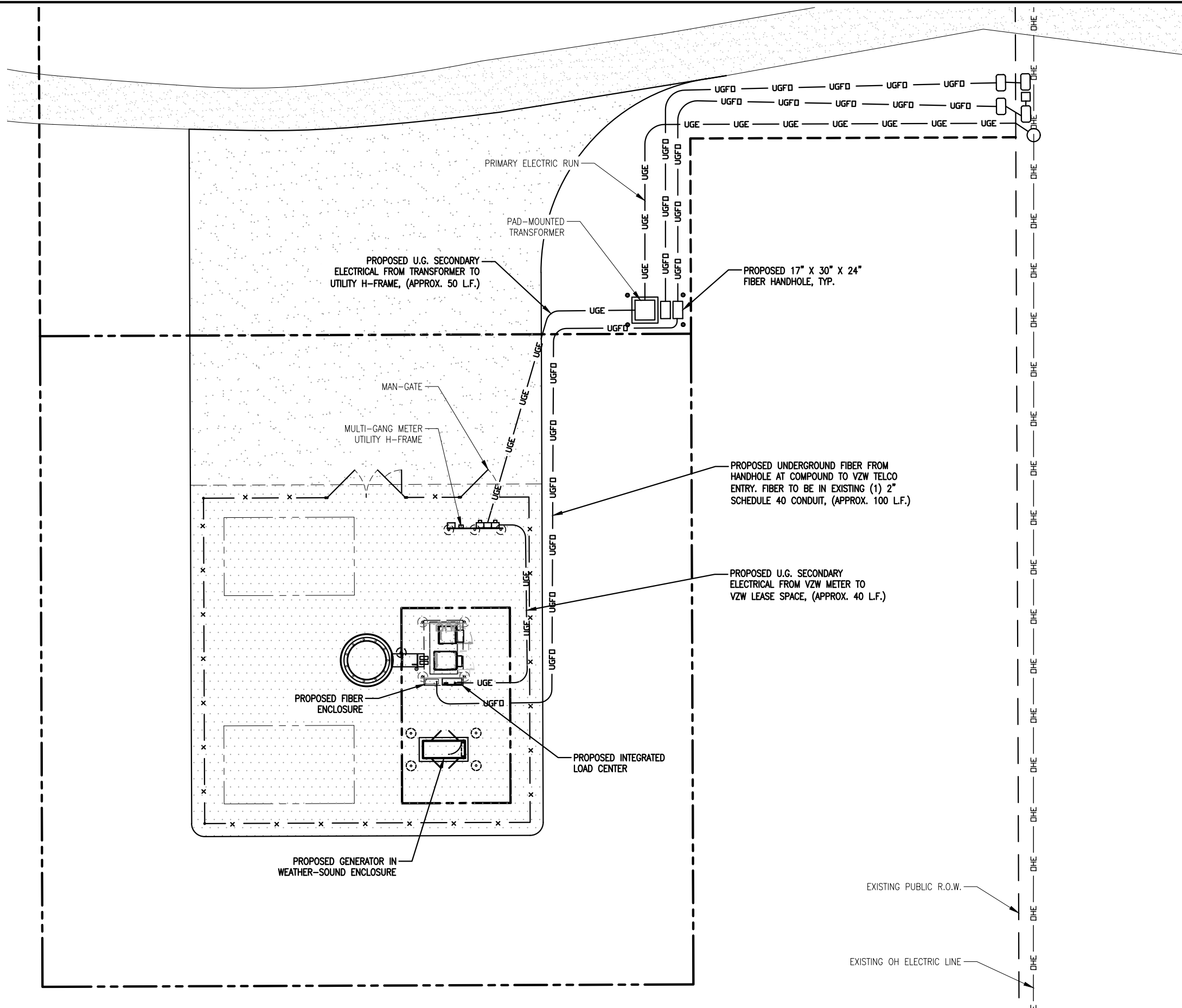
2 TOWER GROUND BAR DETAIL
 SCALE: NONE



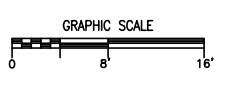
6 FRONT ELEVATION
 SCALE: NONE

7 BACK ELEVATION
 SCALE: NONE

POWER DESIGN NOTES:
 POWER TO BE INSTALLED PER UTILITY
 COORDINATION REPORT.
 SEE SHEET G-1 FOR ADDITIONAL NOTES.



1 SITE UTILITY PLAN
 SCALE: 1/16" = 1'-0"



PREPARED FOR:
vertical bridge
THE TOWERS, LLC
 750 PARK OF COMMERCE DR.
 SUITE 200
 BOCA RATON, FL 33487

NOT FOR
 CONSTRUCTION

MCCULLEY ROAD

DESIGN 1
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

PROJECT
 US-MN-5154

RED OAK

87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

SHEET CONTENTS:
 VZW UTILITY PLAN

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

VZW U-1

NOT FOR CONSTRUCTION

PROJECT
 US-MN-5154

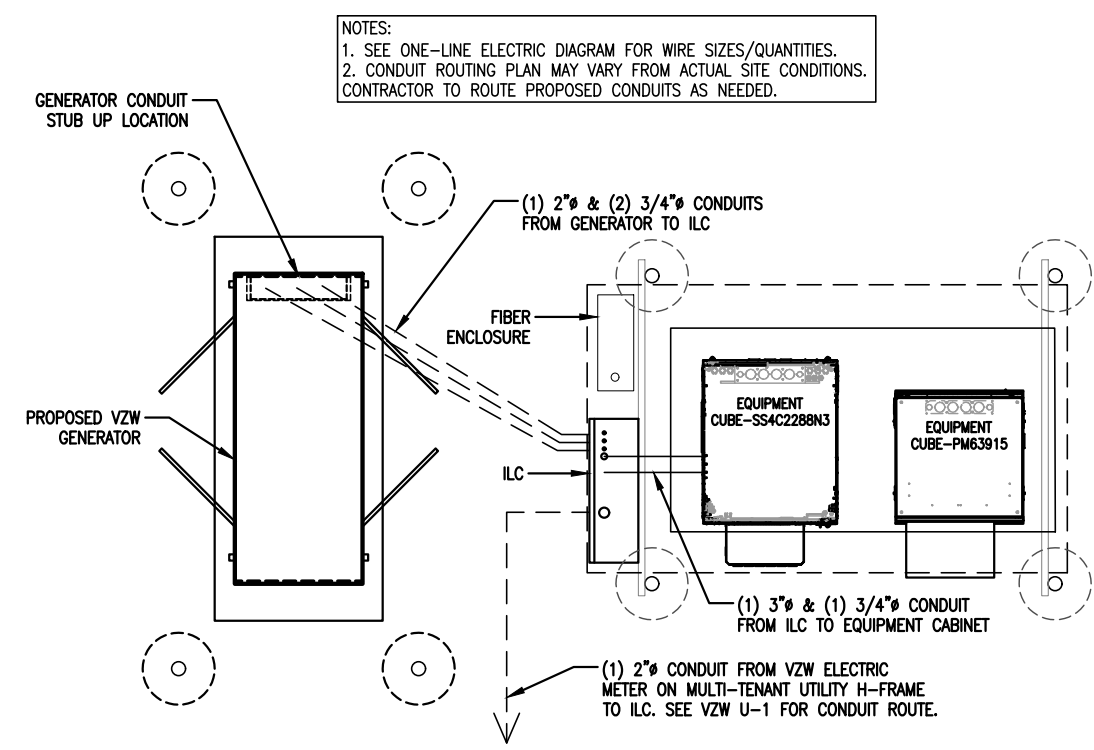
RED OAK

87 MCCULLEY ROAD
 MAPLE PLAIN, MN 55359

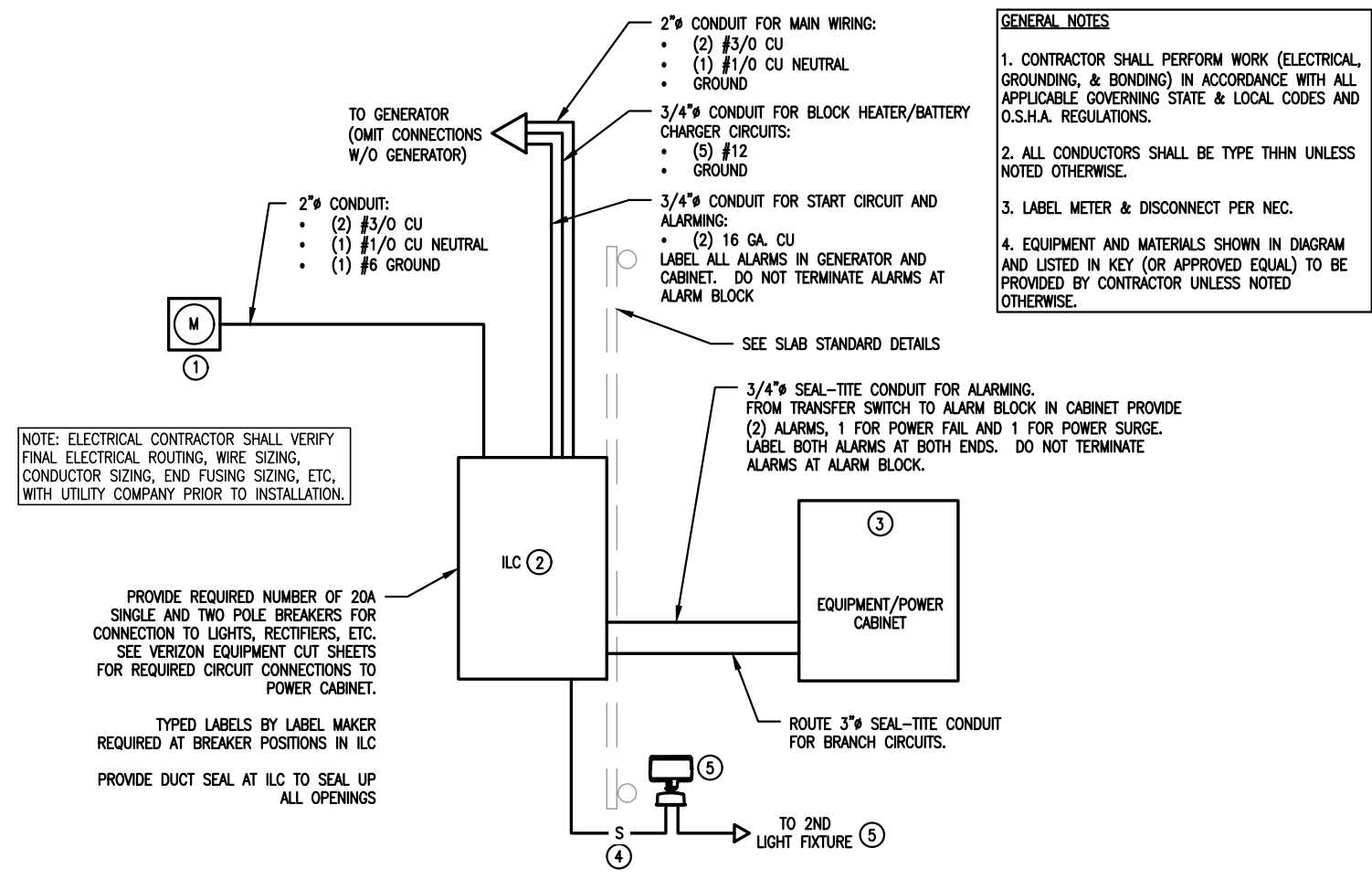
SHEET CONTENTS:
 CONDUIT ROUTING PLAN
 ONE LINE ELECTRIC DIAGRAM

DRAWN BY:	SJD
CHECKED BY:	TAB
REV. A	11-14-24
REV. B	11-25-24
REV. C	01-23-25
REV. D	02-25-25
REV. E	04-09-25

VZW U-2



1 CONDUIT ROUTING PLAN
 SCALE: 1/4" = 1'-0"



GENERAL NOTES

- CONTRACTOR SHALL PERFORM WORK (ELECTRICAL, GROUNDING, & BONDING) IN ACCORDANCE WITH ALL APPLICABLE GOVERNING STATE & LOCAL CODES AND O.S.H.A. REGULATIONS.
- ALL CONDUCTORS SHALL BE TYPE THHN UNLESS NOTED OTHERWISE.
- LABEL METER & DISCONNECT PER NEC.
- EQUIPMENT AND MATERIALS SHOWN IN DIAGRAM AND LISTED IN KEY (OR APPROVED EQUAL) TO BE PROVIDED BY CONTRACTOR UNLESS NOTED OTHERWISE.

ELECTRICAL EQUIPMENT LIST & KEY				
KEY NOTE	ALT.	MANUFACTURER PART NUMBER	MANUFACTURER	DESCRIPTION
①	-	-	-	UTILITY CO. APPROVED 200A METER WITH MCB/DISCONNECT
②	GEN.	AA300G-1PH-42-3R	ASCO POWER TECHNOLOGIES	D300L SERIES, SINGLE PHASE, 200A POWER TRANSFER LOAD CENTER (PROVIDED BY VERIZON)
	W/O GEN.	AA300G-1PH-3RGC		D300L SERIES, SINGLE PHASE, 200A POWER TRANSFER LOAD CENTER W/CAM-LOK (PROVIDED BY VERIZON)
③	-	-	-	PUNCH DOWN ALARM TERMINAL BLOCK (LOCATED WITHIN EQUIPMENT)
④	-	E357	DAYTON	LIGHT FIXTURE CONTROL & WEATHERPROOF CASING
⑤	-	OLFL PE 14 BZ	LITHONIA	OUTDOOR INTEGRATED LED FLOOD LIGHT FIXTURE - MOUNT PER STANDARD DETAILS

2 ONE-LINE ELECTRICAL DIAGRAM
 SCALE: NONE

December 16, 2024

Jennifer Schaumburg
The Towers, LLC
750 Park of Commerce Drive, Suite 200
Boca Raton, Florida 33487



Subject: Fall Certification Letter
Arcosa Designation: Arcosa Project Number: B412
 Arcosa Site Name: Red Oak (US-MN-5154)
Engineering Firm Designation: B+T Group Project Number: 174295.001.01.0001
Site Data: Red Oak (US-MN-5154)
 180'ext195' Self Support Tower

To Whom it May Concern:

As Requested by Arcosa Telecom Structures on behalf of The Towers, LLC, B+T Group is pleased to submit this "Fall Certification Letter" for the 180'ext 195' Self Support Tower to be constructed at the **Red Oak (US-MN-5154)** site.

This tower will be designed in accordance with the TIA 222-H standard for Hennepin County, MN. The tower will be designed to support antennas and transmission lines for four wireless carriers. The design criteria are more particularly described as follows:

Design Wind Speed: 109mph 3-sec gust (no ice), 50mph 3-sec gust (1.5" ice)
Structure Class: II
Exposure Category: C
Topographic Category: 1

175'—Wireless Carrier 1 (CaAa= 42,000 sq in w/ (18) 1 5/8" transmission lines
165'—Wireless Carrier 2 (CaAa= 30,000 sq in w/ (12) 1 5/8" transmission lines
155'—Wireless Carrier 3 (CaAa= 30,000 sq in w/ (12) 1 5/8" transmission lines
145'—Wireless Carrier 4 (2) 6' MW Dishes (6GHZ) w/ (9) 1.625 transmission lines

Currently it is our understanding that this structure be designed such that, if a failure were to occur, the tower would fall within a radius of 90.0' from the base of the structure. It should be understood that communication structures are designed in accordance with strict structural standards and it is extremely rare that well maintained towers fail under normal operational conditions. However, in the highly unlikely event that this tower were to experience operational failure, the failure mode would most likely be compression buckling. In a compression buckling failure, it is reasonable to assume a structure of this type would most likely collapse and fall on itself within a radius of 90.0' from the base of the tower. It should be understood that this opinion does not consider unpredictable extreme catastrophic events for which the structure is not designed. However, any damage to surrounding property caused by the tower failing during such an event would be relatively insignificant when compared to the damage caused to the surrounding property by the event itself.

I hope this letter satisfies your concerns. Please let us know if we may be of further assistance.

Respectfully submitted by: B+T Engineering, Inc.

Chad E. Tuttle, P.E.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: CHAD E. TUTTLE
Signature:
Date: 12/16/24 License #: 42966

MIN RED OAK Coverage Before and After Comparison

The following simulation maps show the coverage improvement in the area surrounding the proposed MIN RED OAK site. Currently the site is surrounded by areas of low coverage, as measured by RSRP (Reference Signal Received Power). This measures the power level received by the wireless device in a certain location, given in decibels (dB). For a typical case, “good” coverage, that is, coverage that will provide reliable service both indoors and outdoors, is anything above around -85 dB. Coverage that is somewhat reliable, but may start to show signs of degraded reliability, would be below that level to around -95 dB; Verizon would consider that “Fair” coverage. And “Poor” coverage would then be signal levels below that -95 dB to -105 dB. Signal may exist and be sufficient in some situations below that level, but reliability is very degraded and the likelihood that a user would be able to maintain a consistent connection is low.

The first map (Figure 1, below) shows the signal levels as described above as it is today. Red areas show where coverage is “good”, yellow is where Verizon has “fair” coverage, and blue is “poor” coverage.

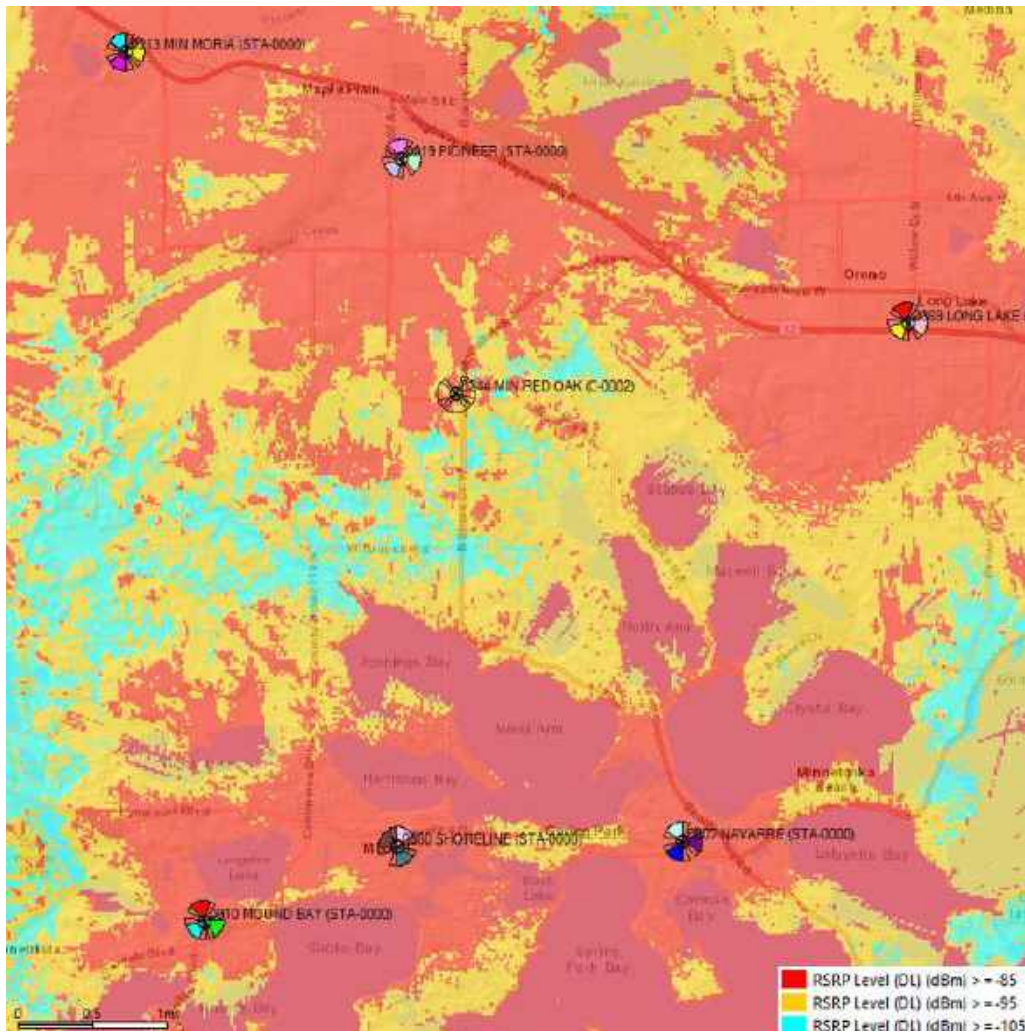


Figure 1: Existing Coverage surrounding the proposed MIN RED OAK Site

Figure 2 below shows the impact of adding MIN RED OAK to our network. MIN RED OAK has converted all the areas surrounding it for a couple of miles from “poor” or “fair” to “good”, and has also converted areas further from the site from “fair” to good. This includes ensuring consistent coverage for the entirety of N Shore Dr between Lake Minnetonka and US Hwy 12, which currently ranges from fair to poor coverage.

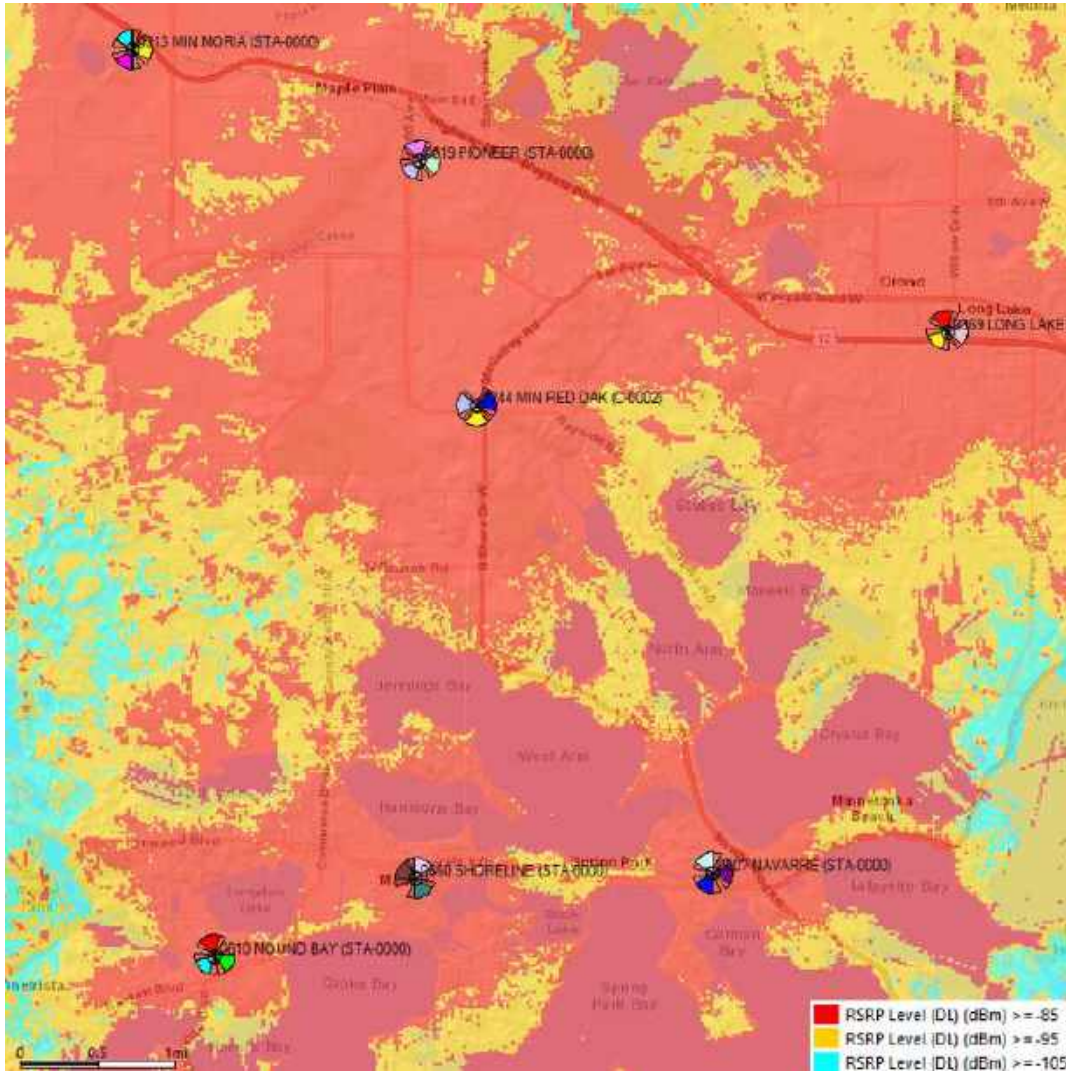


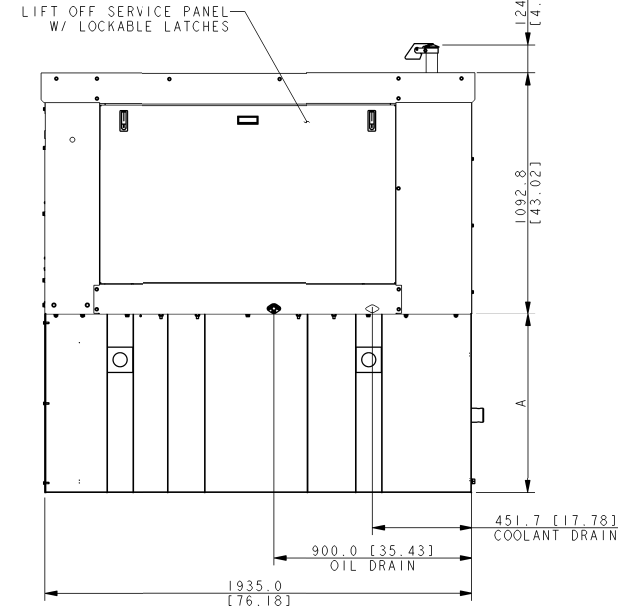
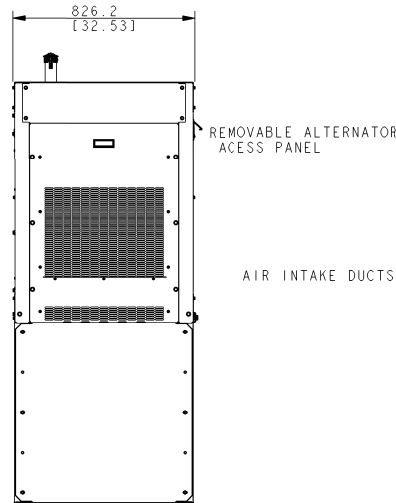
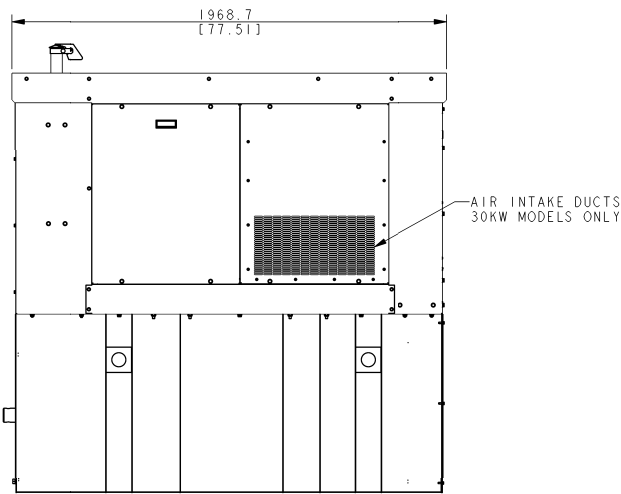
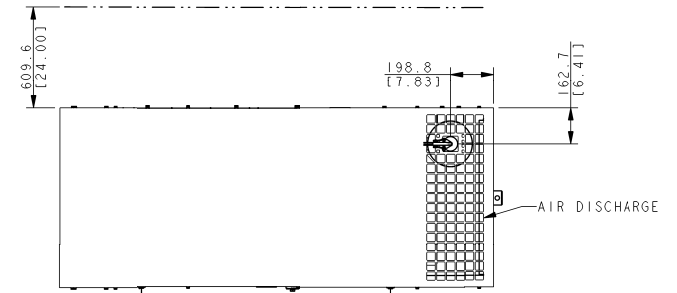
Figure 2: Proposed Coverage surrounding the proposed MIN RED OAK Site

In addition to the coverage simulations provided, Verizon has measured data from several drive tests that confirms the current poor coverage in the area, and we are confident that MIN RED OAK is the best solution to fill in these coverage gaps and ensure reliable communications for customers in the area north of Lake Minnetonka.

NOTES:

1. BOTH SIDES OF THE GENERATOR ARE SERVICE ACCESSIBLE WITH EASY ACCESS SERVICE DOORS.
2. 6 AMP BATTERY CHARGER.
3. 120VAC ENGINE BLOCK HEATER.
4. GENERATOR MUST BE GROUNDED.
5. SOUND ATTENUATED ENCLOSURE STANDARD WITH GENERATOR.
6. MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST.
7. MUST ALLOW FREE FLOW OF INTAKE AIR.
8. EASY ACCESS SERVICE PANEL IS LOCATED ON THE RIGHT SIDE OF THE GENERATOR ONLY.
9. BASE TANK REQUIRES ALL STUB-UPS TO BE IN THE REAR TANK STUB-UP AREA.
10. SEE TABLE FOR SUBBASE FUEL TANK CAPACITY.
11. TANK EQUIPPED WITH FIRE SAFETY VALVE ON FUEL SUPPLY LINE.
12. IT IS THE RESPONSIBILITY OF THE INSTALLATION TECHNICIAN TO ENSURE THAT THE GENERATOR INSTALLATION COMPLIES WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS.
13. GENERATOR IS INSTALLED ON A UL-142 RATE DOUBLE WALL SUBBASE FUEL TANK.

MINIMUM REQUIRED CLEARANCE FOR AIRFLOW



GENSET	TANK P/N	TANK HT (A) MM (IN)	DESCRIPTION	ASSY WEIGHT
20REOZK	GM97093-MA1	812.8 [32.0]	SKID/TANK, 148 GAL	827 KG [1823 LBS]
20REOZK	GM97093-MA2	1041.2 [41.0]	SKID/TANK, 203 GAL	893 KG [1968 LBS]
20REOZK	GM97093-MA3	381.0 [15.0]	SKID/TANK, 53 GAL	706 KG [1557 LBS]
20REOZK	GM97093-MA4	685.8 [27.0]	SKID/TANK, 120 GAL	792 KG [1745 LBS]
30REOZK	GM97093-MA1	812.8 [32.0]	SKID/TANK, 148 GAL	893 KG [1969 LBS]
30REOZK	GM97093-MA2	1041.4 [41.0]	SKID/TANK, 203 GAL	959 KG [2114 LBS]
30REOZK	GM97093-MA3	381.0 [15.0]	SKID/TANK, 53 GAL	772 KG [1703 LBS]
30REOZK	GM97093-MA4	685.8 [27.0]	SKID/TANK, 120 GAL	792 KG [1745 LBS]
30REOZK	GM97093-MA5	889.0 [35.0]	SKID/TANK, 164 GAL	849 KG [1870 LBS]

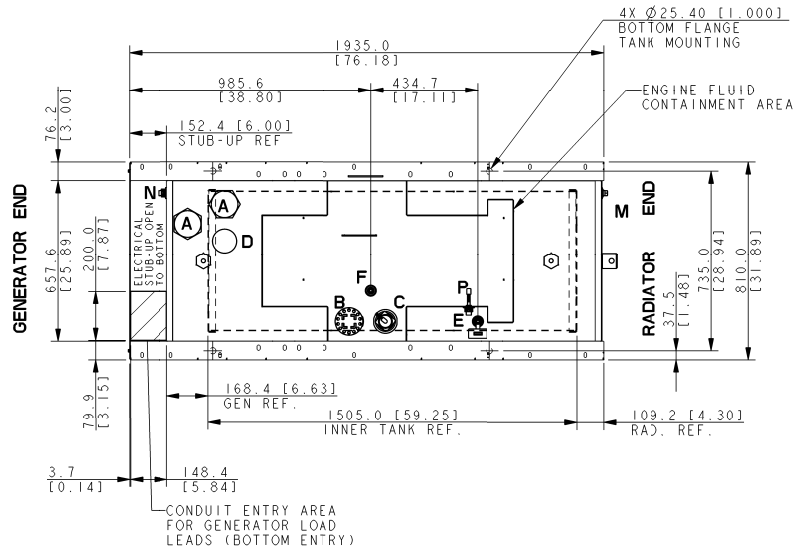
20-30KW KOHLER DIESEL SOUND ENCL W/LIFT OFF PANEL

REV	DATE	ON COMPOSITE DWGS, SEE PART NO. FOR REVISION LEVEL	BY	DO NOT SCALE. REFERENCE THE MODEL FOR ALL UNSPECIFIED DIMENSIONS								
1	2-2-16	NEW DRAWING [CT138291]	JMR	UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS IN MILLIMETERS								
A	3-24-17	(D-B) UPDATE NOTE 1 FOR LIFT OFF DOOR ACCESS ABILITY. [CT172547]	JMR	GENERAL TOLERANCES: X XX ± 0.25 X X ± 0.5 X ± 1.0 ANGLES ± 0°30' MAX								
B	8-20-18	(A-B) GM97093-MA5 TANK ADDED TO TABLE [CT188955]	JMR									
C	2/JULY2020	(C-1) 124.9 [4.92] WAS 124.3 [4.89]. (A-1) 451.7 [17.78] WAS 451.6 [17.78]. SEE OTHER SHEETS	SUD									
		[CT205156]		<table border="1"> <tr> <th>APPROVALS</th> <th>DATE</th> </tr> <tr> <td>DRAWN JMR</td> <td>2-2-16</td> </tr> <tr> <td>CHECKED JMR</td> <td>2-2-16</td> </tr> <tr> <td>APPROVED KLC</td> <td>2-2-16</td> </tr> </table>	APPROVALS	DATE	DRAWN JMR	2-2-16	CHECKED JMR	2-2-16	APPROVED KLC	2-2-16
APPROVALS	DATE											
DRAWN JMR	2-2-16											
CHECKED JMR	2-2-16											
APPROVED KLC	2-2-16											

KOHLER
 KOHLER WISCONSIN 83044
 THIS DRAWING IN DESIGN AND DETAIL IS KOHLER CO. PROPERTY AND MUST NOT BE USED EXCEPT IN CONNECTION WITH KOHLER CO. WORK. ALL RIGHTS OF DESIGN OR INVENTION ARE RESERVED.

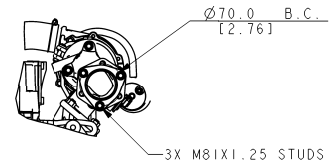
TITLE: **DIMENSION PRINT, 30REOZK**
 VERIZON

SCALE: 0.09" = 1" CAD NO. SHEET: 1 of 3
 DWG NO. **ADV-8855** D

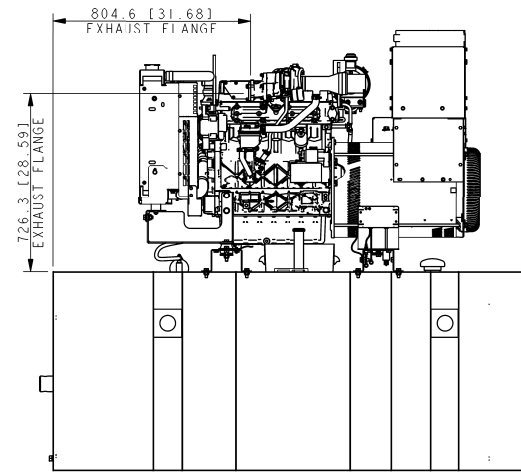
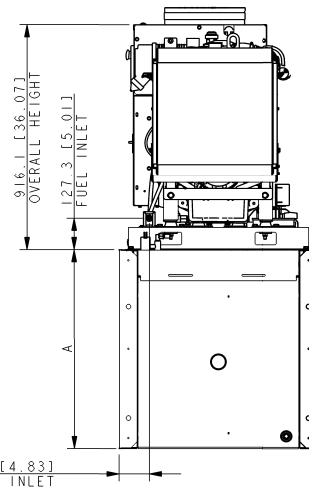
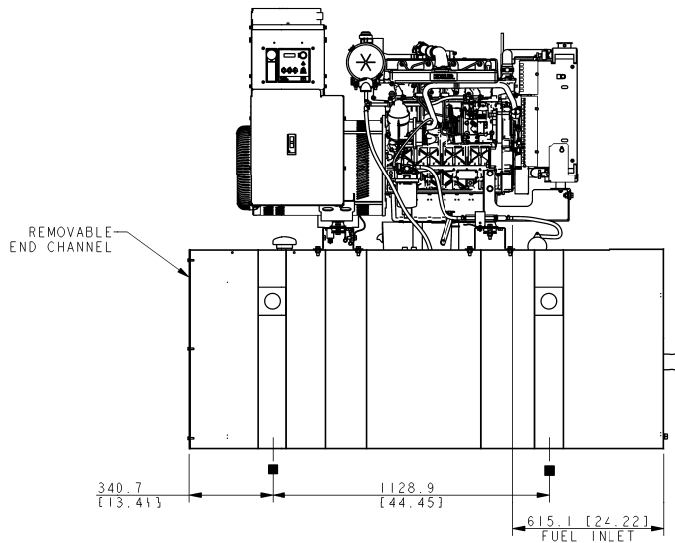


TANK FITTINGS:

- A. 3" / 4" NPT ACCORDINGLY, EMERGENCY VENT FITTING PER NFPA 30 WITH VENT CAPS.
- B. 2" NPT WATER TIGHT FUEL FILL FITTING WITH LOCKABLE CAP & 3" RISER.
- C. 2" NPT FITTING FOR FUEL LEVEL SENDING UNIT WITH MECHANICAL INDICATOR NEEDLE.
- D. 2" NPT NORMAL VENT FITTING WITH MUSHROOM VENT CAP AND RISER.
- E. 1/2" NPT FITTING REMOVABLE ENGINE SUPPLY DIP TUBE W/ FIRE SAFETY VALVE.
- F. 1/2" NPT FITTING REMOVABLE FUEL RETURN DIP TUBE.
- M. 1/2" NPT RUPTURE BASIN DRAIN
- N. 2" NPT FUEL IN BASIN SWITCH.
- P. 1/2" NPT FLOAT SWITCH FOR ENGINE FLUID CONTAINMENT BASIN.



EXHAUST FLANGE DETAIL



NOTE:
FOR FURTHER TANK DETAIL
SEE INDIVIDUAL DRAWINGS

■ 4X Ø25.4 [1.00]
STANDARD MOUNTING

20-30KW KOHLER DIESEL

REV	DATE	ON COMPOSITE DWGS. SEE PART NO. FOR REVISION LEVEL	BY	DO NOT SCALE. REFERENCE THE MODEL FOR ALL UNSPECIFIED DIMENSIONS
-	2-2-16	NEW DRAWING [CT138291]	JMR	UNLESS OTHERWISE SPECIFIED: ALL DIMENSIONS IN MILLIMETERS
A	3-24-17	(D-2) REMOVE OPV REFERENCE FROM TANK FITTING NOTE "B." [CT172547]	JMR	GENERAL TOLERANCES: X 33 ± 0.25 X 2.5 ± 0.15 X 1.5 ± 0.10 ANGLES ± 1° 30' MAX
B	8-20-18	SEE SHEET 1 FOR CHANGE [CT188955]	JMR	THIRD ANGLE PROJECTION
C	2/JULY2020	(D-2,3) 3"/4" NPT ACCORDINGLY WAS 3" NPT. "(QTY 2)" REMOVED; SEE OTHER SHEETS [CT205156]	SUD	
APPROVALS		DATE		
DRAWN JMR		2-2-16		
CHECKED JMR		2-2-16		
APPROVED KLC		2-2-16		
TITLE			DIMENSION PRINT, 30REOZK	
DRAWN			SCALE 0.10 CAD NO.	
CHECKED			DWG NO. ADV-8855	
APPROVED			SHEET 2 of 3	

■ City of Independence

**Request for an Interim Use Permit to Allow a Kennel on the
Property located at 3850 County Line Road**

To: City Council
From: Mark Kaltsas, City Planner
Meeting Date: April 15, 2025
Applicant: Christine Parr
Owner: Christine Parr
Location: 3850 County Line Road

Request:

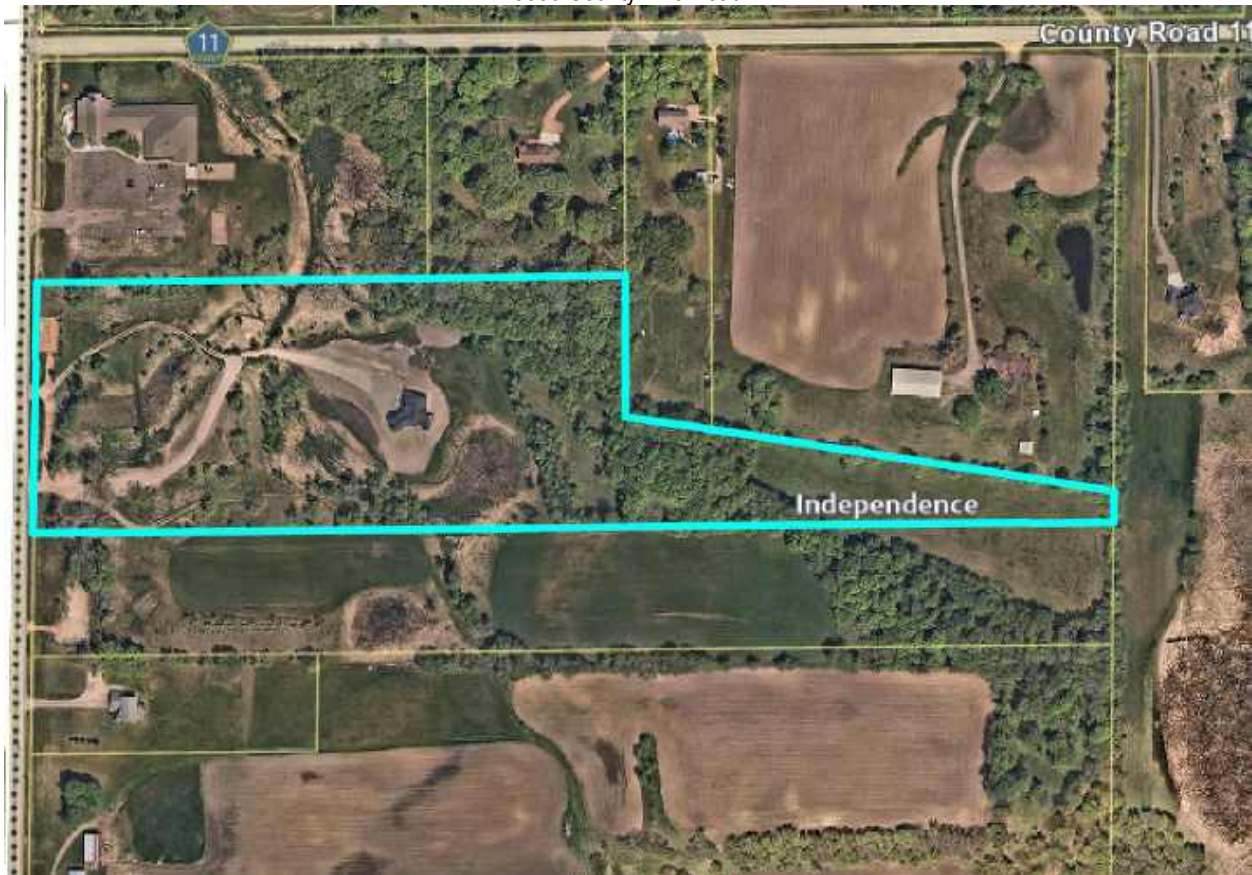
Christine Parr (Applicant/Owner) requests that the City consider the following action for the Property located at 3850 County Line Road Independence, MN (PID No. 07-118-24-22-0006):

- a. An interim use permit (IUP) to allow a non-commercial kennel (five personal dogs) on the subject property.

Property/Site Information:

The property is located east side of County Line Road on the very west edge of the city. The property has open areas, wetlands and woodlands located throughout the property. There is a new home that was just completed on the property. The property has the following characteristics:

Property Information: 3850 County Line Road
Zoning: *Agriculture*
Comprehensive Plan: *Agriculture*
Acreage: *19.50 acres*



Discussion:

The applicant is seeking an Interim Use Permit to allow a private dog kennel on the subject property. A kennel is defined as follows:

"Kennel." Any structure or premises on which four or more dogs over six months of age are kept.

The applicants recently purchased the property and are finalizing the construction of a new home. The applicant has noted that they currently have five (5) personal dogs that would move onto the property with them upon completion of the new home. The applicant would keep the dogs inside of the home. The applicant has noted that they will be fencing in a part of the yard to contain the dogs.

The criteria for granting an interim use permit are clearly delineated in the City's Zoning Ordinance (Section 520.17 subd. 1, a-e) as follows:

520.17. Criteria for granting an interim use permit.

Subd. 1. The city council may issue interim use permits for an interim use of property provided the proposed use meets all of the following criteria:

- (a) The use is deemed to be temporary, and the use conforms to the development and performance standards of the zoning regulations herein;
- (b) The date or event that will terminate the use can be identified with certainty;
- (c) Allowing the use will not impose additional costs on the public if it is necessary for the public to take the property in the future;
- (d) The user agrees to any conditions that the city council deems appropriate for allowing the use; and
- (e) The use meets the standards set forth in subsection 520.11 governing conditional use permits.

The city has issued interim use permits for similar types of uses that don't conform to all applicable standards of the ordinance but are generally in keeping with the spirit and intent. The applicant is not proposing to board or keep any animals on the property other than their personal dogs. The city can utilize conditions in the IUP that will ensure that no other dogs are kept on the premise. One of the most notable issues with kennels is related to noise due to dogs barking and or roaming of dogs outside of enclosed areas. The applicant has noted that the property is 20 acres, and that they are going to keep the dogs within the principal home and or the fenced in area (location and areas fenced in will need to be confirmed) should minimize the potential for noise and roaming related issues.

As the proposed use relates to the criteria for granting an IUP, the following items should be noted:

- The number of dogs permitted on the property shall be limited to five (5).
- The dogs will be permitted within the principal structure and fenced area(s) only (will need to establish an exhibit and attach to the IUP). A condition of the kennel approval will require the dogs to be contained on the property to fenced areas only.
- The proposed IUP will not create an increase (beyond that of a residential property of like character, size and location) in noise or offensive odors, fumes dust, or vibrations for the surrounding properties.
- The interim use permit will expire upon the conveyance of the property or the sale or cessation of the kennel, whichever occurs first.

The Planning Commission will need to review the request and determine that all criteria for granting an interim use permit have been satisfied by the applicant. Based on the discussion and public hearing it may be necessary to consider additional conditions if recommended for approval.

Neighbor Comments:

The City has received several comments relating to the status of the existing dogs on this property. It was noted that the dogs are not currently contained and have been seen or found off of the property and on adjacent properties.

Recommendation:

Staff is seeking a recommendation from the Planning Commission for the request for an Interim Use Permit. Should Planning Commission recommend approval of the request, the following findings and conditions should be considered:

1. The proposed Interim Use Permit request meets all applicable conditions and restrictions stated Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. The number of dogs permitted on the property at any time shall be limited to five (5).
 - The dogs will be permitted within the principal structure and fenced area (will need to establish an exhibit and attach to the IUP).
 - The proposed IUP will not create an increase (beyond that of a residential property of like character, size and location) in noise or offensive odors, fumes dust, or vibrations for the surrounding properties.
3. There shall be no employees other than property owner and family “staffing” the *kennel* at any time on the property.
4. Any expansions (increase in number of dogs), additions or other changes to the proposed interim use will require an amendment to the interim use permit.
5. The City Council may revoke the interim use permit if the applicant violates any of the conditions set forth in the IUP.
6. The interim use permit will expire upon the conveyance of the property or the sale or cessation of the kennel by the current owner, whichever occurs first.

Attachments:

1. Application



**CITY OF
INDEPENDENCE
MINNESOTA**

Date Submitted: 01-31-2025

Applicant Information

Name: Christine A Parr
Address: 3850 County Line Rd se
Independence, Minnesota
55328
Primary Phone: 612-481-5061
Email: pitpro@comcast.net

Owner Information

Name: Christine A Parr
Address: 3850 County Line Rd se
Independence, Minnesota
55328
Primary Phone: 612-481-5061
Email: pitpro@comcast.net

Property Address:

PID:

Planning Application Type: Interim Use Permit

Description:

Supporting Documents: Site Survey (Existing Conditions)

Signature:

Christine Parr

We have 5 dogs as our family members. We bought the property which is 20 acres and plan on fencing in part of the yard. This would only be for our personal use. I am attaching an aerial view of the property. Thank you very much! We look forward to becoming residents of Independence.

City of Independence

**Request a Minor Subdivision
for the Property located at 6625 Fogelman Road**

To: Planning Commission
From: Mark Kaltsas, City Planner
Meeting Date: April 15, 2025
Owner/Applicants: Robert Youngquist
Location: 6625 Fogelman Road

Request:

Robert Youngquist (Applicant/Owner) requests that the City consider the following action for the Property located at 6625 Fogelman Road Independence, MN (PID No. 10-118-24-43-0010):

- a. A minor subdivision to allow a lot line rearrangement to shift a portion of the north/south property line that divides the two properties approximately 80 feet to the east.

Property/Site Information:

The subject property is located along the south side of Fogelman Road, west of County Road 90 N. The existing property has an existing home and accessory building. The property has the following site characteristics:

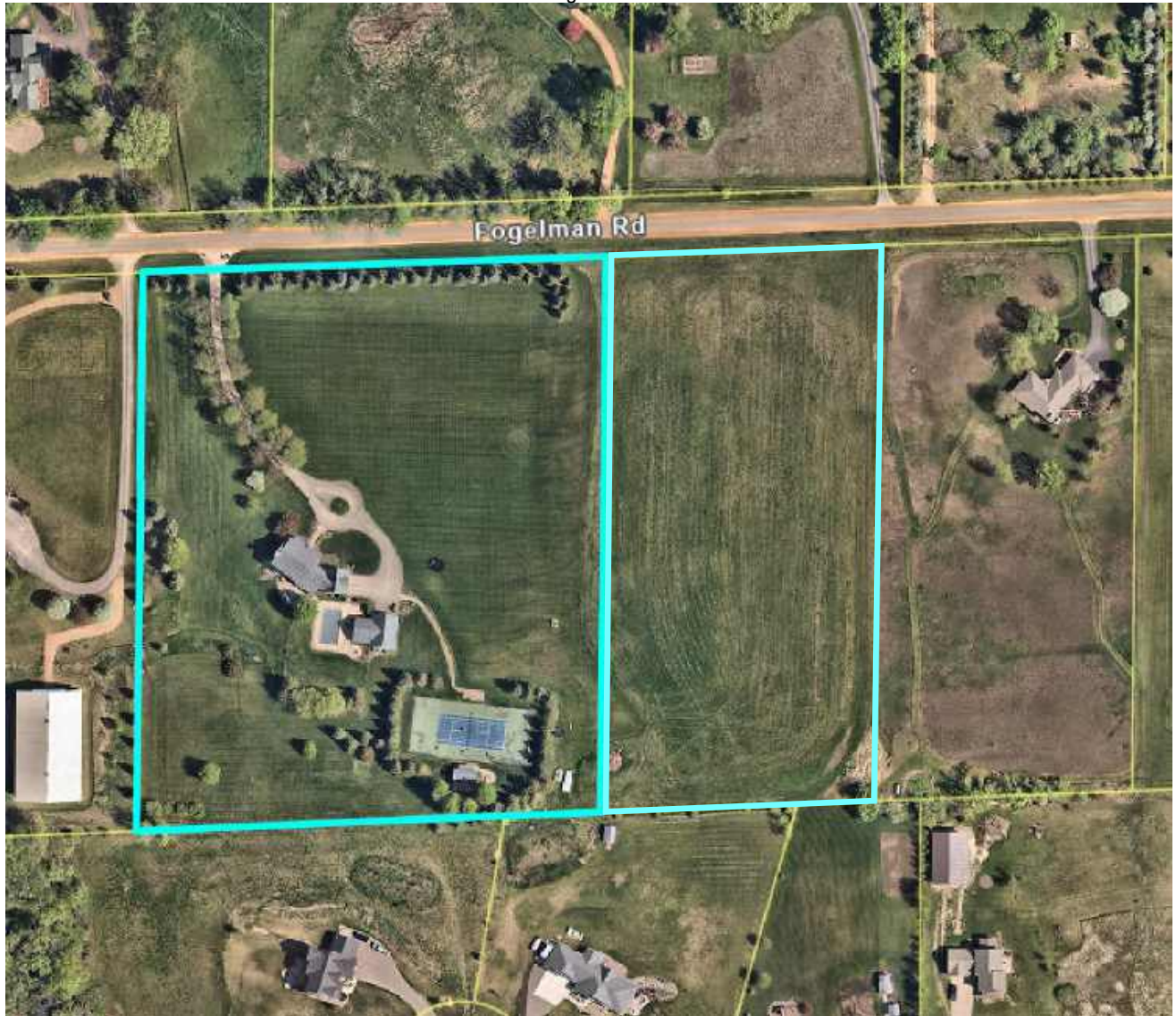
Property Information: 6625 Fogelman Road

Zoning: *RR-Rural Residential*

Comprehensive Plan: *Rural Residential*

Acres (Before): West Parcel – 7.71 acres
East Parcel – 4.55 acres

Acres (After): West Parcel – 8.17 acres
East Parcel – 4.09 acres



Discussion:

In 2021, the city approved the minor subdivision of the 6625 Fogelman Road property to create a second lot. At that time the existing property was just over 12 acres. The subdivision created the two lots that exist today. The applicant owns both properties and would like to construct a detached accessory building on the west parcel (shown on survey). The location desired by the applicant is in the southeast corner of the property adjacent to the tennis court. The applicant approached the city about the possibility of constructing a detached accessory structure in that location and it was noted that the proposed building would have to be wholly located on the west parcel (parcel with a principal building) and would have to meet applicable building setbacks.

The applicant is seeking a minor subdivision to allow lot line rearrangement to adjust/move the southern half of the property line separating the two parcels for the purpose of constructing a detached accessory structure that meets all applicable setbacks. The city has the following criteria relating to Rural Residential lots:

Minor Subdivision:

The proposed lot would have the following characteristics.

Lot size required:	Minimum of 2.5 buildable acres
Lot size proposed:	West Parcel – 8.17 acres East Parcel – 4.09 acres
Minimum lot frontage required:	250 LF (for property between 3.50-4.99 acres) 300 LF (for property between 5.00-10.00 acres)
Minimum lot frontage proposed:	West Parcel - 529 LF (no change) East Parcel - 313 LF (no change)
Ratio of lot frontage to lot depth required:	no more than 1:4
Ratio of lot frontage to lot depth proposed:	West Parcel - 1:1 East Parcel – 1:2

Staff discussed the proposed subdivision with the applicant and discussed looking at a solution that would minimize impacts to the surrounding properties. The applicant is proposing to shift a portion of the north/south dividing line approximately 80 feet to the east to allow for the proposed building.

The proposed subdivision delineates new drainage and utility easements along all property lines in accordance with applicable standards. The applicant has discussed the proposed building and subdivision with the neighboring property owners, and they have provided written verification that they support the request. The lot line rearrangement will create a “cookie” bite out of the southwest corner of the vacant lot. With the proposed change, both lots will still be in keeping with the size and general character of the surrounding properties. Planning Commissioners will need to consider whether or not the requested lot line rearrangement will meet all applicable criteria of the city’s zoning ordinance.

Neighbor Comments:

The City has noted that the adjacent property owners have provided written verification supporting the applicants subdivision and proposed detached accessory building.

Recommendation:

Staff is seeking a recommendation from the Planning Commission for the requested minor subdivision with the following findings:

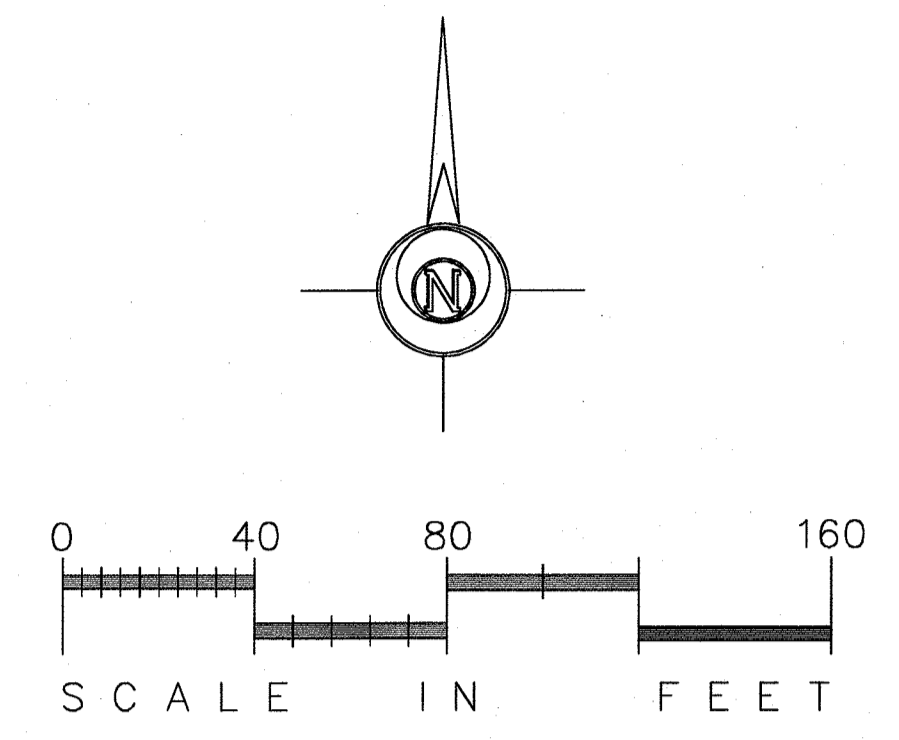
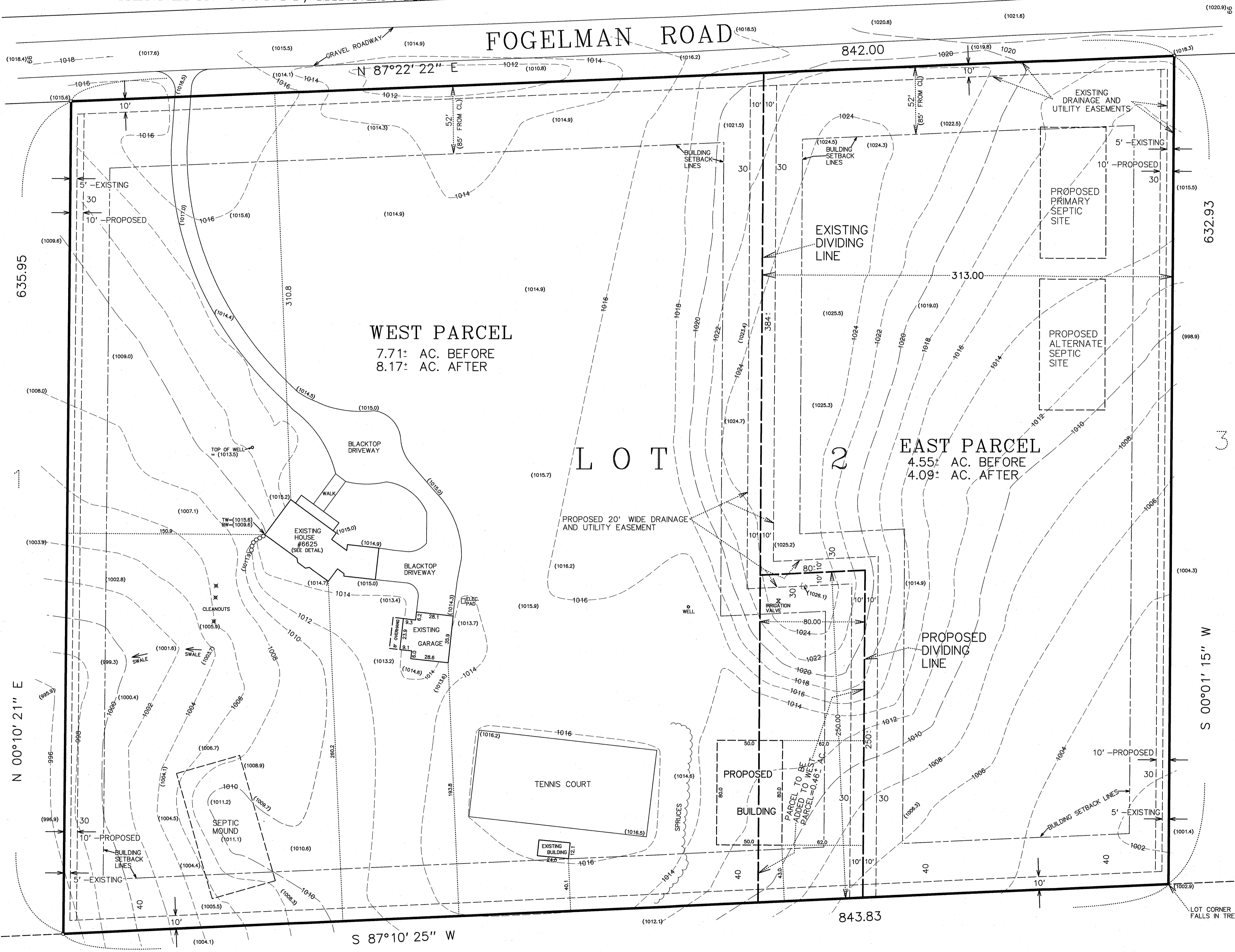
1. The proposed minor subdivision meet all applicable criteria and conditions stated in Chapter V, Section 500, Planning and Land Use Regulations of the City of Independence Zoning Ordinance.
2. The Applicant shall provide to the city with the requisite drainage and utility easements legal descriptions for both lots.

3. The Applicant shall execute and record the requisite drainage and utility easement with the county within six (6) months of approval.
4. The Applicant shall pay for all costs associated with the City's review of the requested subdivision.
5. The Applicant shall record the subdivision and City Council Resolution with the county within six (6) months of approval.

Attachments:

1. Application
2. Proposed Subdivision Exhibits

PROPOSED LOT DIVISION AND
 CERTIFICATE OF SURVEY FOR
ROBERT YOUNGQUIST
 IN LOT 2, BLOCK 1, FRENCH HILL FARM 3RD ADDITION
 HENNEPIN COUNTY, MINNESOTA

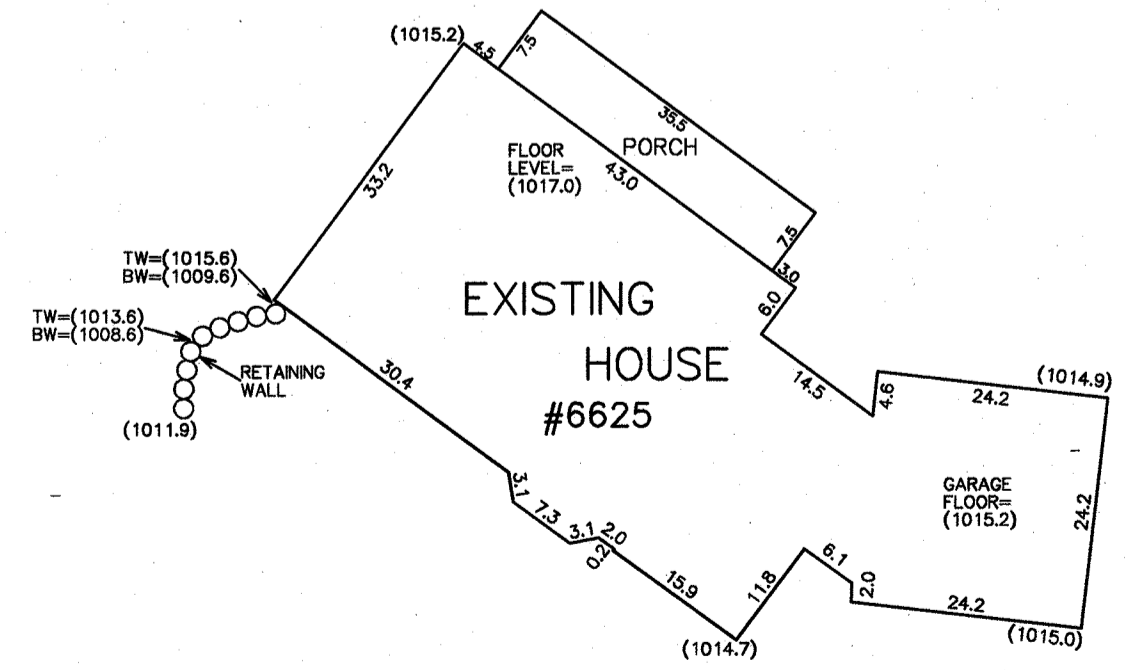


EXISTING LEGAL DESCRIPTIONS :
 EAST PARCEL : The east 313.00 feet of Lot 2, Block 1, FRENCH HILL FARM THIRD ADDITION.
 WEST PARCEL : That part of Lot 2, Block 1, FRENCH HILL FARM THIRD ADDITION which lies west of the east 313.00 feet thereof.
 o : denotes iron marker
 (908.3) : denotes existing spot elevation, mean sea level datum
 -917- : denotes existing contour line, mean sea level datum
 Bearings shown are based upon an assumed datum.

This survey intends to show the boundaries of the above described property, and the location of three existing buildings, driveway, spot elevations, topography, play area, sport court, septic cleanouts, two wells, and septic mound thereon. It does not purport to show any other improvements or encroachments.

PROPOSED LEGAL DESCRIPTIONS :
 PARCEL TO BE TRANSFERRED : The west 80.00 feet of the south 250.00 feet of the east 313.00 feet of Lot 2, Block 1, FRENCH HILL FARM THIRD ADDITION.
 EAST PARCEL : The east 313.00 feet of Lot 2, Block 1, FRENCH HILL FARM THIRD ADDITION except the west 80.00 feet of the south 250.00 feet thereof.
 WEST PARCEL : That part of Lot 2, Block 1, FRENCH HILL FARM THIRD ADDITION which lies west of the east 313.00 feet thereof. ALSO the west 80.00 feet of the south 250.00 feet of said east 313.00 feet.

ADDRESS: 6625 FOGELMAN ROAD
 EXISTING AREA = 12.26: AC
 CURRENT ZONING : AGRICULTURAL
 PROPOSED ZONING : RURAL RESIDENTIAL



HOUSE DETAIL
 1" = 20' SCALE

GRONBERG & ASSOCIATES, INC.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS
 445 NORTH WILLOW DRIVE LONG LAKE, MN 55356
 952-473-4141

DATE: 2-21-25
 SCALE: 1"=40'
 SHEET: 25-010

PROJECT

I hereby certify that this plan, specification, or report was prepared by me, or under my direct supervision, and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
 Mark S. Gronberg
 Minnesota License Number: 12755

REVISIONS
DATE: J-8-25
PROPOSED BUILDING AND SETBACKS ADDED