



PLANNING COMMISSION MEETING AGENDA
TUESDAY MAY 21, 2024

7:30 PM REGULAR MEETING

1. Call to Order
2. Roll Call
3. Approval of Minutes:
 - a. April 16, 2024, Planning Commission Meeting Minutes.
 - b. May 7, 2024, City Council Meeting Minutes (For Information Only).
4. **PUBLIC HEARING (Continued):** Mosiah Willis (Applicant) and Jared Haley (Owner) is requesting the following action for the property located at 2485 Independence Rd. (PID No. 13-118-24-33-0001) in the City of Independence, MN:
 - a. A variance to allow the existing detached accessory structure to be used as an accessory dwelling unit which will exceeds the maximum size of an accessory dwelling unit permitted; and
 - b. A conditional use permit to allow an accessory dwelling unit to be located in the existing detached accessory structure.
5. **PUBLIC HEARING** - Nathan Mendiola (Applicant) and Pam and Andy Krominga (Owners) are requesting the following action for the property located at 3585 William Way (PID No. 11-118-24-42-0004) in the City of Independence, MN.
 - a. A conditional use permit to allow an accessory dwelling unit to be located within the proposed new home.
6. **PUBLIC HEARING** - Karen Ann Malinak (Applicant/Owner) is requesting the following action for the property located at 2510 County Road 92 (PID No. 16-118-24-33-0003) in the City of Independence, MN.
 - a. A conditional use permit to allow a dog kennel on the subject property.
7. **PUBLIC HEARING** – Blue Valley Farm LLC (Applicant/Owner) is requesting the following action for the property located at 7550 Turner Road (PID No. 28-118-24-13-0005) in the City of Independence, MN.

- a. A conditional use permit amendment to allow an outdoor riding arena to be added to the subject property as a part of the commercial horse boarding facility on the subject property.
- 8. **PUBLIC HEARING** – Jon and Patricia Malecek (Applicant/Owner) is requesting the following action for the property located at 1215 Copeland Road (PID No. 30-118-24-14-0002) in the City of Independence, MN.
 - a. A rural view lot subdivision to divide a 7.37-acre parcel from the subject property.
- 9. **PUBLIC HEARING** – Katy Swanson on behalf of Crown Castle (Applicant/Owner) is requesting the following action for the property located at 8590 County Road 6 (PID No. 32-118-24-23-0001) in the City of Independence, MN.
 - a. A conditional use permit amendment to allow two additional antennas to be mounted on the existing structure located at the base of the existing cellular tower on the subject property.
- 10. Open/Misc.
- 11. Adjourn.



PLANNING COMMISSION MEETING AGENDA
TUESDAY APRIL 16, 2024

7:30 PM REGULAR MEETING

1. Call to Order

Pursuant to due call and notice thereof, a regular meeting of the Independence Planning Commission was called to order by Gardner at 7:30 p.m.

2. Roll Call

Present: Commissioners Gardner, Tearse, Dumas, Usset, Thompson, and Alternate Story

Staff: City Administrator Kaltsas and Administrative Services Director Amber Simon

Absent: Volkenant

Visitors: See Sign in sheet

3. Approval of Minutes:

- a. February 20, 2024, Planning Commission Meeting Minutes.
- b. March 12, 2024, Planning Commission Meeting Minutes.
- c. April 2, 2024, City Council Meeting Minutes (For Information Only).

Motion by Thompson to approve the February 20, 2024 and March 12, 2024 Planning Commission Minutes seconded by Tearse. Ayes: Gardner, Tearse, Dumas, Thompson, Story and Usset. Nays: None. Absent: Volkenant. Abstain: None. Motion Approved 6-0.

4. **PUBLIC HEARING:** Jackson Striggow (Applicant/Owner) is requesting the following action for the property located at 5760 Drake Drive (PID No. 26-118-24-41-0009) in the City of Independence, MN:

- a. A variance for a reduced side yard setback to allow an addition to be constructed onto the existing home using the current side yard setback which is non-conforming with the requisite setback.

Setbacks did not mean applicable requirements. N side of Drake Dr, W of 83, zoned RR, guided RR, .7acres. Existing home and detached accessory structure. Existing home is closer to the property line. Because it was in place prior, it is a legal nonconforming structure. Applicant wants to add on the E side. It would be located 24.7ft from NE corner. Survey was provided for before and after. Front yard is less than 85 ft from center line – another nonconforming. Variance is from the East side yard setback. Standards for granting variances are difficulties not created by owner themselves. Character around is similar. Narrow house and it would be difficult to align stairways, hallways, etc. home plans were provided. Two story addition. City did receive an email from an adjacent property owner in support of the variance.

Gardner – this looks more like a lake lot. 30 ft doesn't leave much of a house.

Kaltsas – lot is 100ft in total width. Gardner – hard to not sympathize.

Open Public Hearing

Close Public Hearing

Thompson – jogging the house seems silly.

Story – easiest variances I've ever seen.

Motion by Thompson for the property at 5760 Drake Drive recommending approval of a sideyard Lot variance setback subject to the recommendations of staff #1-#5, seconded by Dumas 6-0

Ayes: Gardner, Tarse, Dumas, Thompson, Story and Usset. Nays: None. Absent: Volkenant.

Abstain: None. Motion Approved 6-0.

Kaltsas – will go to council on May 7th

5. **PUBLIC HEARING:** Mosiah Willis (Applicant) Jared Haley (Owner) is requesting the following action for the property located at 2485 Independence Rd. (PID No. 13-118-24-33-0001) in the City of Independence, MN:

- b. A conditional use permit to allow an accessory dwelling unit to be located within the existing detached accessory structure.

Gardner – not allowing him to use the space he could still build ADU with required sq.ft.

Kaltsas – yes. He meets 877sqft.

Dumas – if this was a storage room and we didn't have a size problem, it would probably be included in the ADU?

Kaltsas – we did make one change in the ordinance that says we wouldn't count mechanical, tornado shelter,

Story – 33% for ADU mostly in mind for new construction? It seems ill fitting to apply that to existing.

Thompson – did the applicant ever discuss variance?

Kaltsas – they were willing to take it out? Do you need a variance to do that?

Usset – that room should be a mechanical room or something else. Is this drawing, correct?

Kaltsas – its close but it's not right. We would have to redraw to get it accurate. These are interior measurements.

Open public hearing

Jared Haley (owner) – we didn't understand the ordinance. My little brother was going to live there. I live half in Puerto Rico but I'm moving back. I am trying to help my brother out to get him on his feet. He can help around the house while I am traveling. I can alter this in any way.

Thompson – in transition. It was my parents, and we are purchasing.

Jared Haley – previous renters were not right.

Thompson – is this a representation of what exists?

Kaltsas – this is a full gut and remove.

Jared Haley – toilet without door,

Kaltsas – what we approve would have to be permitted and inspected. Building was permitted, but finished inside was not done correctly.

Dumas – would it be possible to add a separate area and wall?

Kaltsas – their intent is 1 bedroom.

Jared Haley – we can redesign it and we wanted more direction first before we invest into the plans.

Thompson – we react or approve what is in front of us. You heard me mention a variance. Someone buying a property with an exist building and fills out additional 300 sq.ft.ADU that is permitted well, but a variance may be the way to go. I have a problem with saying these are the rules, are we going to follow up?

Jared Haley – it's one person so its plenty big so if we would like to fill it all

Kaltsas – that's the direction I was hoping to get here tonight.

Usset – in theory it would be better to

Jared Haley – his lease goes through Aug.

Kaltsas – it would come back one month from tonight. We can notice the variance piece.

Jared Haley – variance sounds like a much better solution.

Motion by Story, seconded by Thompson to table this item until May meeting, **Ayes: Gardner, Tearse, Dumas, Thompson, Story and Usset. Nays: None. Absent: Volkenant. Abstain: None.**
Motion Approved 6-0.

6. A text amendment to the City's zoning ordinance Chapter 5, Section 515, Solar energy systems.

- a. The City will consider an amendment that will look at possible allowing an increase in the maximum square footage of residential scale ground mounted solar energy systems. The current maximum is 500 square feet.

After last meeting we went back and looked at ways to accomplish solar. Came up with language based on our conversation. Keeping the GMS as a CUP that would require a CUP through city but providing parameters to grant an exception up to a max 2500sqft and establish additional criteria. Clearly capping at 2500. Provisions were larger than 5 acres+, 100 lineal feet, not visible, screening can be used. Written consent from 100% of surrounding owners.

Could make this optional or suggested criteria. Max size has to be set. 2500 is the max under residential size limitations. In lieu of pulling this out of the code. Leave all other criteria. You still need CUP limiting to 500 sq.ft.

Thompson – where is the 500 sq.ft. in the ordinance? What do you get on 2.5 acres?

Kaltsas – its H – I think in editing I struck.

Thompson – leave H in as is, and you get to K on top.

Kaltsas – 500 would go back in as H.

Dumas – 2.5 can go 30, but now it's 50. For 5 acres you can go bigger but bigger setbacks.

Kaltsas – we are limiting ground mounted; you can put as much as you want on the roof.

There are issues with GMS like looks, visibility. If someone has a half-acre front yard, they could put it there, if it wasn't visible.

Usset – I have mixed feelings on visible when you are getting to 300ft+.

Story – we can assess that.

Kaltsas –

Story – having neighbor feedback is a great indicator.

Thompson – publicly owned real estate. What do you mean there? Neighbor to city hall

Kaltsas – three rivers park district, out lot owned by association, railroad ROW, we wouldn't get an answer from them. Their ability to consent or not consent.

Thompson – I back up to Minnehaha watershed.

Kaltsas – you wouldn't have to get them to consent.

Thompson – why not?

Kaltsas – I had this the other way in here. So you wouldn't need their consent.

Thompson – does separated by a street undo #2?

Kaltsas – it doesn't undo the 500. We could clarify that.

Dumas – should 3 and 4 be an “or”? City could say its fully screened, but neighbors may be against.

Usset – I like 3 or 4.

Thompson – thinking of a recent case, no one could see it.

Kaltsas - I'm happy to clean it up and bring it back. I could bring it back. We have an application I think would come back.

Gardner – it's a reasonable shot

Kaltsas – this gives people some parameters to work with.

Dumas – can you do a “3a” totally screened or 100% neighbor approvals?

Kaltsas - want to lock 2500, 5 acres, 100 ft and 500ft. I would probably have the attorney make it clearer. The city will use the following criteria. If they don't meet the original requirements, I won't let them apply. They would have to go variance.

Thompson recommending approval changes of city's GMS with recommendations of staff min of 50 ft for 500 Sq. Ft section seconded by Story 6-0

7. Open/Misc.

Thompson

Clogged culvert on drake and 90 – east side of road.

5350 co rd 6 – 11 cars outdoor cars, 4 are in the wetland abutting my property. It is a continuing to grow issue.

8. Adjourn.

Motion by Story, seconded by Volkenant to adjourn at 8:44 PM

Ayes: Thompson, Tarse Dumas, , Gardner and Usset.

Nays: None. Absent: Volkenant

Abstain: None.

Motion Approved. 6-0

Respectfully Submitted,
Carrie Solien/Recording Secretary



CITY COUNCIL MEETING
MINUTES
TUESDAY APRIL 16, 2024

CITY COUNCIL MEETING TIME: 6:30 PM

1. Call to Order

Pursuant to due call and notice thereof, a regular meeting of the Independence City Council was called to order by Mayor Johnson at 6:30 p.m.

2. Pledge of Allegiance

Mayor Johnson led the group in the Pledge of Allegiance.

3. Roll Call

Present: Mayor Johnson, Councilors Spencer, Grotting, and Betts

Absent: McCoy

Staff: Kaltsas, Simon

Visitors: Sally Simpson and County Commissioner Kevin Anderson

4. ****Consent Agenda****

All items listed under Consent Agenda are considered to be routine by Council and will be acted on by one motion. There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- a. Approval of City Council Minutes from the April 2, 2024, LBAE Meeting.
- b. Approval of City Council Minutes from the April 2, 2024, Regular City Council Meeting.
- c. Approval of City Council Minutes from the April 11, 2024, City Council Workshop.
- d. Approval of Accounts Payable (Batch #1; Checks Numbered 22743-22767, Batch #2, Checks Numbered 22768-22779 and Batch #3, Checks Numbered 22780-22794).
- e. Large Assembly Permit:
 - i. Tour de Tonka – August 3, 2024

Move LBAE Meeting Minutes Approval to the minutes at the next meeting.

Motion by Spencer to approve consent agenda items b-e, seconded by Betts to approve the Consent Agenda. Ayes: Johnson, Betts, Spencer, Grotting and. Nays: None. Absent: McCoy Abstain: None.

MOTION DECLARED CARRIED. 4-0

5. Set Agenda – Anyone Not on the Agenda can be Placed Under Open/Misc.



6. Reports of Boards and Committees by Council and Staff.

Spencer attended the following meetings:

- Fire Dept Retirement of Nate Scott
- West Hennepin Public Safety Police Academy Graduation
- Workshop
- Board of Appeals
- Spent the morning with Public Works director driving around looking at current road conditions.
- Gravel roads workshop
- Hennepin County Cover Crops Workshop

Grotting attended the following meetings:

- Fire Dept. Retirement of Nate Scott
- West Hennepin Public Safety Police Academy Graduation
- Workshop
- Board of Appeal

Betts attended the following meetings:

- West Hennepin Public Safety Police Academy Graduation
- Workshop
- Board of Appeal

Johnson attended the following meetings:

- West Hennepin Public Safety Police Academy Graduation
- County in review at the Government Center
- Fire Dept. Retirement of Nate Scott
- Presented annual centennial plaque for the Ag Society Farm Bureau spring dinner to Doug & Mary Jo Ende
- Loretto Fire Breakfast
- Regional Council of Mayors
- Maple Plain Chamber Meeting
- NW League
- Workshop
- Ag presentation by Hennepin County Environmental Services
- Hwy 55 Corridor coalition
- Baxter MN Mayors Assoc
- Long Lake Fire Dept Breakfast

7. Hennepin County Commissioner Annual Council Visit – Commissioner Kevin Anderson.

County Commissioner serving District 7 Kevin Anderson – I show up as often as I can. I provide a lot of updates and try to be as transparent as possible. I try to give a yearly update to reintroduce myself and provide an update what is happening in the county and how it is impacting Independence.



District 7 – Public Works chair in Hennepin County, Vice chair of Law Safety Justice Committee, Health and Human Services committee and the vice chair housing and redevelopment. Served on several boards and several committees at the state level and federal level.

Representation of county budget – largest portion is health and human services – by far what we spend most time and energy on. Counties are responsible for funding the safety net for people in need.

Independence & Greenfield has 400 residents that receive Human Services Support. Needs exist in every community. It's harder in a rural setting because we don't have facilities out here. Solutions are online support and try to find innovative ways to help.

Johnson – what depts do you think these are under or are these people coming through other parts for energy services, etc.

Anderson – community action partnership, social services, food, rental assistance. Direct county services.

Johnson – if they are getting energy assistance, we would hear about that through Community Action.

Anderson – Yes. This year we had increase public safety budget for police, social workers, Public Works- we have had a lot of projects out here and maintenance. Where Independence sits in Hennepin County, the age and condition of roadways are warranting maintenance and reconstruction. We have several projects listed. CR 139 RR crossing replacement, culvert replacement 11 & 50, mill and overlay on Co Rd 83 in 2023. 2024 CSAH 19 road, chip and seal Co Rd 6, Rebecca Park trail mill & overlay, County Rd 19 pedestrian ramp.

Recently passed Complete and Green Streets policy – give us another tool to say when we are coming in to do the projects, what other improvements can we look at doing at the same time.

Johnson – in 2023 they did the major replacement along the river N of gun club. That was a major improvement due to the road washing out.

Supporting Youth in Independence – Between over \$700k we have seen.

Johnson – 2023 major replacement weren't we going to ask a question on our grant process?

Kaltsas – we were.

Anderson – grant process is moving through right now. We stopped our contract with MN Youth Sports League. We brought it to an internal person to process them at Hennepin County. Points system.

Kaltsas – we would like help on that and see how we can get the park grant through.

Anderson – reach out to my team to set it up.

Johnson – Kent Koch and I attended State of the County event. I was a little disappointed in that compared to what they had done in the past. When they did snip its, it was a broader presentation. It was a nice event, but it seemed things were missing.

Anderson – it would be nice to have district 7 to show up a little more.

Johnson – Jeff Lunde is holding a summit.

Anderson – HC is hosting a safe cities summit in coordination with cities united. It's designed to bring cities and law enforcement together to come up with solutions that we can implement at the local level.

Johnson – we seen about the County Sheriff suing the County of oversight with a former county sheriff?

Anderson – I can't talk about any of that since its pending litigation.

Grotting – if you looked at things critically, what is the one thing Hennepin County can do a better job at spending money or focusing on?



Anderson – I think one of the things I'd really like to evaluate is making sure the contracts with providers are going toward the goals we have stated we want them to go towards. I am often frustrated with is measurable goals that are clearly defined that we are working towards them. Work that happens in some of our community providers space and our trusted messenger programs – its great but I'm not sure what we are going to get out of that. We should be having county folks building relationships in Independence and Greenfield and western suburbs because there are a lot of people that don't have any trust in what Hennepin County is doing out here. We have a road project coming up, it will close off a road, there is an idea we can do it better. If we had Hennepin County staff, we could engage with the residents and communities to help make the impact less impactful.

Betts – like what the state did when they did US Hwy 12?

Anderson – that's part of it. We can't do it for every project. More avenues to solicit community feedback.

8. Consider Approval of Funds Transfer as Recommended to Close Out ARPA Funds.

- a) **RESOLUTION No. 24-0416-01** – Considering approval of the transfer of funds in accordance with the finance recommendations.

Kaltsas – as part of reporting requirements for ARPA funds, we have to report that those funds have been used and there are some deadlines for that. We have said those funds will be used for PS, ABDO said we should close that out and finalize report to Dept of Treasury. What do we want to do with that money since it's already been spent for WHPS. Instead of putting it into our general funds, we should put it into another account to usage for some of our projects. All money will remain in general funds but out of the unallocated. Building, road, Public Works equip and admin funds. There is \$90k we have earmarked for WHPS improvements. Amounts to move listed on resolution. We can change those amounts if anyone has any import. I put more into PW since we had some gaps for tandem axel.

Johnson – by doing this now, it is in the 2023 accounting process.

Kaltsas – it lets us report those funds are spent and no more regulation issues we have to worry about.

Spencer – this is allowable under American rescue plan?

Kaltsas – we already said WHPS in entirety. We got the money retroactive, now we have captured that money since we already made the payment.

Johnson - Road and bridge fund, they are designating \$25m as a guarantee. It may be increased

Motion by Betts to approve resolution No 24-0416-01 approving the transfer of funds in accordance with the finance recommendations, seconded by Grotting to approve the transfer of funds. Ayes: Johnson, Betts, Spencer, Grotting and. Nays: None. Absent:

McCoy Abstain: None.

MOTION DECLARED CARRIED. 4-0



9. Consider Approval of a Resolution Supporting Retention of Local Land Use and Zoning Control and Opposing the Middle Housing Bill.

a. **RESOLUTION No. 24-0416-02**

Johnson – the more support from the cities the better.

Kaltsas – the counties have no impact by it. It was at the municipal levels. The initial bill is dead for this year, but we can give it to our local legislators. It keeps coming back. It would be detrimental to cities like independence.

Johnson – they feel like there's one alive in the senate

Kaltsas – I changed a couple things but it's the model resolution.

Motion by Spencer to approve resolution No 24-0416-02 seconded by Betts to approve LMC Model resolution. Ayes: Johnson, Betts, Spencer, Grotting and. Nays: None.

Absent: McCoy Abstain: None.

MOTION DECLARED CARRIED. 4-0

10. Open/Misc.

Sally Simpson – Copeland Rd, it's been a long time between communications and wanting to know when we can count on some feedback. Almost a year ago I sent my letter to the city. Today we don't have any feedback. I have not talked to everyone in the room, but we want to hear the data. What did the traffic data show, what are solutions for short or long run? Residents on Copeland are not united in saying we all want asphalt, or we all don't.

Johnson – we had a work session last Thursday.

Kaltsas – we presented a bunch of different info relating to all gravel roads across the city. Since Copeland residents met, the council asked to broaden to all gravel roads that are in similar issues. City engineer, PW, council, inventoried the roads, and put together documentation of the issues we identified. WE have been working on a capital gravel road plan – 10 year maybe? How do we fund this? Bond for it – issue debt or try to accommodate through PW budget. We are coming back to council based on direction within the next 30-35 days for options to support funding. We are talking about doing an initial project for highest prioritized roads (larger project) to issue debt and balance that with annual budget specific to gravel roads to help accomplish all roads within 10 years and without assessments to property owners. Our intent is to create the plan and bring it back to the residents. Copeland rd is unique for the issues. We have put together a plan for Copeland. Paving of Copeland was not agreed to or consensus, but some wanted to pay. WE have been maintaining roads for years instead of replenishing the gravel on the roads. More traffic.

Simpson – when I read the minutes, I will have something I can share with the residents.

Kaltsas – I can share more breakdown too, but we have identified about \$4-5m of work that needs to be done on the roads. All of that came from the Copeland rd group. We don't want to put a bandage on Copeland Rd, we want to do it right. We are trying to work this into our budget for 2025 since the budget was already established.

Johnson – Copeland is one of the top priority roads.

Kaltsas – we did unofficial roads and put a counter on it. We took counts and can show you what those are too.

Simpson – I will share the info and let's keep going



11. Adjourn.

Motion by Spencer to adjourn, seconded by Grotting to adjourn at 7:23pm. Ayes: Johnson, Betts, Spencer, Grotting and. Nays: None. Absent: McCoy Abstain: None. MOTION DECLARED CARRIED. 4-0

Respectfully Submitted,

Carrie Solien/Recording Secretary

■City of Independence

Request for a Conditional Use Permit and Variance to Allow an Accessory Dwelling Unit to be Located Within the Existing Accessory Structure on the Property Located at 2485 Independence Road

<i>To:</i>	City Council
<i>From:</i>	Mark Kaltsas, City Planner
<i>Meeting Date:</i>	May 21, 2024
<i>Applicant:</i>	Mosiah Willis
<i>Owner:</i>	Jared Haley
<i>Location:</i>	2485 Independence Road

Request:

Mosiah Willis (Applicant) and Jared Haley (Owner) is requesting the following action for the property located at 2485 Independence Rd. (PID No. 13-118-24-33-0001) in the City of Independence, MN:

- a. A variance to allow the existing detached accessory structure to be used as an accessory dwelling unit which will exceeds the maximum size of an accessory dwelling unit permitted; and
- b. A conditional use permit to allow an accessory dwelling unit to be located in the existing detached accessory structure.

Property/Site Information:

The property is located on the west side of Independence Road and north of Pagenkopf Road. The property is mostly wooded with some wetlands to the east and west. The property has an existing home and two detached accessory buildings.

Property Information: **2485 Independence Road**

Zoning: *Agriculture*

Comprehensive Plan: *RR-Rural Residential*

Acreage: *15 acres*

2485 Independence Road - Aerial



Discussion:

The applicant is seeking a conditional use permit to allow an accessory dwelling unit (ADU) inside of a portion of the most westerly existing detached accessory structure on the property. The upper floor (the

structure has a finished upper level and garage and storage on the lower level) of the existing detached accessory structure had previously been converted into finished space without obtaining the requisite permits for its conversion. The applicant approached the city about the possibility of using the upper floor of the structure for the purpose of housing an adult family member on the subject property. The city discussed the conversion of the existing space and reviewed the requirements relating to ADU's with the applicant. It was noted that the existing square footage of the upper floor exceeds the allowable square footage for an accessory dwelling unit based on the square footage of the existing principal structure on the property.

The applicant proposed to only finish a portion of the upper floor of the existing structure and leave a portion as unfinished space (finish 877 SF of the total 1,232 SF). The remaining space was proposed to be used for "storage". The city reviewed the application at the April 16, 2024, Planning Commission Meeting and discussed the requested ADU. Commissioners noted that the unfinished space would be difficult for the city to administer and created a generally unusable area within the structure. Commissioners recommended that in this instance, a variance to allow an ADU that exceeded the allowable SF may be a more reasonable solution.

Accessory dwelling units are a conditional use within the AG-Agriculture zoning district. In order to allow an accessory dwelling unit, the applicant will need to demonstrate how they meet all applicable criteria for granting a conditional use permit and also the criteria for granting a variance. The City has criteria broadly relating to Conditional Use Permits and then more focused criteria relating specifically to accessory dwelling units.

An accessory dwelling unit must meet the following criteria:

Subd. 2. "Accessory Dwelling Unit." A secondary dwelling unit that is:

- (a) Physically attached to or within a single-family dwelling unit or within a detached^a accessory building that has a principal structure on the parcel; and*

The applicant is proposing to use the accessory dwelling unit located within the existing detached accessory structure.

- (b) Subordinate in size to the single-family dwelling unit; and*

The proposed accessory dwelling unit would be subordinate in size to the single-family dwelling unit. The existing structure is a two-story structure with a storage space on the first (lower) level.

- (c) Fully separated from the single-family dwelling unit by means of a wall or floor, with or without a door; and*

The proposed accessory dwelling unit would be separated from the single-family home.

- (d) Architecturally compatible with the principal structure (using materials, finishes, style and colors similar to the principal structure); and*

The proposed accessory structure is existing and appears to be generally similar to the principal home on the property.

- (e) *The lesser of 33% of the above ground living area of the principal structure or 1,200 square feet, and no less than 400 square feet; and*

The principal structure has ~2,658 square feet of above ground space not including the basement (1,727 SF main floor, 958 SF upper floor). 33% of 2,658 square feet equals 877 square feet. The existing detached accessory structure is 44 x 28 feet (outside dimensions) or 1,232 SF. The applicant is proposing that the accessory dwelling unit would be constructed on the upper floor and would be 1,232 SF. Staff has reviewed the plans and notes that the proposed SF exceeds the permitted 877 SF; however, the applicant is seeking a variance to allow the additional square footage.

- (f) *Not in excess of the maximum square footage for accessory structures as permitted in this code; and*

There is not a limitation on the total amount of accessory structure square footage for properties zoned Agriculture and greater than 10 acres. The maximum size for any individual accessory structure is 5,000 SF. The existing building is approximately 1,232 SF (28 x 44) and therefore would comply with applicable standards.

- (g) *Has permanent provisions for cooking, living and sanitation; and*

The existing structure has permanent provisions for cooking; living and sanitation (see attached depiction).

- (h) *Has no more than 2 bedrooms; and*

The existing structure has one bedroom within the accessory dwelling unit.

- (i) *Limited to relatives of the homesteaded owner occupants or the homesteaded owners of the principal structure. The total number of individuals that reside in both the principal dwelling unit and accessory dwelling unit may not exceed the number that is allowed by the building code; and*

The applicant is proposing that the accessory dwelling unit be occupied solely by family members.

- (j) *Uses the existing on-site septic system^b or an approved holding tank; and*

The applicant would need to confirm septic compliance for the existing structure.

- (k) *Respectful of the future subdivision of the property and the primary and secondary septic sites. The City may require a sketch of the proposed future subdivision of a property; and*

The detached accessory building is a conforming structure that is currently in existence.

(l) In compliance with the adopted building code relating to all aspects of the dwelling unit.

The proposed accessory structure will meet all applicable building codes and may be required to obtain requisite after-the-fact permits.

^a On lots less than 2.5 acres, the accessory dwelling unit must be attached to the principal dwelling unit or located/constructed within an existing detached accessory structure that meets all criteria of this section.

^b The existing on-site septic system will be required to be inspected by the City to ensure compliance with all applicable standards. Any system that does not meet all applicable standards shall be brought into compliance as a part of the approval of the accessory dwelling unit.

The location of the existing accessory building and its proximity to the surrounding properties helps to mitigate potential impacts of allowing a portion of the structure to be used as an accessory dwelling unit. The surrounding properties have limited visibility and or site lines to the existing property due to the large wetland surrounding the property and Lake Independence to the east. The City will need to confirm that the accessory dwelling unit meets all applicable building codes and building regulations. The applicant will be required to apply for and receive all applicable and requisite building permits/after-the-fact permits.

In addition to the requirements for allowing an accessory dwelling unit, the City has additional criteria which need to be considered for granting a conditional use permit.

The criteria for granting a conditional use permit are clearly delineated in the City's Zoning Ordinance (Section 520.11 subd. 1, a-i) as follows:

1. The conditional use will not adversely affect the health, safety, morals and general welfare of occupants of surrounding lands.
2. The proposed use will not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity for the proposes already permitted or on the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.
3. Existing roads and proposed access roads will be adequate to accommodate anticipated traffic.
4. Sufficient off-street parking and loading space will be provided to serve the proposed use.
5. The proposed conditional use can be adequately serviced by public utilities or on-site sewage treatment, and sufficient area of suitable soils for on-site sewage treatment is available to protect the city form pollution hazards.
6. The proposal includes adequate provision for protection of natural drainage systems, natural topography, tree growth, water courses, wetlands, historic sites and similar ecological and environmental features.
7. The proposal includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance.

8. The proposed condition use is consistent with the comprehensive plan of the City of Independence.
9. The proposed use will not stimulate growth incompatible with prevailing density standards.

The applicant is seeking a variance in addition to the CUP. The City's ordinance has established criteria for consideration in granting a variance.

520.21. Standards for granting variances. Subdivision 1. The City Council may grant a variance from the terms of this zoning code, including restrictions placed on nonconformities, in cases where: 1) the variance is in harmony with the general purposes and intent of this zoning code; 2) the variance is consistent with the comprehensive plan; and 3) the applicant establishes that there are practical difficulties in complying with the zoning code (Amended, Ord. 2011-08)

Subd. 2. An applicant for a variance must demonstrate that there are practical difficulties in complying with the zoning code. For such purposes, "practical difficulties" means:

- (a) The property owner proposes to use the property in a reasonable manner not permitted by the zoning code;*
- (b) the plight of the property owner is due to circumstances unique to the property not created by the landowner;*
- (c) the variance, if granted, will not alter the essential character of the locality.*

Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems. (Amended, Ord. 2011-08)

Subd. 3. The City Council shall not grant a variance to permit a use that is not allowed under the zoning code based on the zoning classification of the affected property. (Amended, Ord. 2011-08)

520.23. Conditions and restrictions. The board of adjustments may recommend, and the City Council may impose conditions on a variance. Conditions must be directly related to and must bear a rough proportionality to the impact created by the variance. (Amended, Ord. 2011-08)

Consideration of the criteria for granting a variance:

- a. Residential use of the property is consistent allowable uses within the AG-Agriculture Zoning District.
- b. The applicant is applying for a CUP to allow and accessory dwelling unit within the existing detached accessory building. The proposed ADU would meet all other applicable requirements of the CUP criteria. The existing building was legally constructed on the property and could be used for living space without a kitchen and bedrooms.
- c. The character of the surrounding area is residential. The detached accessory building is existing and generally consistent with other properties in the area that also have detached accessory

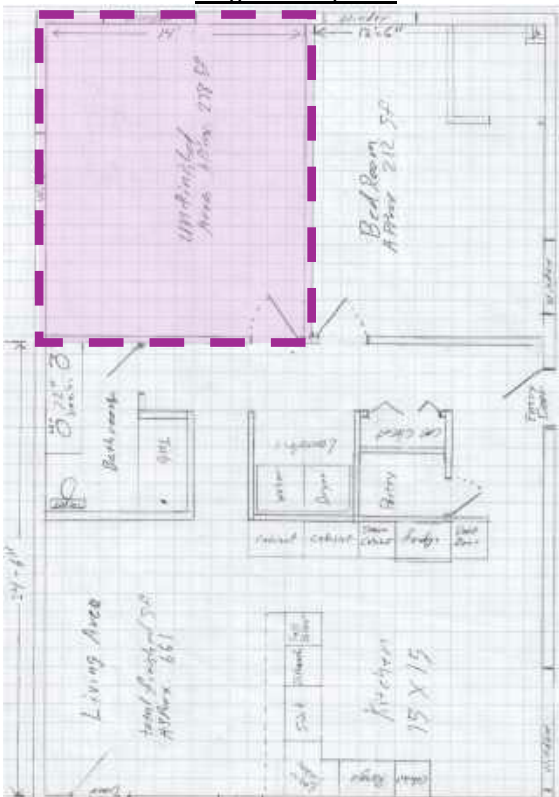
structures. There are no proposed changes to the exterior dimensions or character of the existing building.

Consideration for the proposed conditional use permit and associated variance should weigh the impact of having an accessory dwelling unit located on this property. The location of the proposed accessory dwelling unit and its compliance with all applicable setbacks appears to mitigate most potential impacts resulting from the use of the existing detached structure as an accessory dwelling unit. The City will need to consider if the accessory dwelling unit meets the requirements and criteria for granting a conditional use permit and variance.

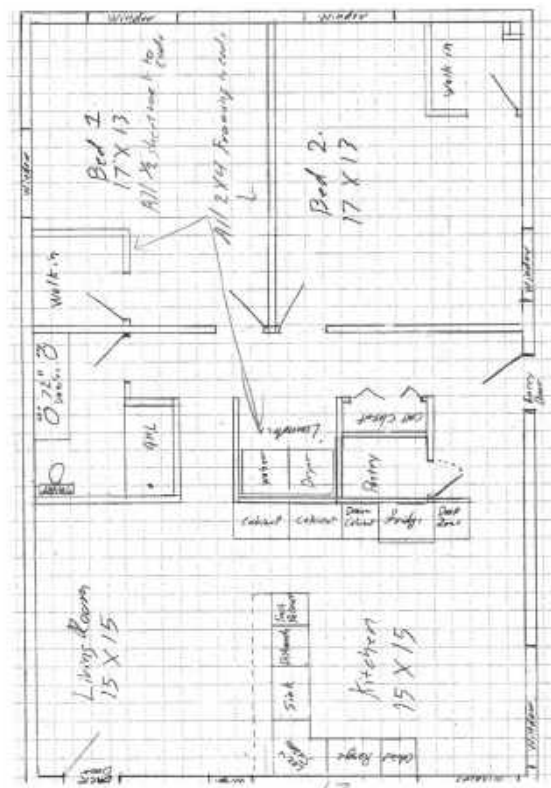
The Planning Commission should consider the following issues as noted:

- The applicant is proposing to locate an ADU within the existing detached accessory structure. The size of the detached accessory structure is larger than the allowable square footage for an ADU on this property. The applicant could meet the allowable ADU square footage by limiting the “finished space” within the ADU. The remaining space does not have a secondary access and could easily be converted into additional ADU space and or blurs the line between the proposed storage and finished ADU.

Original Proposal



Alternative Proposal w/ Variance



- Should the Planning Commission consider an approval recommendation, the following conditions should be included:

- The Conditional Use Permit will be subject to the applicant successfully obtaining and completing a building permit for all applicable improvements already made to the dwelling unit that were not previously approved by the City, and all new improvements.
- The proposed ADU space and corresponding detached accessory structure cannot be expanded or enlarged without the review and approval of the City. Any expansion will require an amendment to the conditional use permit following all applicable procedures.

Neighbor Comments:

The City has not received any comments.

Recommendation:

The Planning Commission is being asked to provide direction to the City Council relating to the requested CUP and Variance. Should the Planning Commission recommend approval of the requested actions, the following findings and conditions should be included:

1. The proposed Conditional Use Permit and variance meets all applicable conditions and restrictions stated in Chapter V, Section 510, Zoning, and Section 520.19, Procedures on variances, in the City of Independence Zoning Ordinance.
2. The City finds that the criteria for granting a variance have been satisfied by the applicant. Specifically, the City finds the following:
 - a. Residential use of the property is consistent with the AG-Agriculture District. The applicant is seeking a variance to allow an ADU to be located within the existing detached accessory structure on the property.
 - b. The location of the existing detached accessory structure aids in mitigating many of the potential impacts resulting from the use of the existing detached accessory structure as an ADU.
 - c. The character of the surrounding area is rural residential/agriculture. The proposed use of the existing accessory structure as an ADU would be in keeping and consistent with the surrounding uses found in this portion of the city.
3. The variance will permit the proposed ADU to be constructed in accordance with the approved plans attached hereto as Exhibit A. The maximum square footage of the ADU shall be 1,232 SF which represents a 355 SF variance. Any modification, alterations or expansion of the existing structure and corresponding ADU will require additional review and approval in the form of a conditional use permit amendment.
 1. The conditional use permit is to allow an accessory dwelling unit to be located within the existing accessory structure on the property. The criteria for permitting an accessory dwelling unit shall be perpetually satisfied by the owner of the property. Any change in the use of the accessory dwelling

not in compliance with the applicable criteria for the accessory dwelling unit will cause the conditional use permit to be revoked by the City.

2. The conditional use permit will be issued subject to the following items being completed:
 - The Conditional Use Permit will be subject to the applicant successfully obtaining and completing a building permit for all applicable improvements already made to the dwelling unit that were not previously approved by the City and all new improvements.
3. The Applicant shall pay for all costs associated with the City's review of the requested conditional use permit and variance.

Attachments:

1. Application
2. Interior and Exterior Pictures
3. Site Survey
4. Proposed Accessory Dwelling Unit Floor Plan

SITE PICTURES





**CITY OF
INDEPENDENCE
MINNESOTA**

Date Submitted: 01-31-2024

Applicant Information

Name: Mosiah Willis

Address: 2485 Independence RD
Independence , Minnesota 55359

Primary Phone: 6127080871

Email: Willisbrothersconstruction@gmail.com

Owner Information

Name: Jared Haley

Address: 2485 Independence RD
Independence ,
Minnesota 55359

Primary Phone: 7634391410

Email: jaredh@c-axis.com

Property Address:

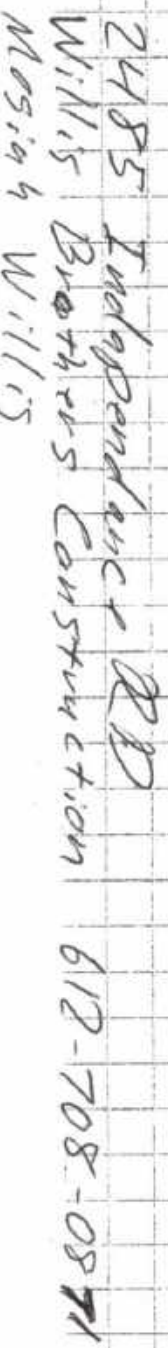
PID:

Planning Application Type: Accessory Building Review

Description:

Supporting Documents: Construction Plans

Signature:



■City of Independence

***Request for a Conditional Use Permit to Allow an Accessory Dwelling Unit to be
Located Within the Proposed Principal Structure
on the Property Located at 3585 William Way***

<i>To:</i>	Planning Commission
<i>From:</i>	Mark Kaltsas, City Planner
<i>Meeting Date:</i>	May 21, 2024
<i>Applicant:</i>	Nathan Mendiola
<i>Owner:</i>	Pam and Andy Krominga
<i>Location:</i>	3585 William Way

Request:

Nathan Mendiola (Applicant) and Pam and Andy Krominga (Owners) are requesting the following action for the property located at 3585 William Way (PID No. 11-118-24-42-0004) in the City of Independence, MN.

- a. A conditional use permit to allow an accessory dwelling unit to be located within the proposed new home.

Property/Site Information:

The property is located within the new Koch Farm Sanctuary Development on the west side of Independence Road and north of Pagenkopf Road.

Property Information: **3585 William Way**
Zoning: *RR-Rural Residential*
Comprehensive Plan: *RR-Rural Residential*
Acreage: 2.17 acres



Discussion:

The applicant is proposing to construct a new home within the Koch Farm Sanctuary Development. As a part of the new home construction, the applicant is seeking a conditional use permit to allow an accessory dwelling unit (ADU) inside of a portion of the proposed principal structure. The proposed ADU would be for a family member of the owners. The city discussed the request and noted that the attached ADU is possible but would require a conditional use permit. The applicant is proposing to construct a 726 SF ADU on the first floor of the proposed home. The ADU would be located behind the garage and would connect internally to the principal home via an internal doorway.

Accessory dwelling units are a conditional use within the RR-Rural Residential zoning district. In order to allow an accessory dwelling unit, the applicant will need to demonstrate how they meet all applicable criteria for granting a conditional use permit. The City has criteria broadly relating to Conditional Use Permits and then more focused criteria relating specifically to accessory dwelling units.

An accessory dwelling unit must meet the following criteria:

Subd. 2. "Accessory Dwelling Unit." A secondary dwelling unit that is:

- (a) *Physically attached to or within a single-family dwelling unit or within a detached^a accessory building that has a principal structure on the parcel; and*

The proposed ADU is attached to/within the principal structure.

- (b) *Subordinate in size to the single-family dwelling unit; and*

The proposed accessory dwelling unit would be subordinate in size to the single-family dwelling unit. The new home is a two-story structure and the proposed ADU meets applicable size requirements.

- (c) *Fully separated from the single-family dwelling unit by means of a wall or floor, with or without a door; and*

The proposed accessory dwelling unit would be separated from the single-family home by a wall and doors.

- (d) *Architecturally compatible with the principal structure (using materials, finishes, style and colors similar to the principal structure); and*

The proposed ADU is attached to/within the principal structure and fully compatible.

- (e) *The lesser of 33% of the above ground living area of the principal structure or 1,200 square feet, and no less than 400 square feet; and*

The principal structure has ~4,455 square feet of above ground space not including the basement and proposed ADU. 33% of 4,455 square feet equals 1,470 square feet. The

applicant is proposing that the accessory dwelling unit would be 726 SF which is less than the maximum permitted and therefore meets applicable requirements.

- (f) *Not in excess of the maximum square footage for accessory structures as permitted in this code; and*

The proposed ADU is attached to/within the principal structure.

- (g) *Has permanent provisions for cooking, living and sanitation; and*

The proposed ADU has permanent provisions for cooking; living and sanitation (see attached depiction).

- (h) *Has no more than 2 bedrooms; and*

The proposed ADU has one bedroom within the accessory dwelling unit.

- (i) *Limited to relatives of the homesteaded owner occupants or the homesteaded owners of the principal structure. The total number of individuals that reside in both the principal dwelling unit and accessory dwelling unit may not exceed the number that is allowed by the building code; and*

The applicant is proposing that the accessory dwelling unit be occupied solely by family members.

- (j) *Uses the existing on-site septic system^b or an approved holding tank; and*

The applicant has confirmed septic compliance for the proposed home and ADU.

- (k) *Respectful of the future subdivision of the property and the primary and secondary septic sites. The City may require a sketch of the proposed future subdivision of a property; and*

The proposed ADU is attached to/within the principal structure.

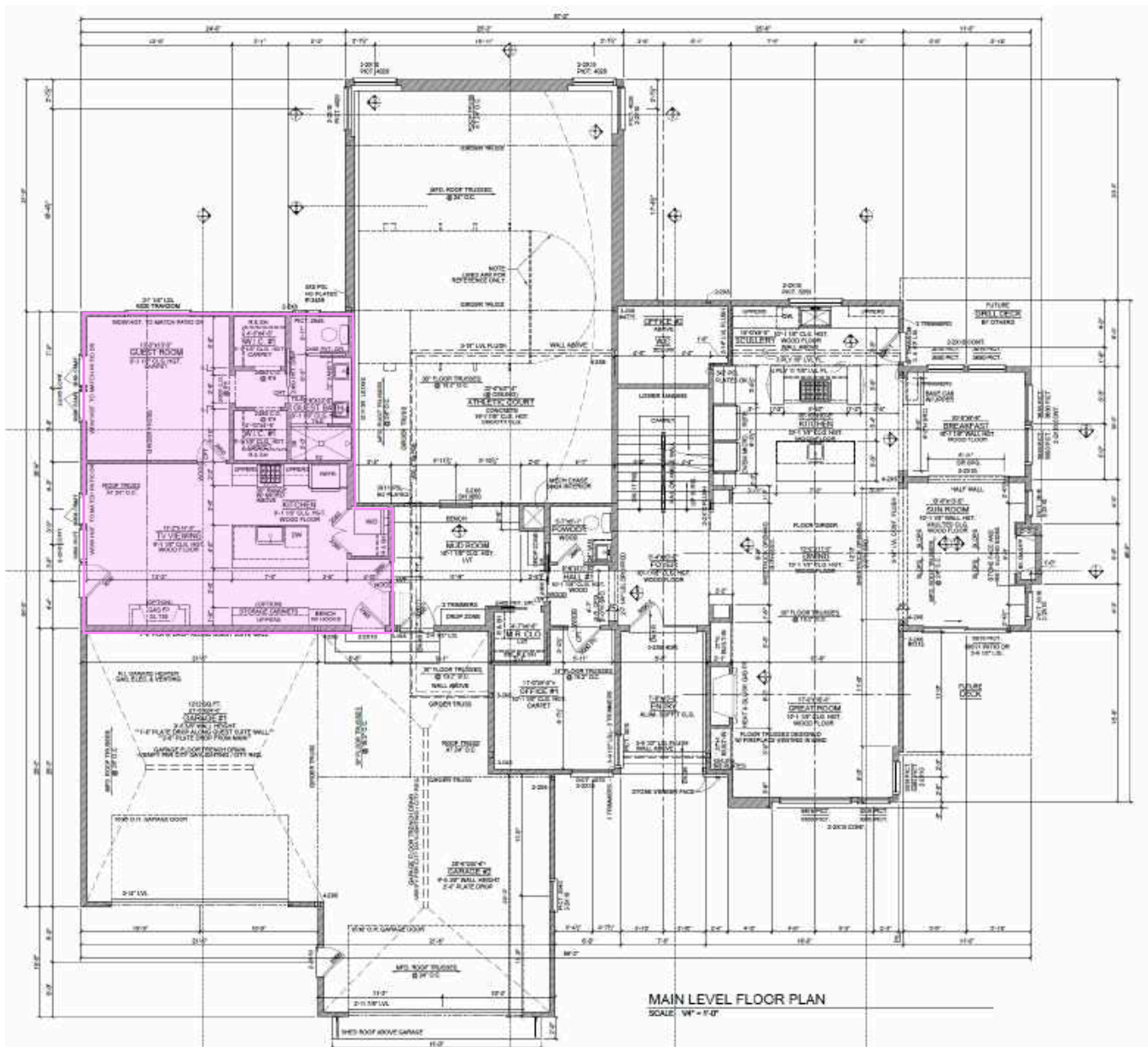
- (l) *In compliance with the adopted building code relating to all aspects of the dwelling unit.*

The proposed accessory structure will meet all applicable building codes.

^a *On lots less than 2.5 acres, the accessory dwelling unit must be attached to the principal dwelling unit or located/constructed within an existing detached accessory structure that meets all criteria of this section.*

^b *The existing on-site septic system will be required to be inspected by the City to ensure compliance with all applicable standards. Any system that does not meet all applicable standards shall be brought into compliance as a part of the approval of the accessory dwelling unit.*

The applicant is proposing to integrate the ADU into the proposed new home so that it is wholly contained within the structure within no external distinction or identifiable components. The resulting architecture, appearance from surrounding properties and general use would be consistent with a residential property.



In addition to the requirements for allowing an accessory dwelling unit, the City has additional criteria which need to be considered for granting a conditional use permit.

The criteria for granting a conditional use permit are clearly delineated in the City's Zoning Ordinance (Section 520.11 subd. 1, a-i) as follows:

1. The conditional use will not adversely affect the health, safety, morals and general welfare of occupants of surrounding lands.
2. The proposed use will not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity for the proposes already permitted or on the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.
3. Existing roads and proposed access roads will be adequate to accommodate anticipated traffic.
4. Sufficient off-street parking and loading space will be provided to serve the proposed use.
5. The proposed conditional use can be adequately serviced by public utilities or on-site sewage treatment, and sufficient area of suitable soils for on-site sewage treatment is available to protect the city form pollution hazards.
6. The proposal includes adequate provision for protection of natural drainage systems, natural topography, tree growth, water courses, wetlands, historic sites and similar ecological and environmental features.
7. The proposal includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance.
8. The proposed condition use is consistent with the comprehensive plan of the City of Independence.
9. The proposed use will not stimulate growth incompatible with prevailing density standards.

Consideration for the proposed conditional use permit and associated variance should weigh the impact of having an accessory dwelling unit located within the proposed principal home. The location of the proposed accessory dwelling unit within the structure and its full integration with architecture, interior and exterior layout appear to mitigate potential impacts resulting from the proposed ADU. The City will need to consider if the accessory dwelling unit meets the requirements and criteria for granting a conditional use permit.

- Should the Planning Commission consider an approval recommendation, the following conditions should be included:
 - The Conditional Use Permit will be subject to the applicant successfully obtaining and completing a building permit for all applicable improvements.
 - The proposed ADU cannot be expanded or enlarged without the review and approval of the City. Any expansion of the ADU will require an amendment to the conditional use permit following all applicable procedures.

Neighbor Comments:

The City has not received any comments.

Recommendation:

The Planning Commission is being asked to provide direction to the City Council relating to the requested CUP. Should the Planning Commission recommend approval of the requested action, the following findings and conditions should be included:

1. The proposed Conditional Use Permit meets all applicable conditions and restrictions stated in Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. The conditional use permit will be issued subject to the following items being completed:
 - The Conditional Use Permit will be subject to the applicant successfully obtaining and completing a building permit for all applicable improvements.
 - The proposed ADU cannot be expanded or enlarged without the review and approval of the City. Any expansion of the ADU will require an amendment to the conditional use permit following all applicable procedures.
3. The Applicant shall pay for all costs associated with the City's review of the requested conditional use permit.

Attachments:

1. Application
2. Site Survey
3. Proposed Plans and Elevations for Principal Structure and ADU



**CITY OF
INDEPENDENCE
MINNESOTA**

Date Submitted: 03-21-2024

Applicant Information

Name: Nathan Mendiola

Address: 1000 Boone Ave N. Suite 400
Golden Valley, Minnesota
55427

Primary Phone: 9522328003

Email: nmendiola@gonyeahomes.com

Owner Information

Name: Pam & Andy Krominga

Address: 1000 Boone Ave N. Suite 400
Golden Valley, Minnesota
55427

Primary Phone: 9522328003

Email: nmendiola@gonyeahomes.com

Property Address:

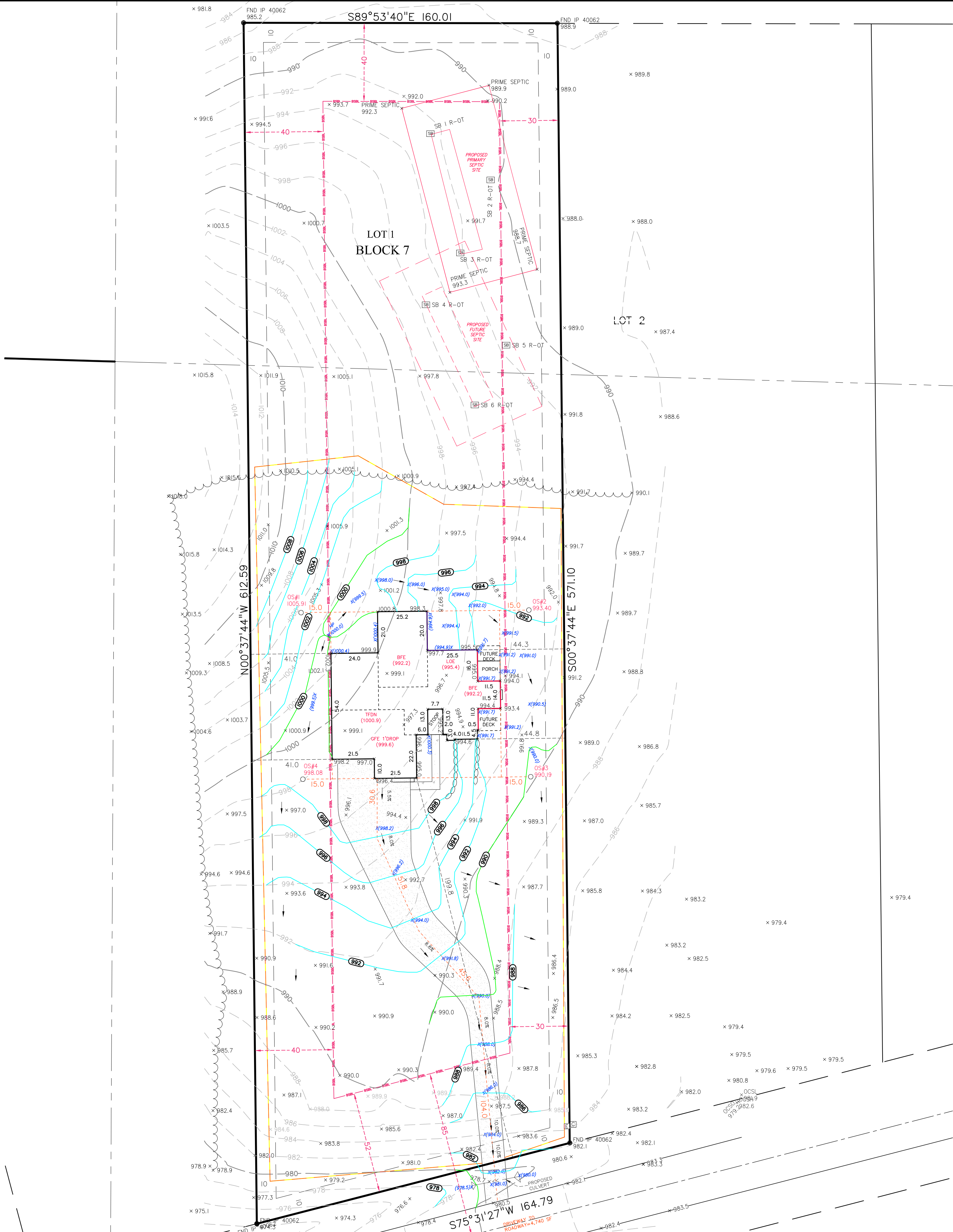
PID:

Planning Application Type: Conditional Use Permit

Description:

Supporting Documents: Site Survey (Proposed Conditions), Preliminary/Final Plan

Signature:



DESCRIPTION OF PROPERTY SURVEYED

Lot 1, Block 7, KOCH FARM SANCTUARY, according to the recorded plat thereof, Hennepin County, Minnesota.

STANDARD NOTES

Site Address: 3585 William Way, Independence, Minnesota, 55328

- 1) A title opinion was not furnished to the surveyor as part of this survey. Only easements per the recorded plat are shown unless otherwise denoted hereon.
- 2) **Parcel Area Information:** Gross Area: 94,693 s.f. ~ 2.17 acres
*We do not affirmatively insure the quantity of acreage set forth in the description

- 3) **Principal Structure Setbacks -** Street(s): 85 feet From Center Line of the Road
Side: 30 feet
Rear: 40 feet

*Please note that the zoning information shown hereon may have been amended through a city process. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site. All setback information and hardcover data for planning and design must be verified by all parties involved in the design and planning process prior to any planning or construction.

We have not received the current zoning classification and building setback requirements from the insurer.

- 4) **Utilities:** We have shown the location of utilities on the surveyed property by observed evidence only. There may be underground utilities encumbering the subject property we are unaware. Please note that we have not placed a Gopher State One Call for this survey. There may or may not be underground utilities in the mapped area, therefore extreme caution must be exercised before any excavation takes place on or near this site. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651/454-0002.
- 5) Grading must maintain a minimum 2% slope gradient to accommodate positive drainage.
- 6) All set offset irons are measured to hundredths of a foot and can be used as benchmarks for construction.
- 7) The proposed driveway shown is conceptual only and does not purport to show exactly how the driveway shall be built.
- 8) Proposed grades shown adjacent to building foundation refers to top of black dirt.
- 9) Verify sanitary service invert prior to any concrete work.

Proposed Elevations

Proposed Garage Floor Elevation = 999.6 (1'DROP)
Proposed Top of Foundation Elevation = 1000.9
Proposed Basement Floor Elevation = 992.2

Hardcover

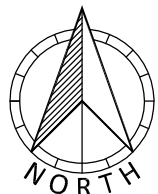
Lot Area = 94,693 S.F.
House Area = 4,522 S.F.
Driveway Area = 4,498 S.F.
Stoop Area = 100 S.F.
Front Walk Area = 156 S.F.
Porch Area = 118 S.F.
Future Deck Area = 90 S.F.
Future Deck Area = 130 S.F.
Total Area = 9,614 S.F.
Coverage = 10.2%

Offset Irons
(elevations are to the top of pipe)
OS #1= 1005.91 OS #2= 993.40
OS #4= 998.08 OS #3= 990.19

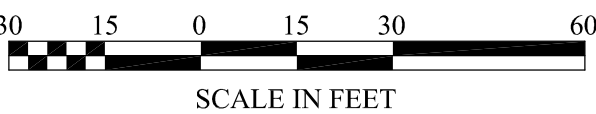
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 5th day of March, 2024.

Daniel L. Schmidt, PLS
schmidt@sathre.com
Minnesota License No. 26147



Bearings are based on the Hennepin County Coordinate System (NAD 83 - 1986 adj.)



SURVEY LEGEND

● CAST IRON MONUMENT	⊕ PIEZOMETER	WOE WALKOUT ELEVATION
○ IRON PIPE MONUMENT SET	⌵ POWER POLE	FFE FIRST FLOOR ELEVATION
● IRON PIPE MONUMENT FOUND	⌵ GUY WIRE	GFE GARAGE FLOOR ELEVATION
✕ DRILL HOLE FOUND	⊞ ROOF DRAIN	TOF TOP OF FOUNDATION ELEV.
✕ CHISELED "X" MONUMENT SET	⊞ LIFT STATION	LOE LOWEST OPENING ELEV.
✕ CHISELED "X" MONUMENT FOUND	⊞ SANITARY MANHOLE	CONCRETE
✕ REBAR MONUMENT FOUND	⊞ SANITARY CLEANOUT	BITUMINOUS
✕ PK NAIL MONUMENT SET	⊞ STORM MANHOLE	BUILDING SETBACK LINE
▲ PK NAIL MONUMENT FOUND	⊞ STORM DRAIN	CABLE TV
○ PK NAIL W/ ALUMINUM DISC	⊞ CATCH BASIN	CONCRETE CURB
△ SURVEY CONTROL POINT	⊞ FLARED END SECTION	CONTOUR EXISTING
⊞ A/C UNIT	⊞ TREE DECIDUOUS	CONTOUR PROPOSED
⊞ CABLE TV PEDESTAL	⊞ TREE CONIFEROUS	GUARD RAIL
⊞ ELECTRIC TRANSFORMER	⊞ TREE CONIFEROUS REMOVED	DT DRAIN TILE
⊞ ELECTRIC MANHOLE	⊞ TREE DECIDUOUS REMOVED	ELECTRIC UNDERGROUND
⊞ ELECTRIC METER	⊞ TELEPHONE MANHOLE	FENCE
⊞ ELECTRIC OUTLET	⊞ TELEPHONE PEDESTAL	FO FIBER OPTIC UNDERGROUND
⊞ FIBER OPTIC MANHOLE	⊞ UTILITY MANHOLE	GAS GAS UNDERGROUND
⊞ FIRE DEPT. HOOK UP	⊞ UTILITY PEDESTAL	OHU OVERHEAD UTILITY
⊞ FLAG POLE	⊞ UTILITY VAULT	TREE LINE
⊞ FUEL PUMP	⊞ WATERMAIN MANHOLE	SANITARY SEWER
⊞ FUEL TANK	⊞ WATER METER	STORM SEWER
⊞ PROPANE TANK	⊞ WATER SPIGOT	TELEPHONE UNDERGROUND
⊞ GAS METER	⊞ WELL	RETAINING WALL
⊞ GAS VALVE	⊞ MONITORING WELL	UTILITY UNDERGROUND
⊞ GAS MANHOLE	⊞ CURB STOP	WATERMAIN
⊞ IRRIGATION VALVE	⊞ GATE VALVE	TRAFFIC SIGNAL
⊞ POST INDICATOR VALVE	⊞ HYDRANT	RAILROAD TRACKS
⊞ SIGN	⊞ RAILROAD SWITCH	RAILROAD SIGNAL
⊞ SOIL BORING	⊞ SATELLITE DISH	WETLAND BUFFER SIGN

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FIELD CREW	NO.	BY	DATE	REVISION	
				NO.	DATE
DR	1	BRV	03/14/24		
DRAWN					HOUSE STAKED 03/14/24
BRV					
CHECKED					
DLS					
DATE					

03/04/24

CERTIFICATE OF SURVEY

PREPARED FOR:

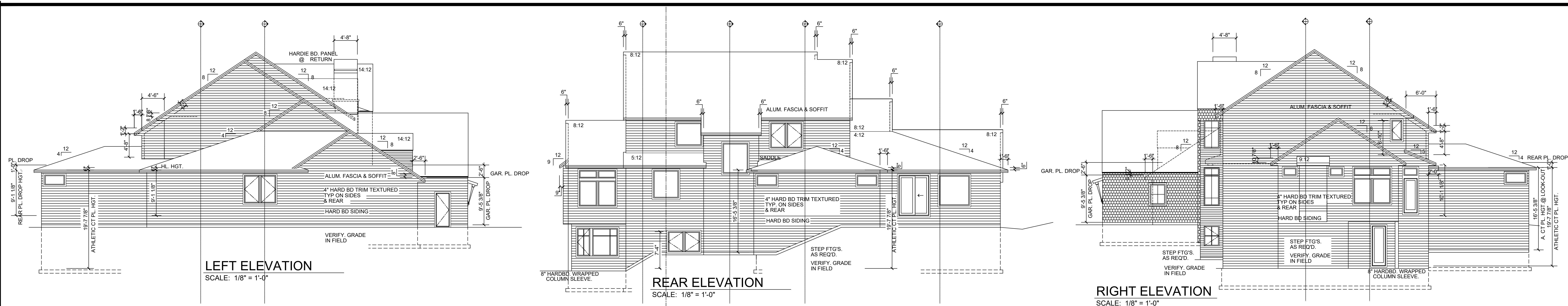
GONYEA HOMES

SATHRE-BERGQUIST, INC.
14000 25TH AVENUE NORTH, SUITE 120
PLYMOUTH MN 55447 (952) 476-6000
WWW.SATHRE.COM

ENGINEERS
SURVEYORS
PLANNERS

TWP.118 - RGE.24 - SEC.11
Project City: Independence
Hennepin County
FILE NO.: 31202-988

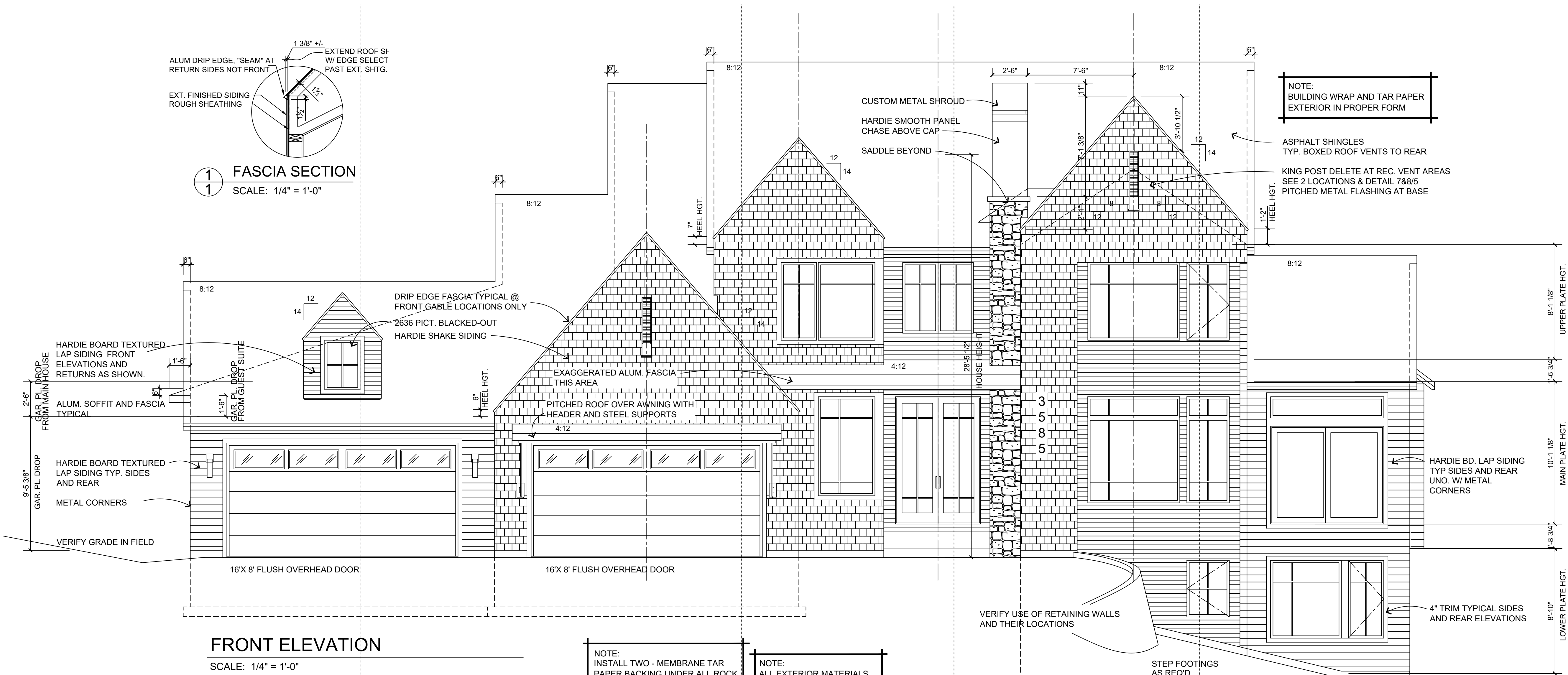
Sheet 1 of 1



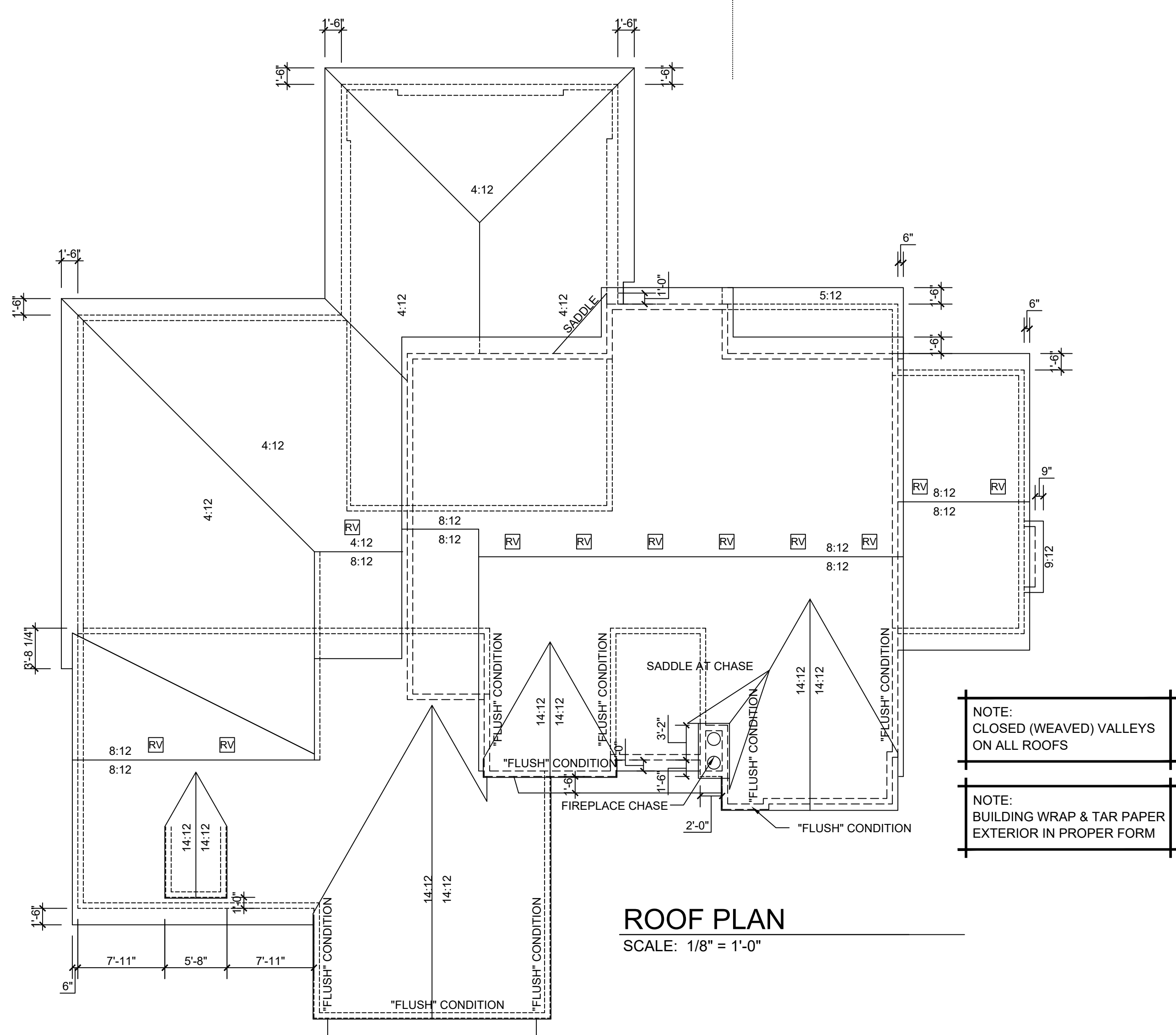
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REAR ELEVATION
SCALE: 1/8" = 1'-0"

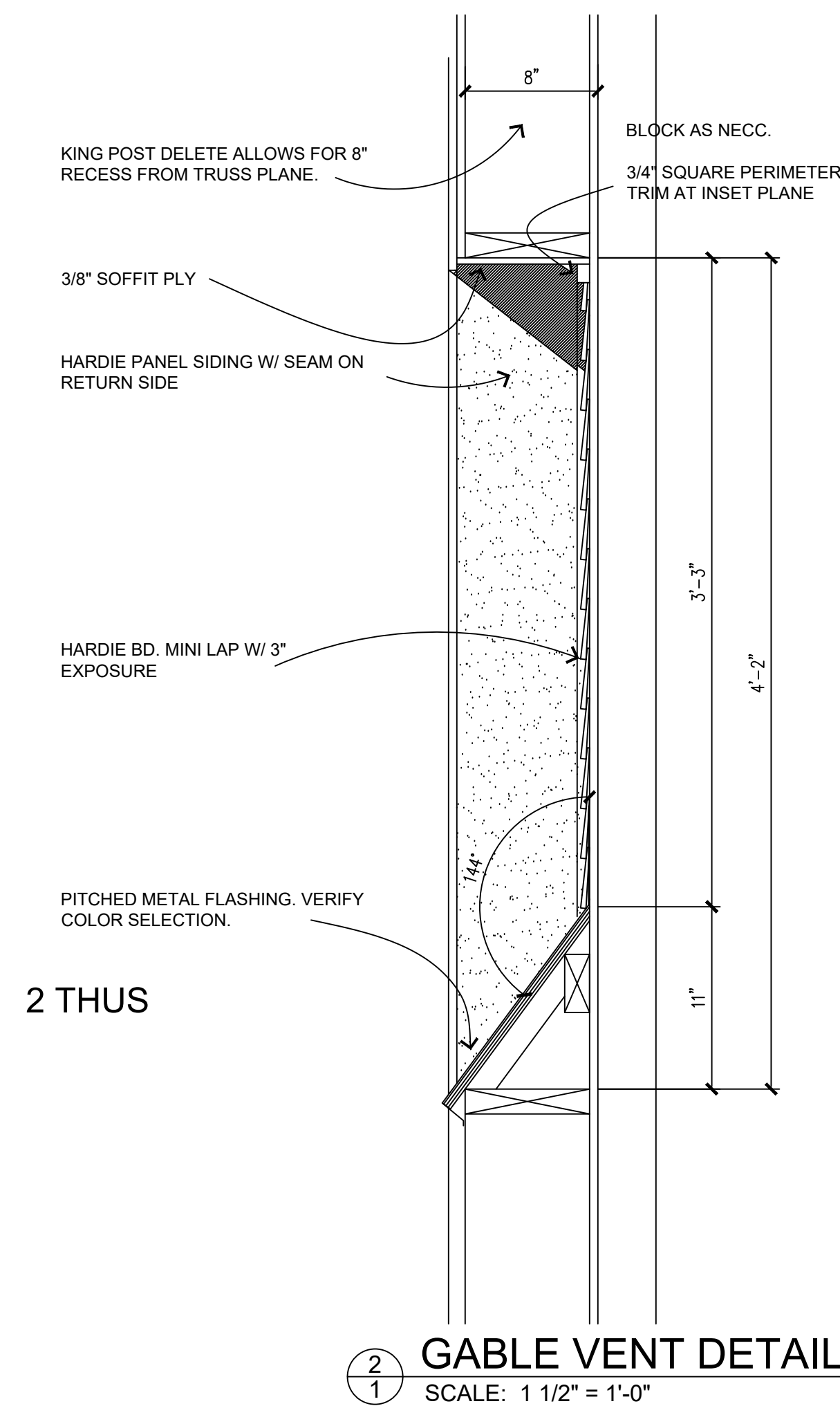
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SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



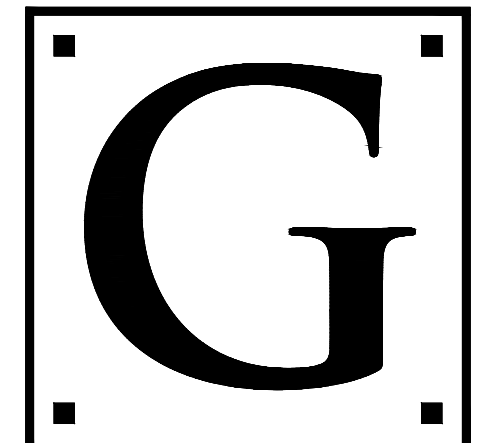
ROOF PLAN
SCALE: 1/8" = 1'-0"



GABLE VENT DETAIL
SCALE: 1 1/2" = 1'-0"

CUSTOM

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GONYEA
COMPANIES

1000 BOONE AVENUE N.
SUITE 400
GOLDEN VALLEY, MN 55427
OFFICE: 763-432-4500
FAX: 763-432-4501
BUILDER LICENSE #2459



GONYEA
CUSTOM HOMES

REVISION RECORD

1	9-06-23
2	9-15-23
3	9-18-23 Bid Plan
4	9-20-23 Bid Plan
5	9-21-23 Bid Plan
6	9-28-23
7	10-02-23
8	10-25-23
9	11-01-23
10	11-10-23
11	11-13-23
12	11-16-23
13	1-11-24
14	1-16-24
15	1-31-24
16	2-12-24 FINAL STR.
17	3-15-24 PERMIT

KROMINGA RESIDENCE
LOT 1 - BLOCK 7 - Koch Farm Sanctuary
3585 William Way
Independence, MN 55328

PROJECT

FOUNDATION	1668
FINISHED SQUARE FEET	
BASEMENT	1505
FIRST	2499
SECOND	1749
ATHLETIC CT	933

TOTAL 6686

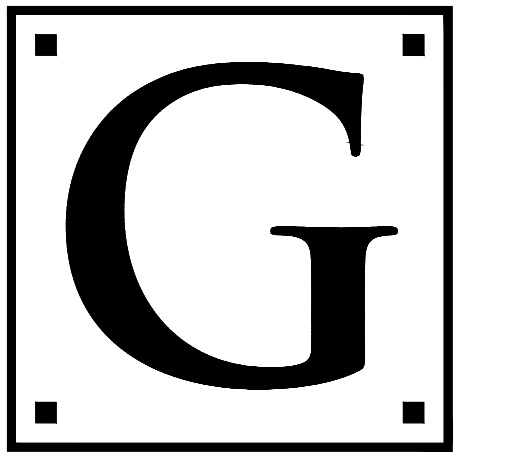
PROJECT NO.

GH1468

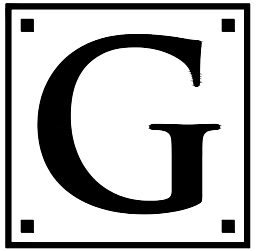
SHEET

1 OF 8

CUSTOM



GONYEA
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1000 BOONE AVENUE N.
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GOLDEN VALLEY, MN 55427
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FAX: 763-432-4501
BUILDER LICENSE #2459



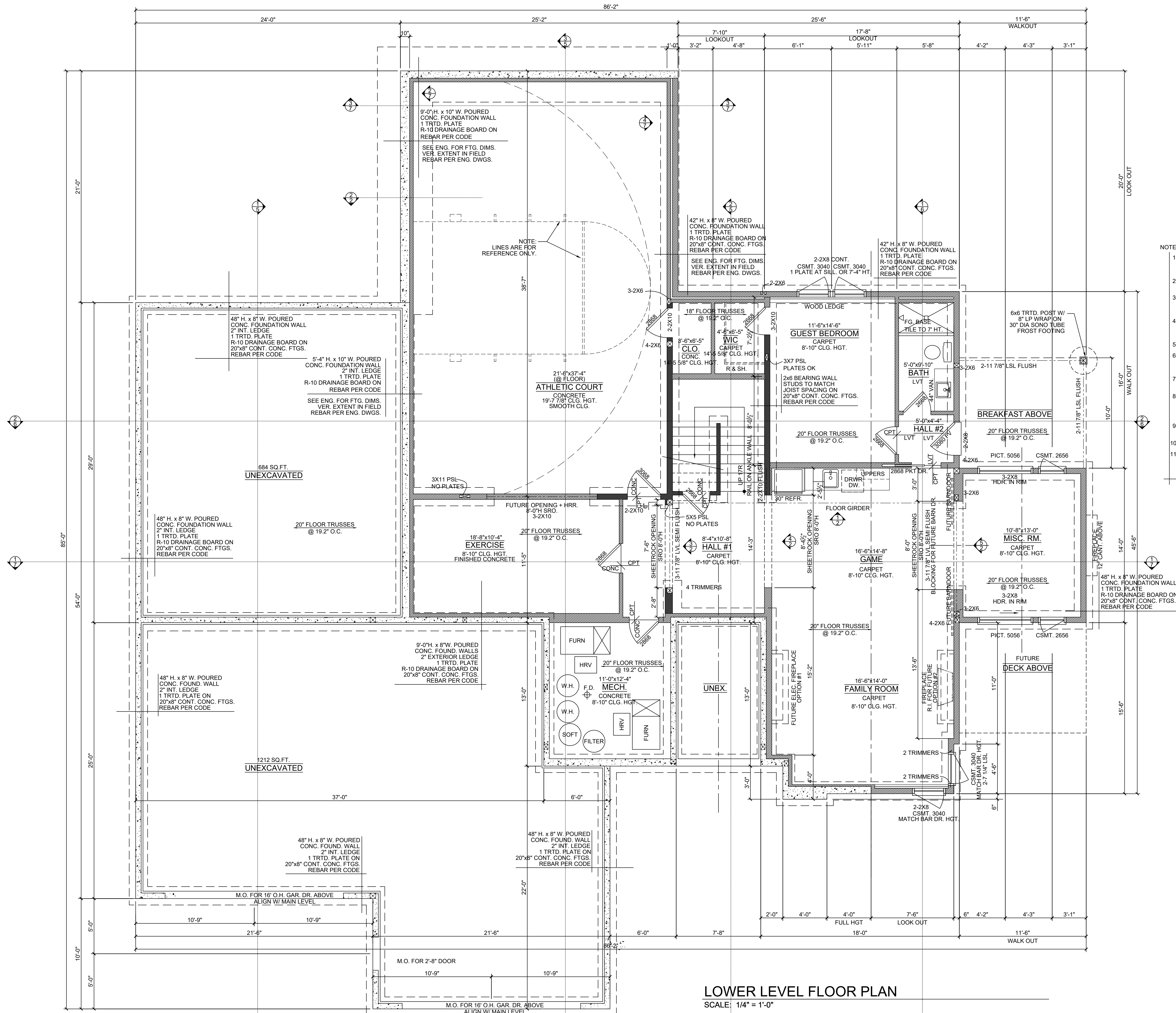
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CUSTOM HOMES

REVISION RECORD

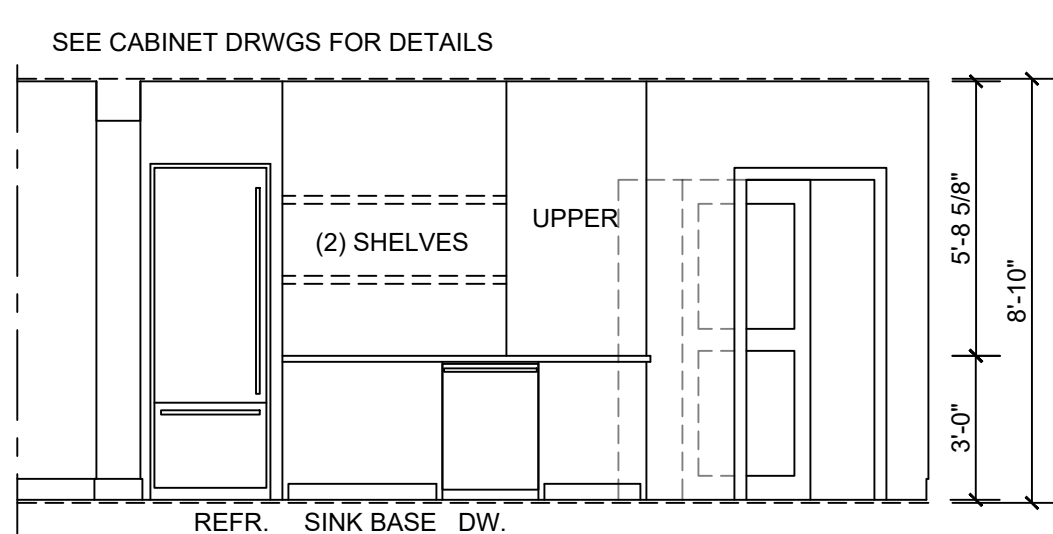
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14	1-16-24
15	1-31-24
16	2-12-24 FINAL STR.
17	3-15-24 PERMIT

KROMINGA RESIDENCE
LOT 1 - BLOCK 7 - Koch Farm Sanctuary
3585 William Way
Independence, MN 55328

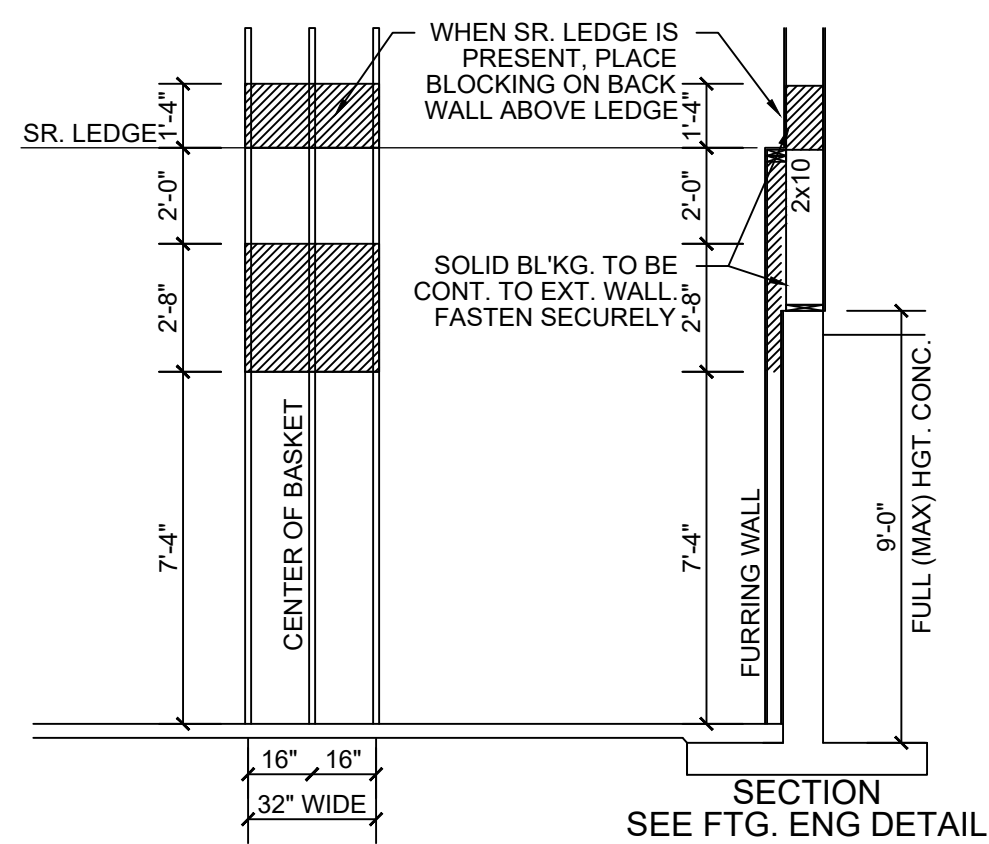
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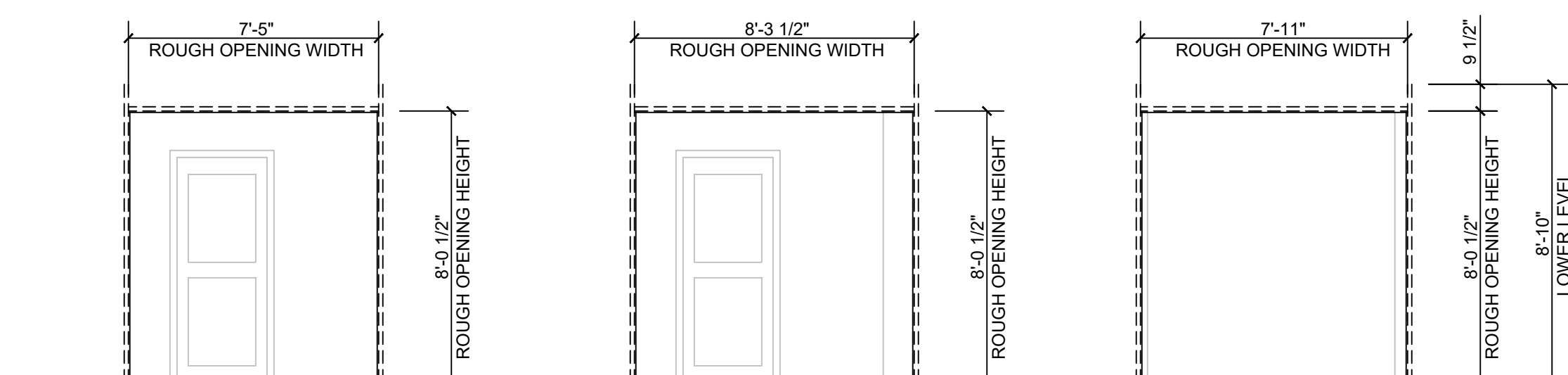
- NOTES:
- 1) ALL INTERIOR & EXTERIOR HEADERS TO BE 2-2X10 UNLESS OTHERWISE NOTED
 - 2) STAIR TREAD OUT SHOWN @ 10" - 7 3/4" MAX RISE
 - 3) ALL EXTERIOR DIMENSIONS TO OUTSIDE OF SHEATHING
 - 4) MAIN WDWs. HGT VARIES / TRANS ABV UPPER WDWs @ 6'-10" & AS NOTED ELSEWHERE
 - 5) GARAGE WALL 2x6
 - 6) TRUSS & FLOOR JOIST MANUFACTURER TO VERIFY SIZE & SPACING OF JSTS. & TRUSSES
 - 7) 1/4" 1/2" RETURNS ON ALL DOORS UNLESS OTHERWISE NOTED
 - 8) ROOM DIMENSIONS FOR FINISHED ROOMS ARE APPROXIMATE & USED FOR GENERAL PLANNING. EXACT ROOM DIMENSION WILL VARY.
 - 9) O.S.B. ENTIRE EXTERIOR OF HOUSE
 - 10) KNOCKDOWN PAINTED CLGS.
 - 11) HEADER TRIMMER REQMTS: UP TO 4'-11" SPAN = 1 TRIMMER 5'-7" SPAN OR LARGER = 2 TRIMMERS UNLESS NOTED OTHERWISE



1 L.L. BAR ELEVATION
SCALE: 1/4" = 1'-0"



2 BASKETBALL HOOP REINF.
SCALE: 1/4" = 1'-0"

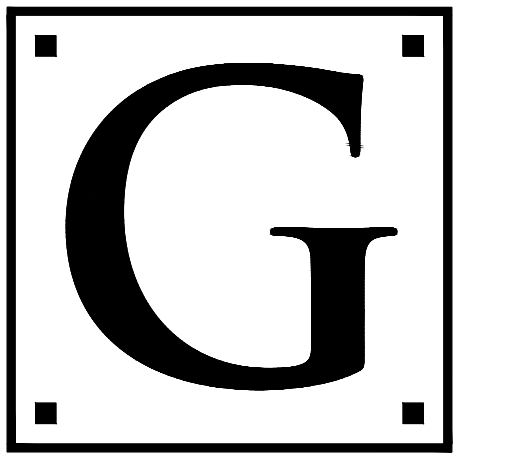


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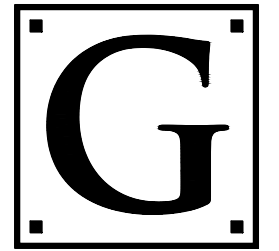
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5

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SUITE 400
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FAX: 763-432-4501
BUILDER LICENSE #2459



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CUSTOM HOMES

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17	3-15-24 PERMIT

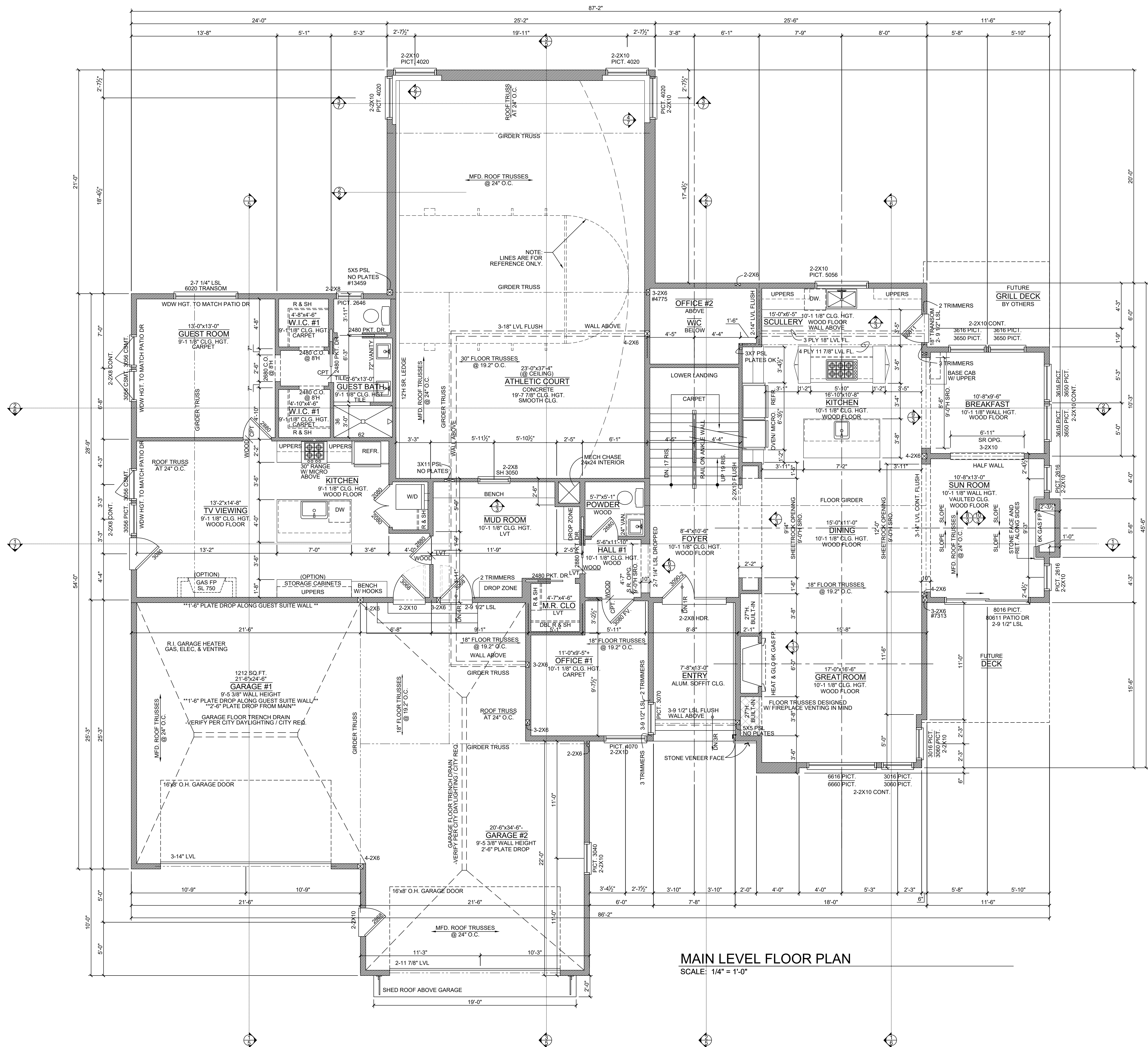
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3585 William Way
Independence, MN 55328

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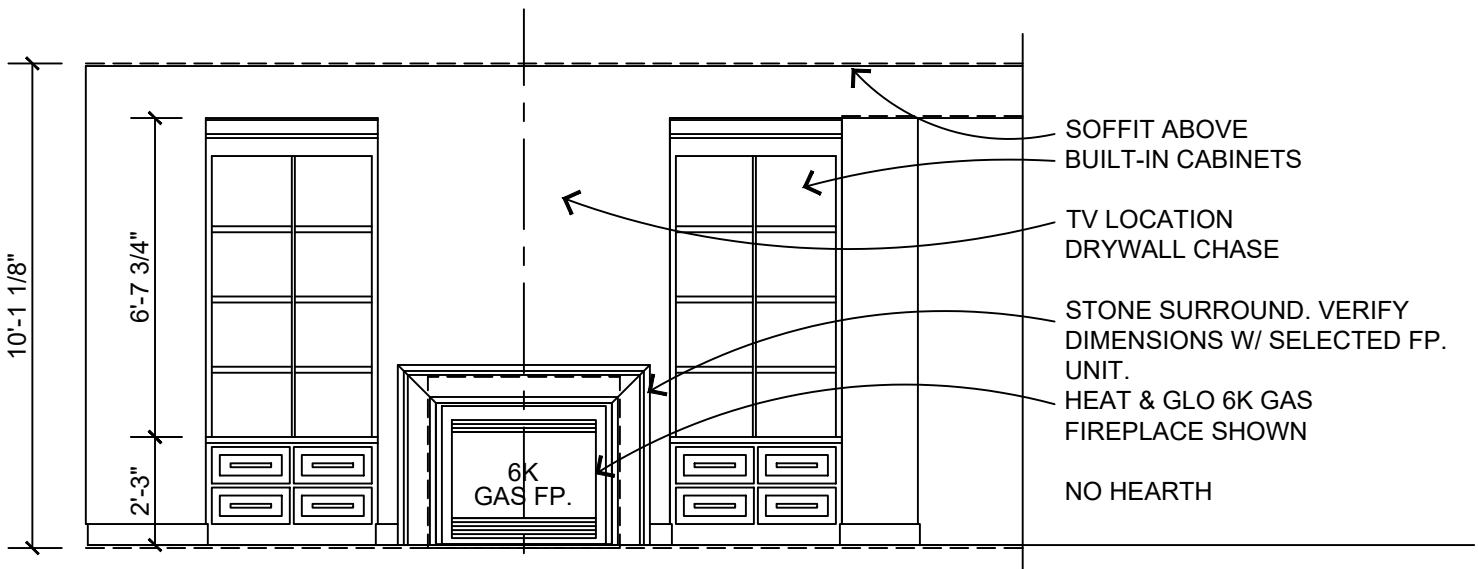
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FINISHED SQUARE FEET	
BASEMENT	1505
FIRST	2499
SECOND	1749
ATHLETIC CT	933

TOTAL 6686
PROJECT NO.
GH1468

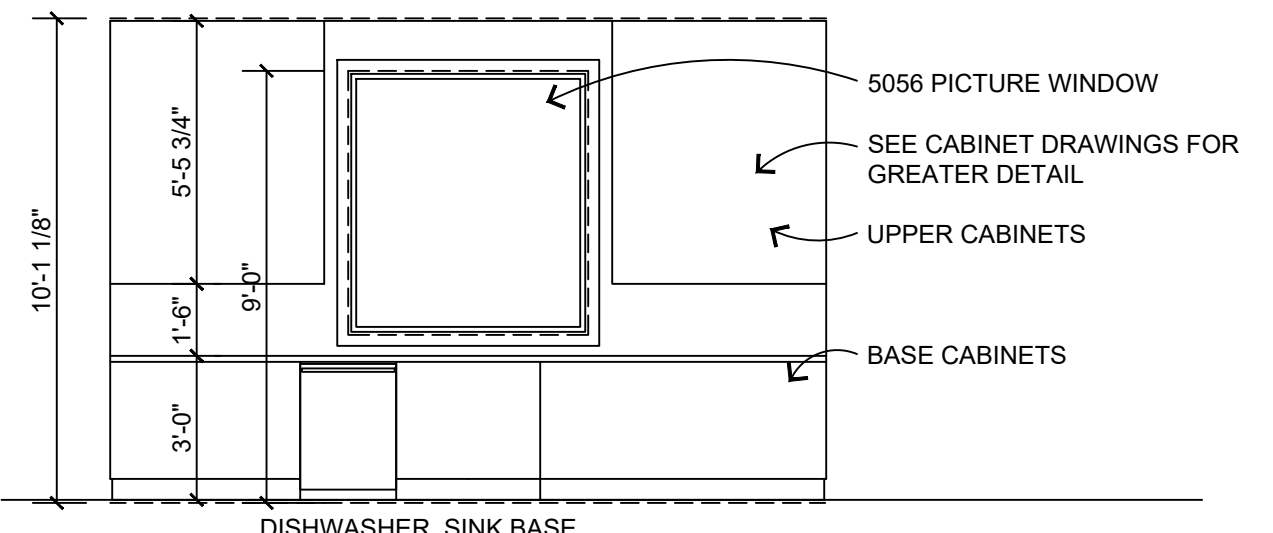
SHEET
3 OF 8



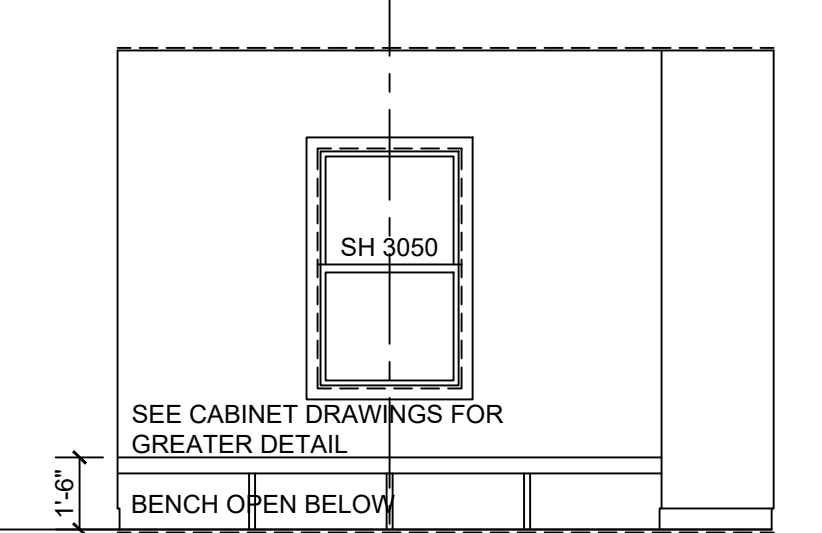
- NOTES:
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 - 11) HEADER TRIMMER REGRINDS UP TO 4-11" SPAN + 1 TRIMMER 3-2" SPAN OR LARGER + 2 TRIMMERS UNLESS NOTED OTHERWISE



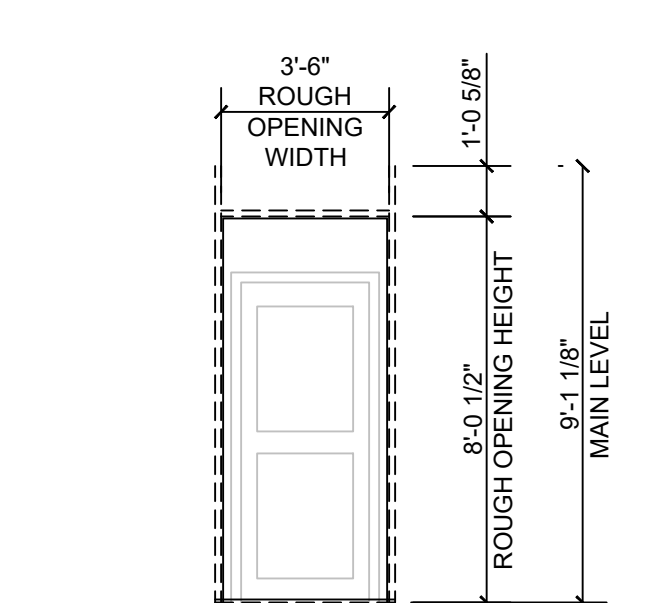
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SCALE: 1/4" = 1'-0"



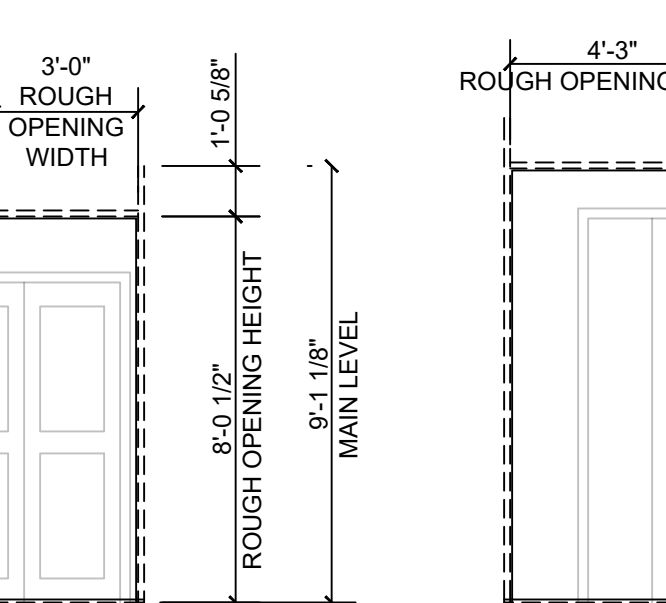
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SCALE: 1/4" = 1'-0"



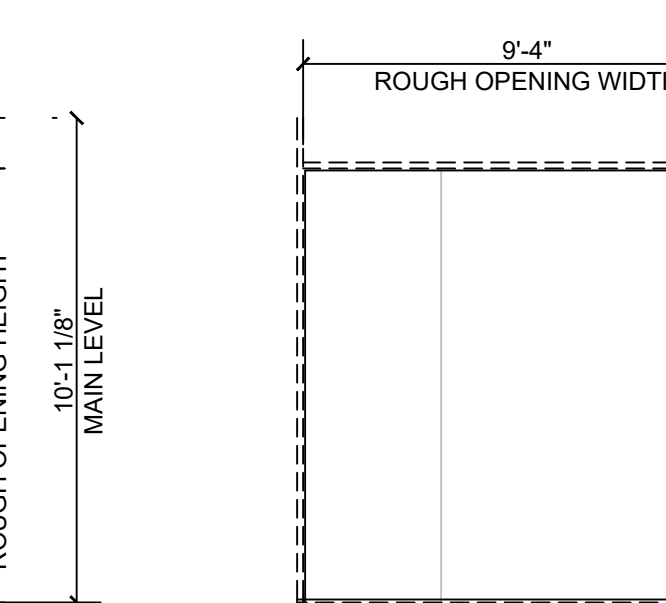
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SCALE: 1/4" = 1'-0"



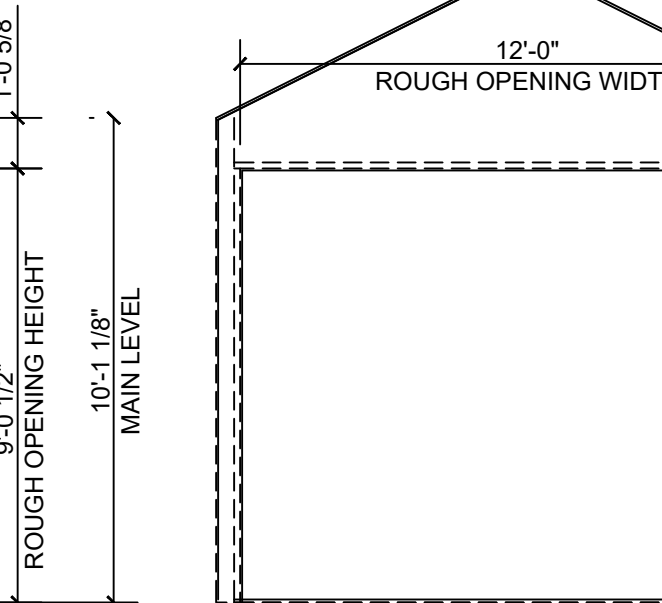
4 M.L. S.R.O. FRAMING
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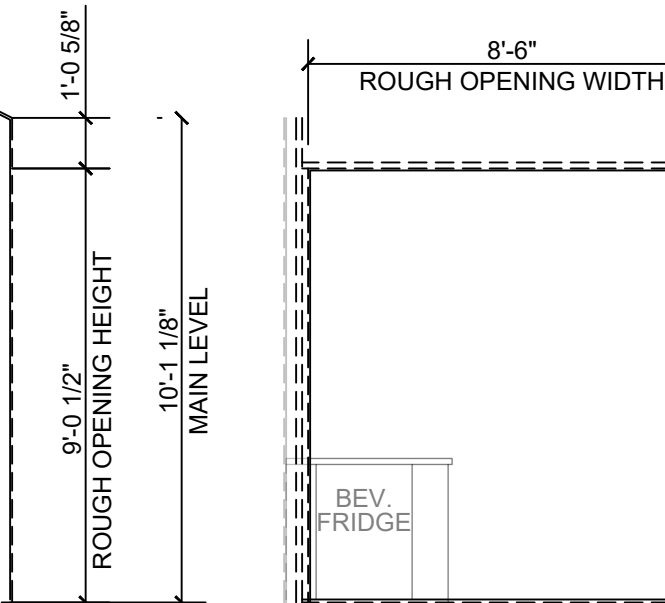
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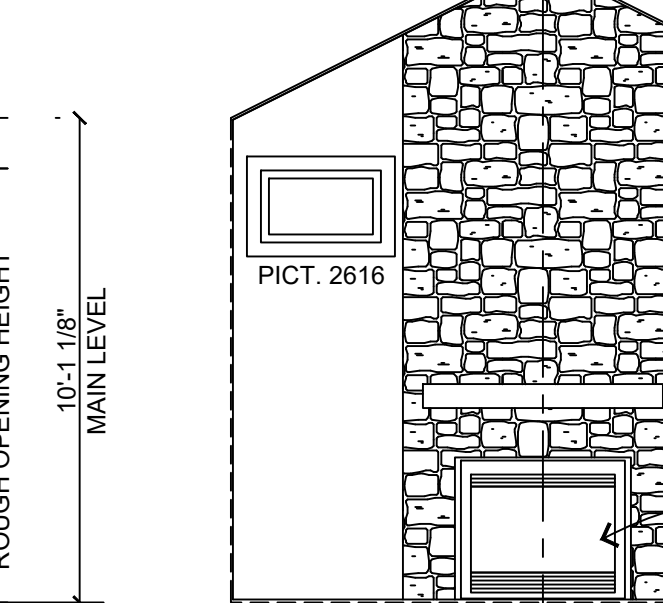
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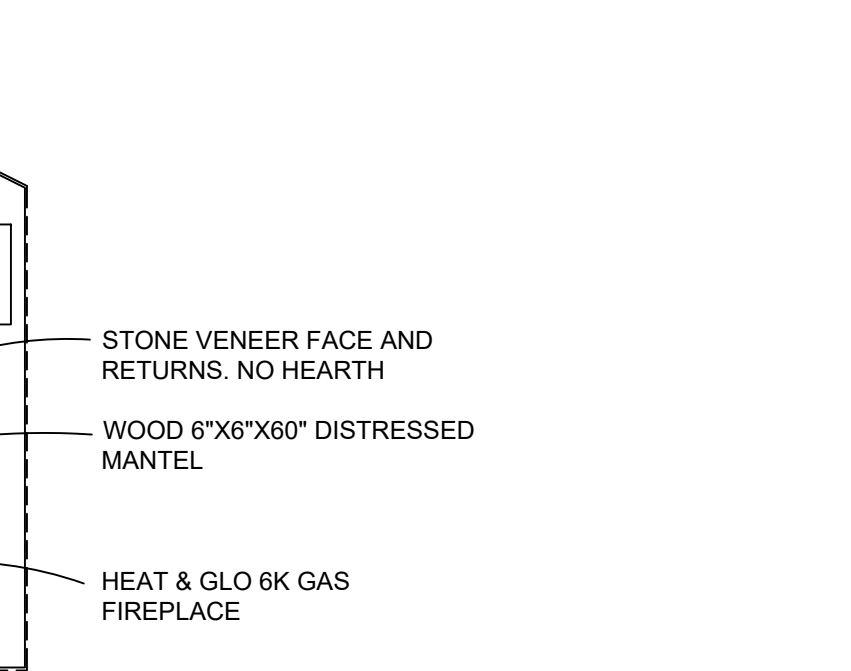
7



8



9



10 SUN ROOM ELEVATION
SCALE: 1/4" = 1'-0"

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BUILDER LICENSE #2459

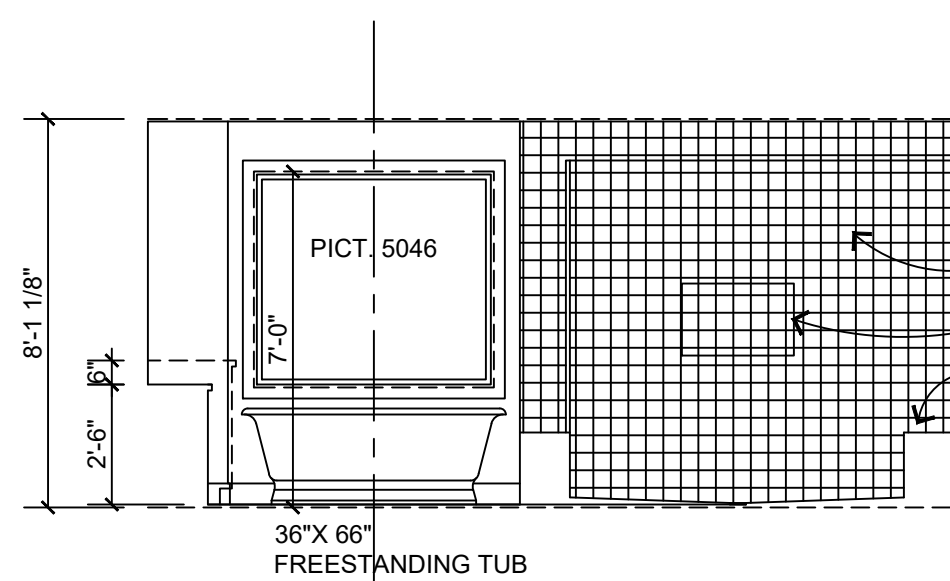
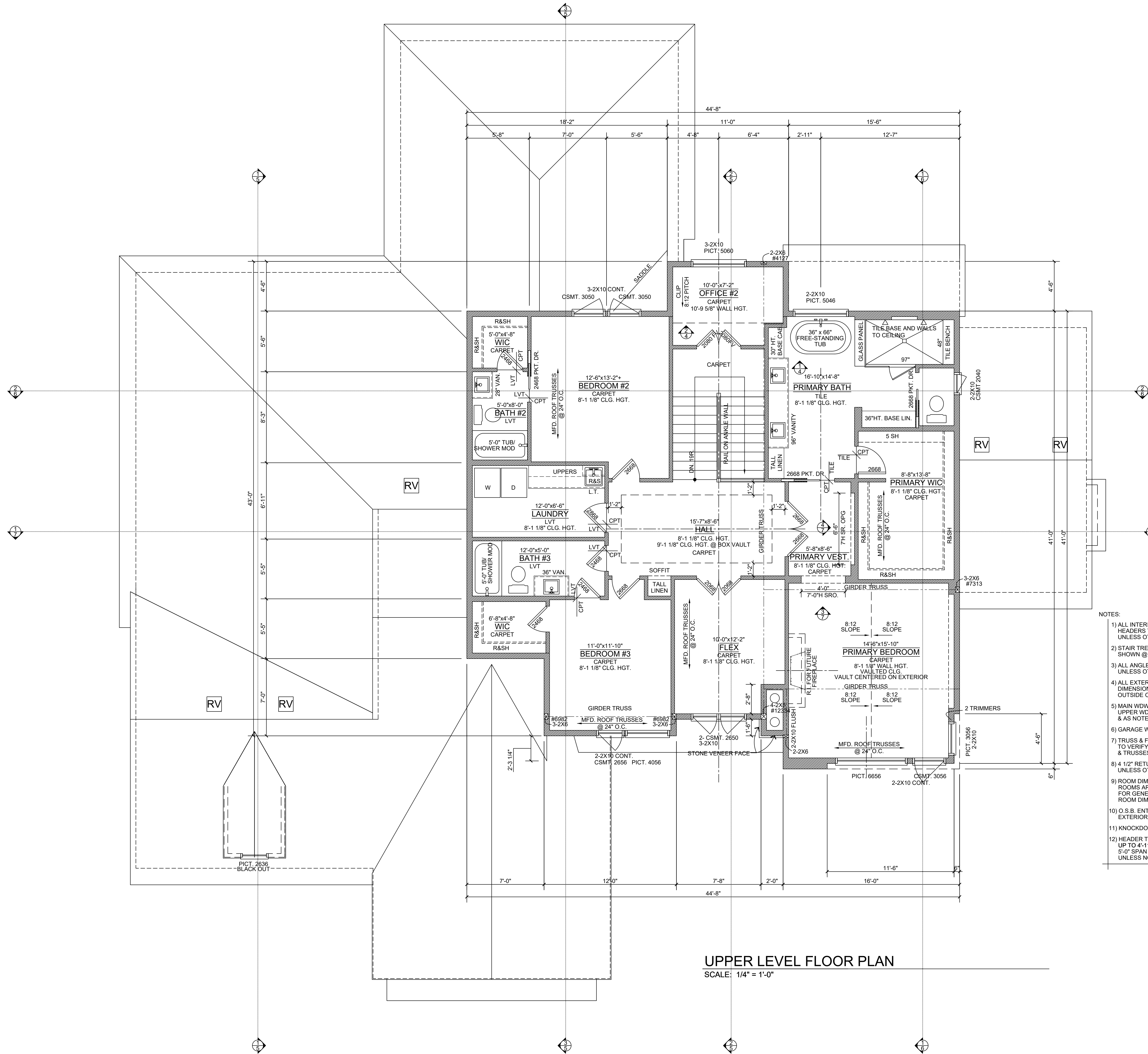
G
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• CUSTOM HOMES •

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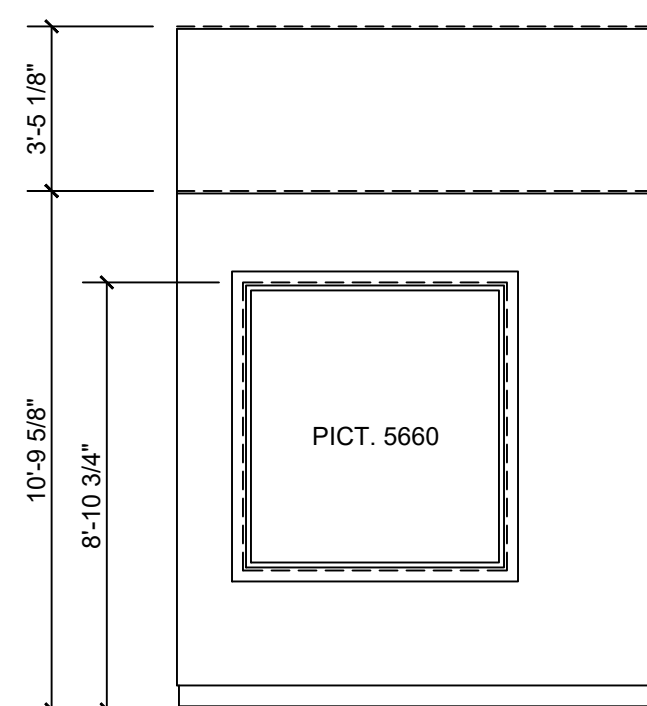
KROMINGA RESIDENCE
LOT 1 - BLOCK 7 - Koch Farm Sanctuary
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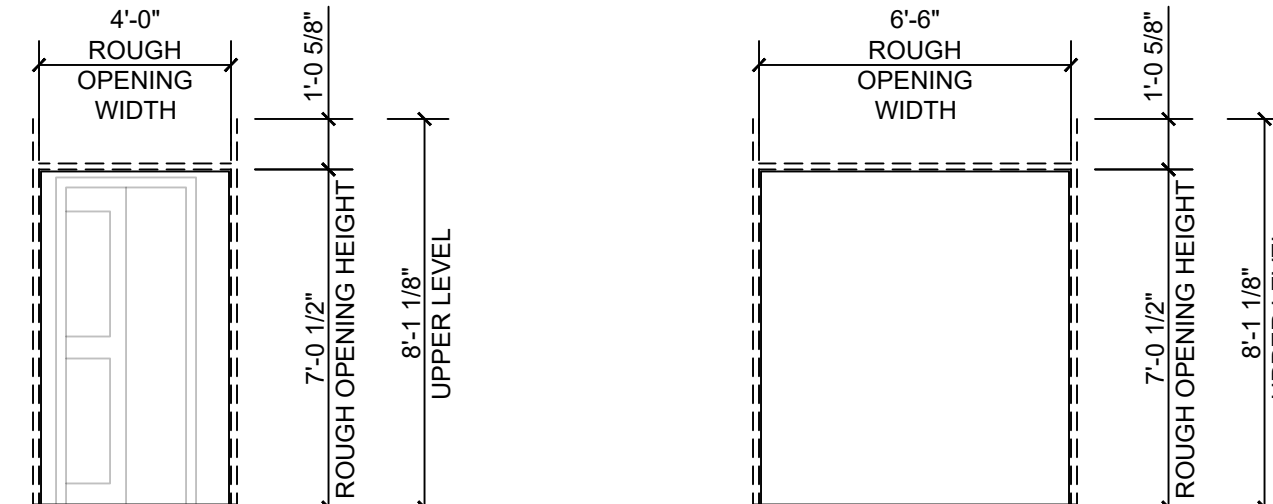
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FOUNDATION	1668
FINISHED SQUARE FEET	
BASEMENT	1505
FIRST	2499
SECOND	1749
ATHLETIC CT	933
TOTAL	6686
PROJECT NO.	
GH1468	
SHEET	
4 OF 8	



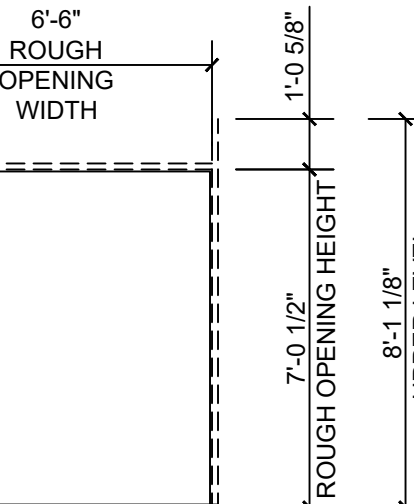
1 PRIMARY BATH ELEVATION
SCALE: 1/4" = 1'-0"



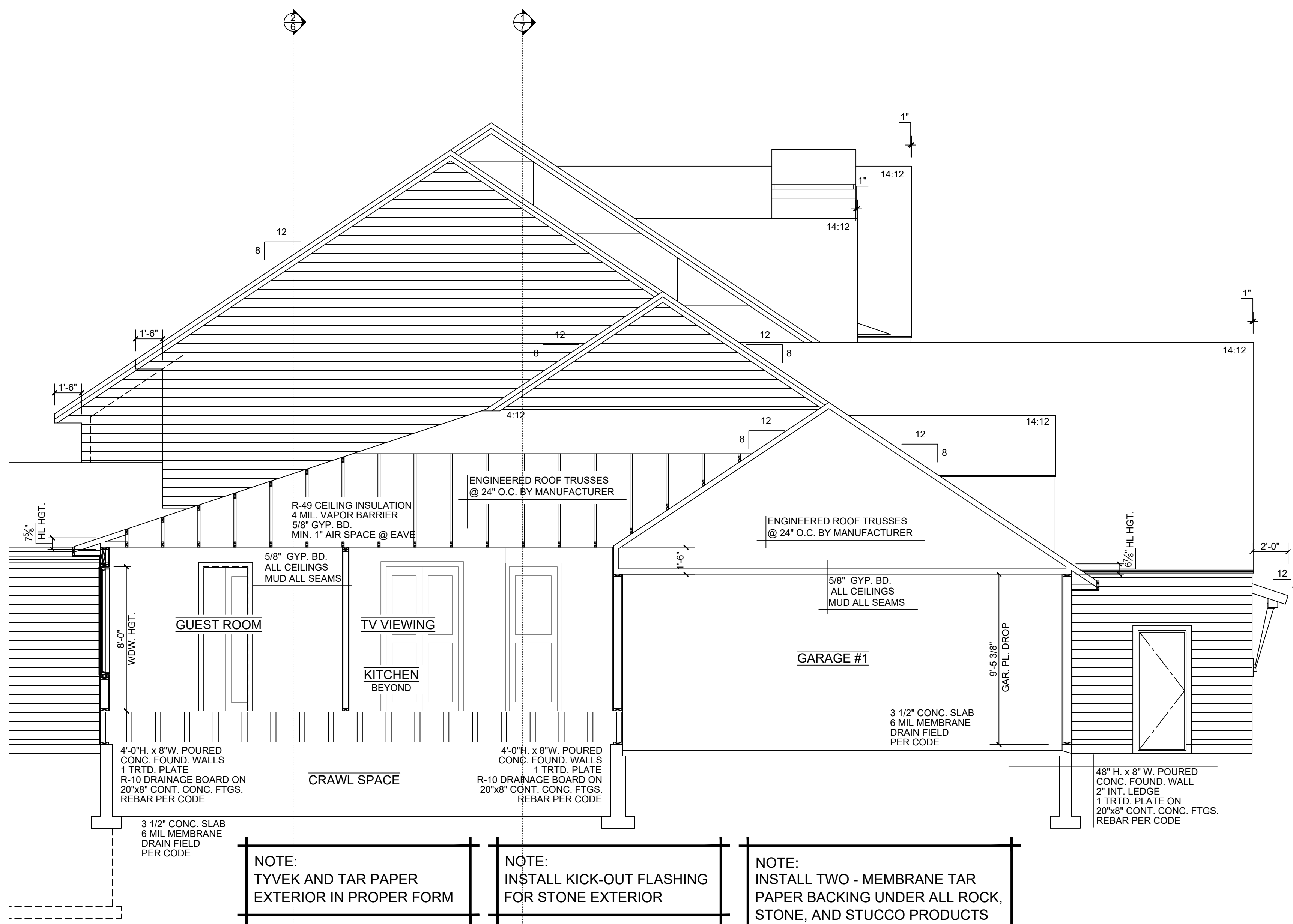
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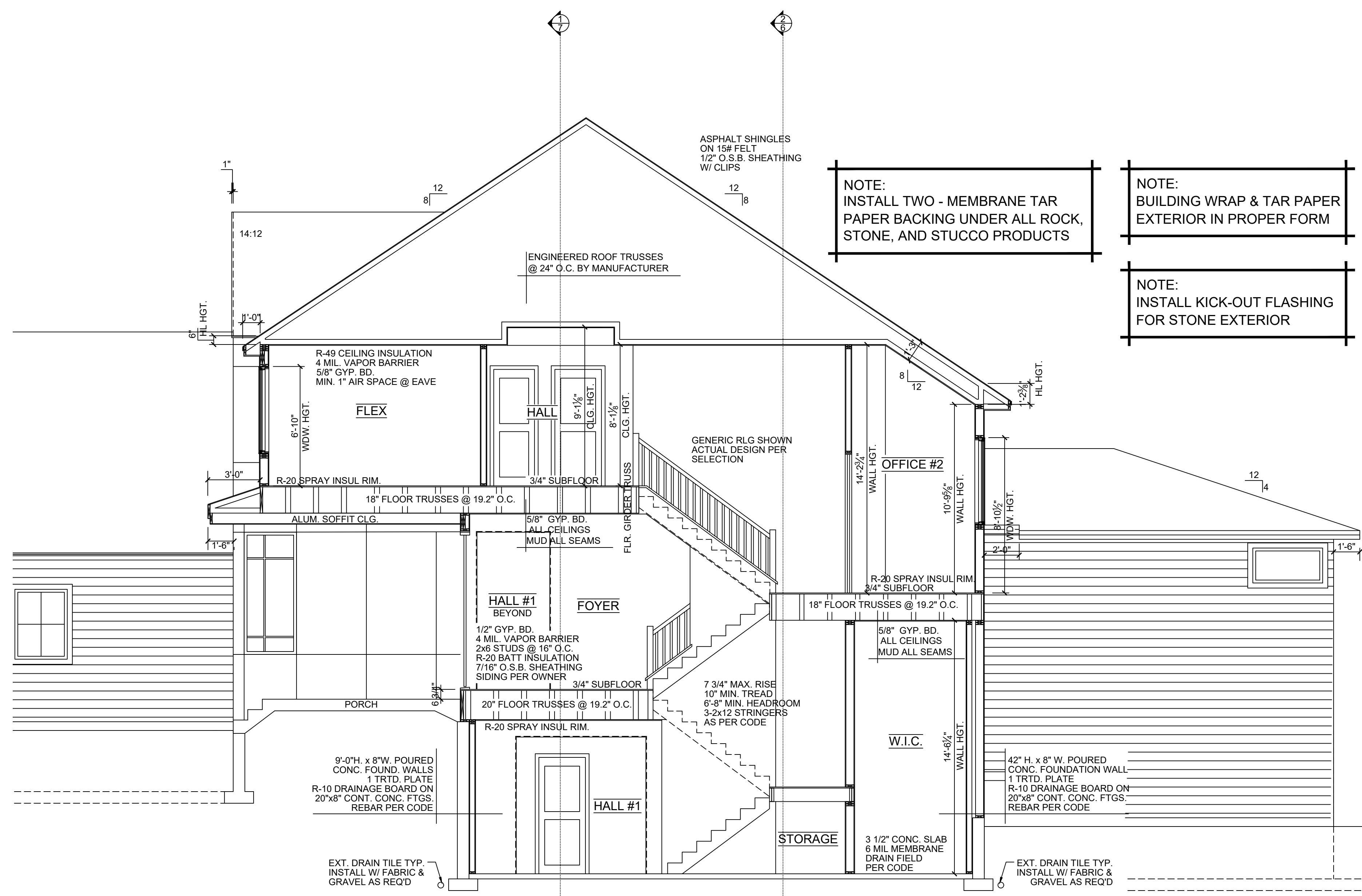
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SCALE: 1/4" = 1'-0"



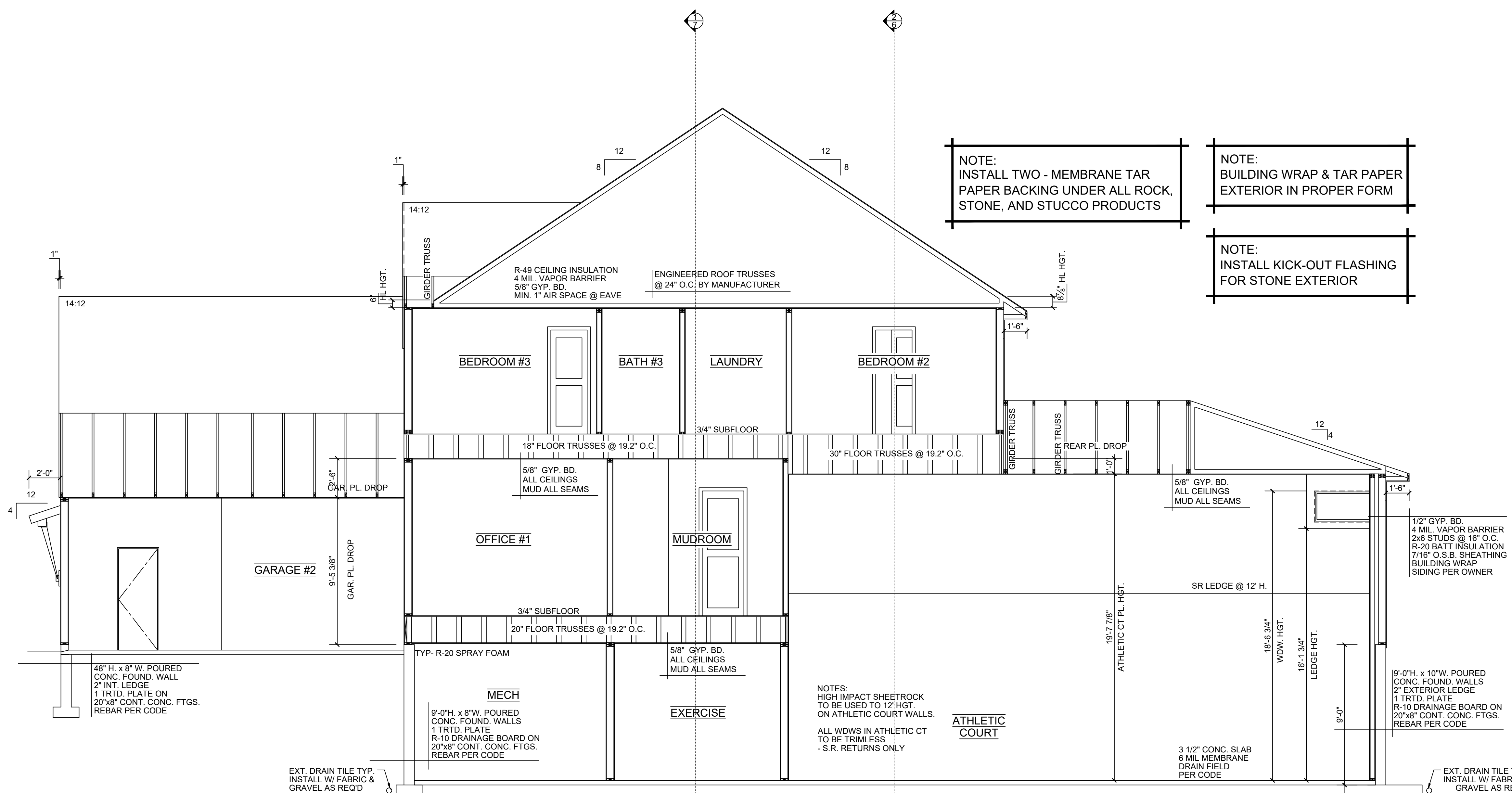
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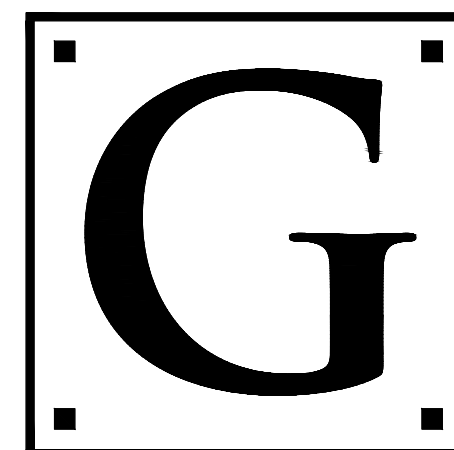


2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



3 BUILDING SECTION
SCALE: 1/4" = 1'-0"

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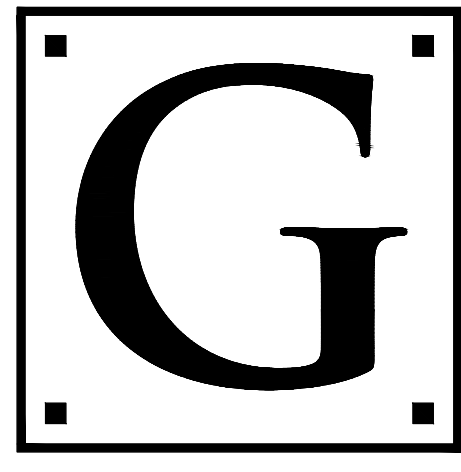
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5 OF 8	

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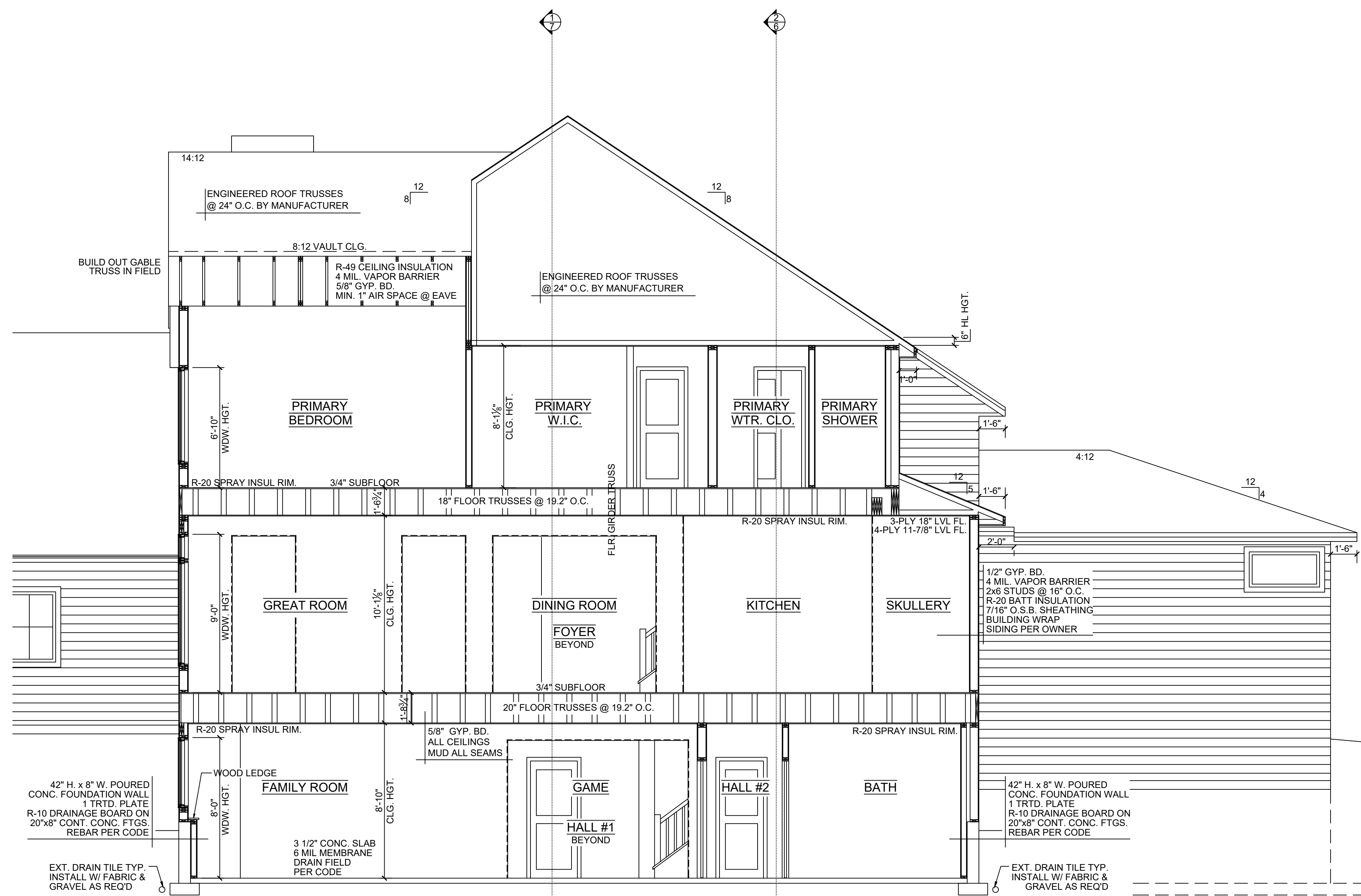


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6 OF 8	

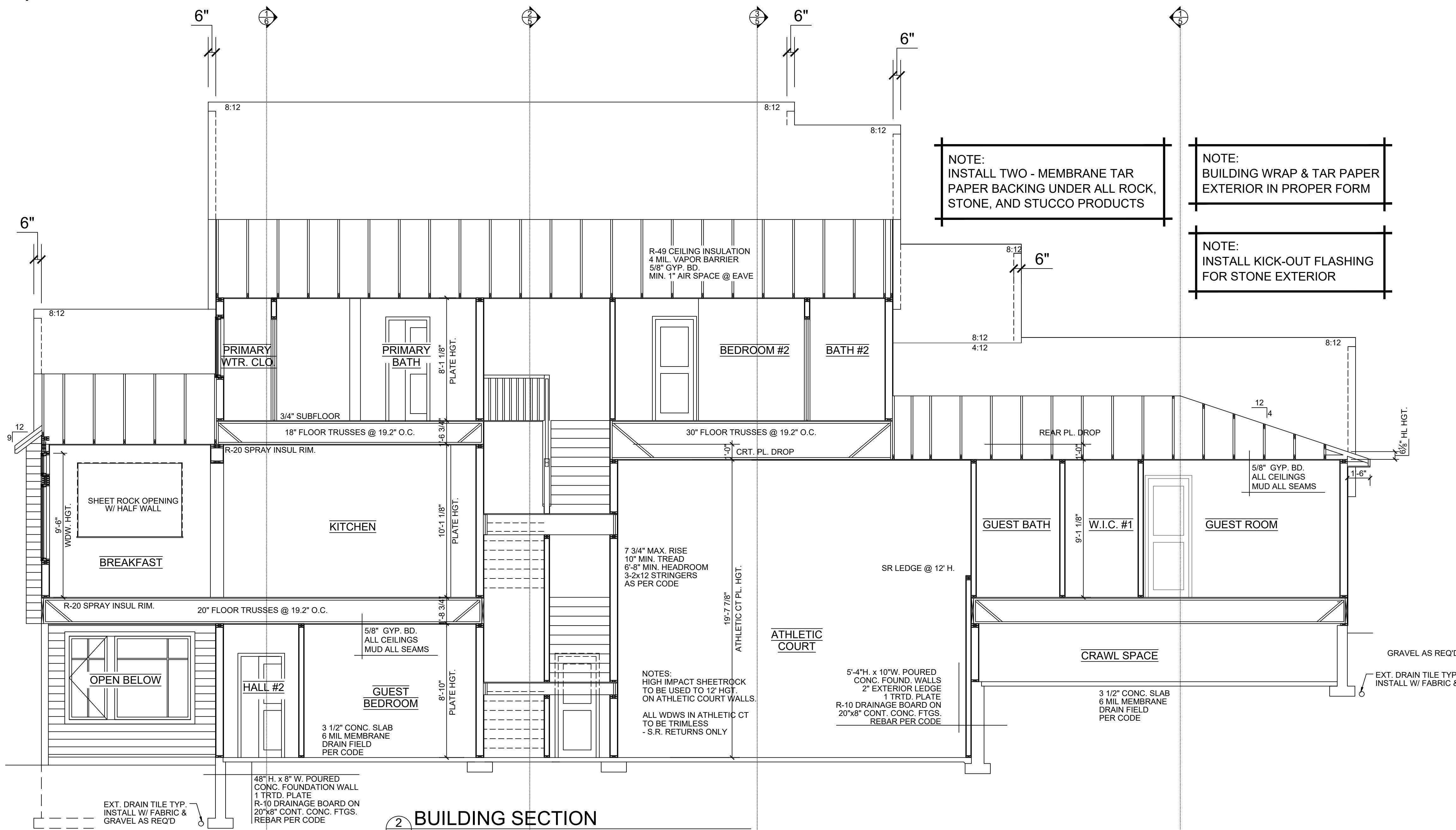


1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

NOTE:
INSTALL TWO - MEMBRANE TAR
PAPER BACKING UNDER ALL ROCK,
STONE, AND STUCCO PRODUCTS

NOTE:
BUILDING WRAP & TAR PAPER
EXTERIOR IN PROPER FORM

NOTE:
INSTALL KICK-OUT FLASHING
FOR STONE EXTERIOR



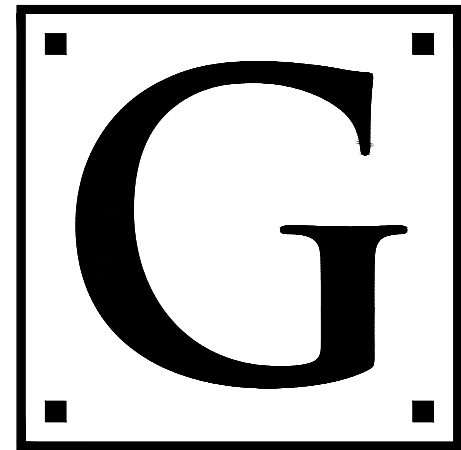
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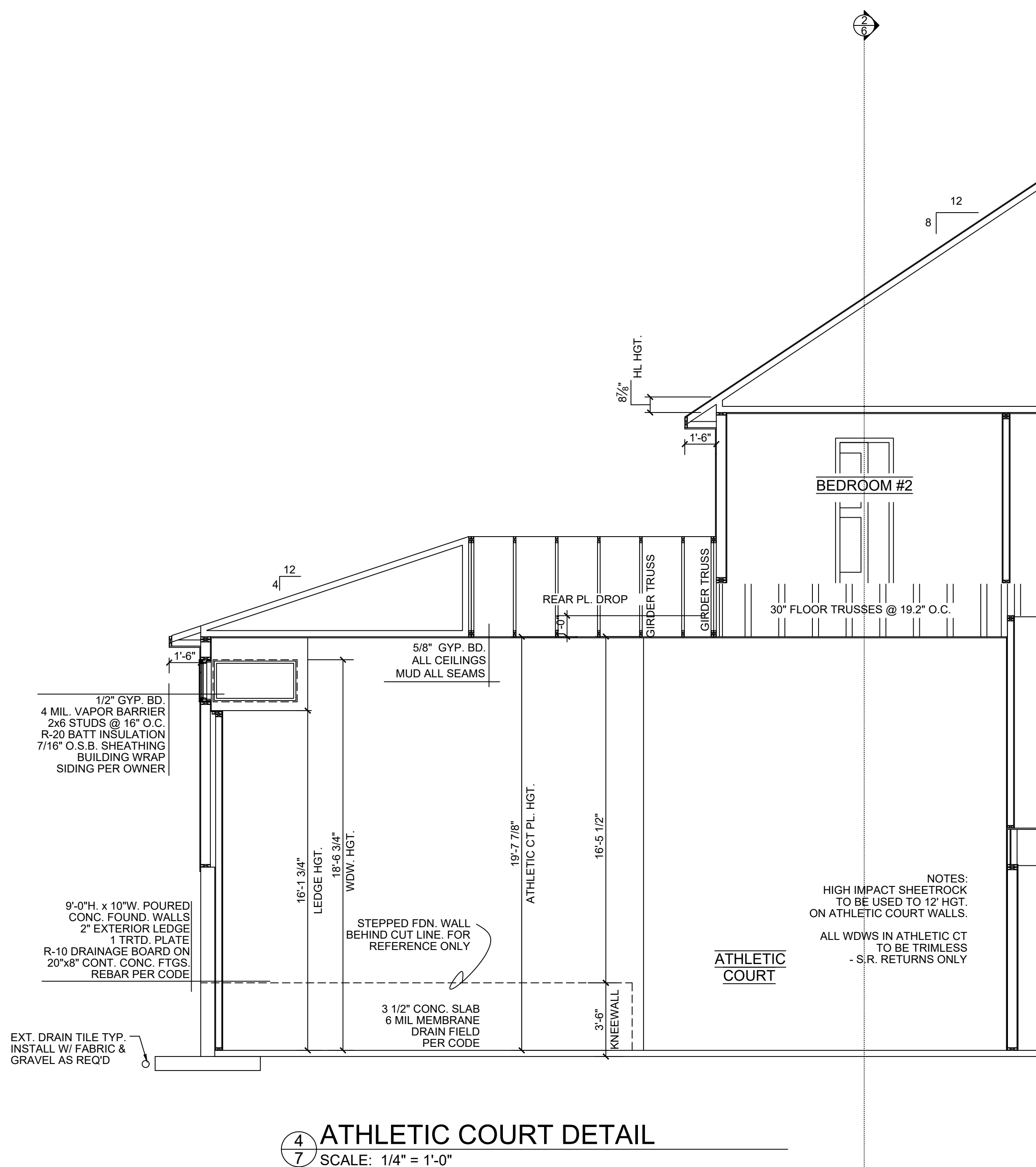
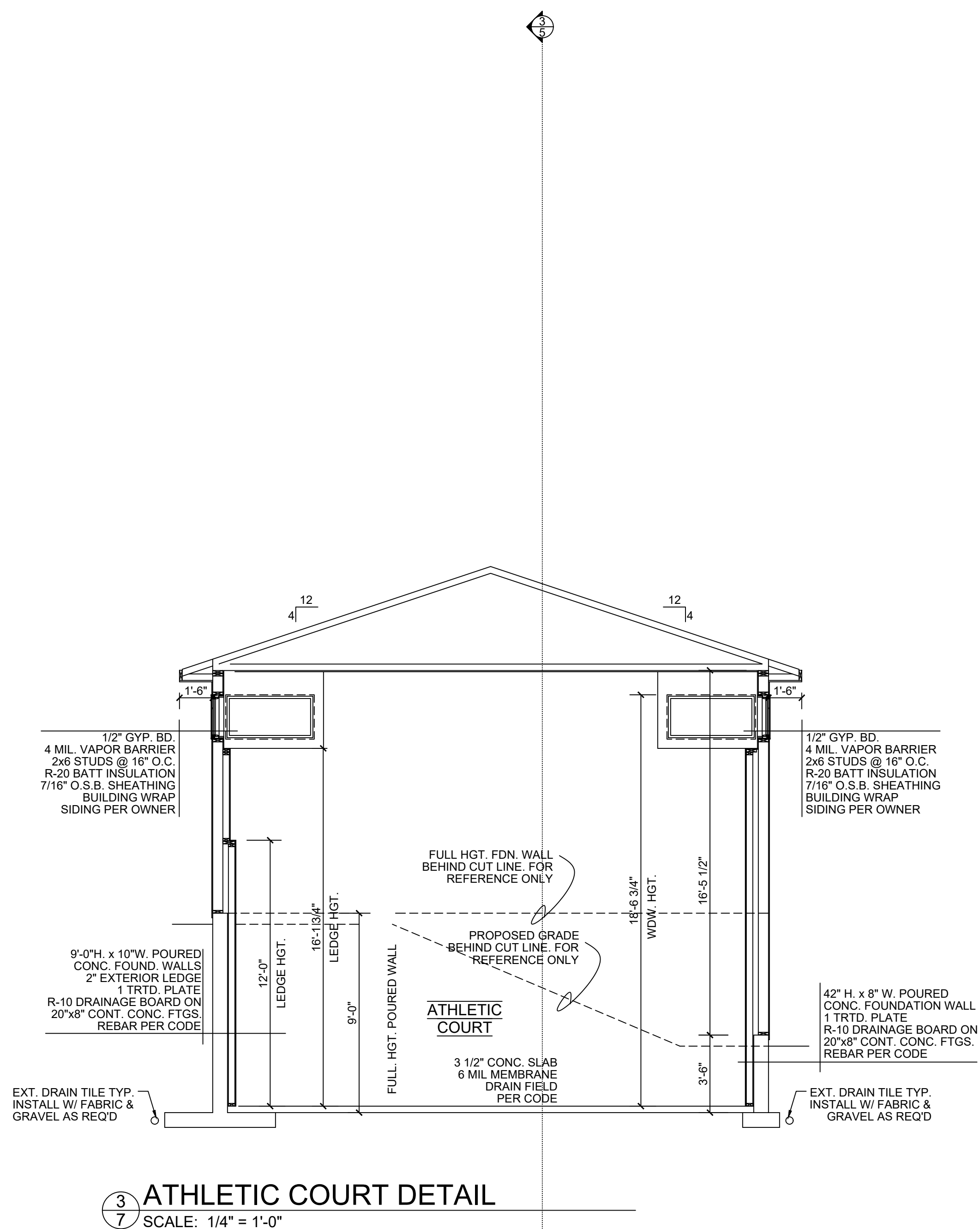
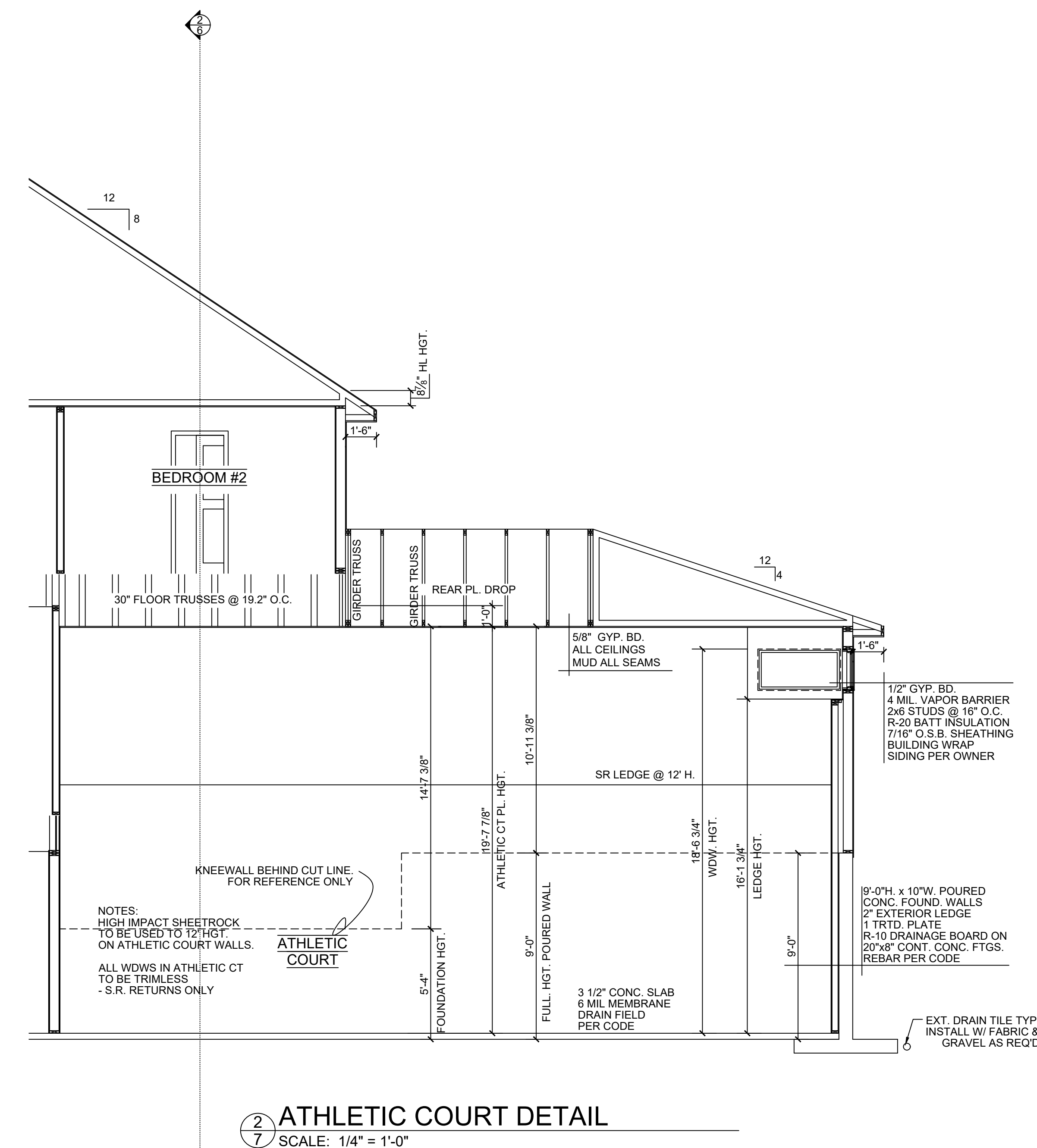
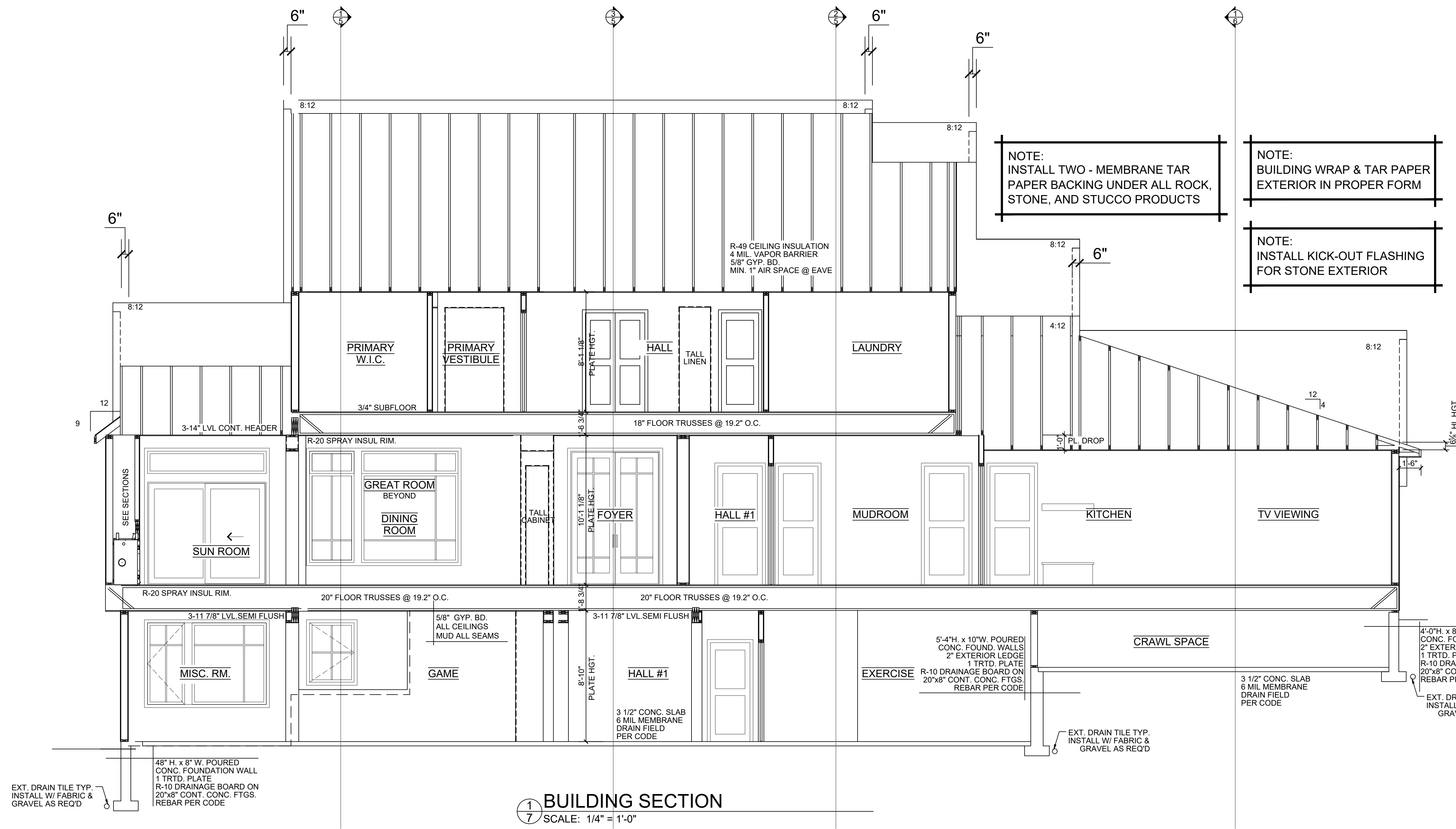


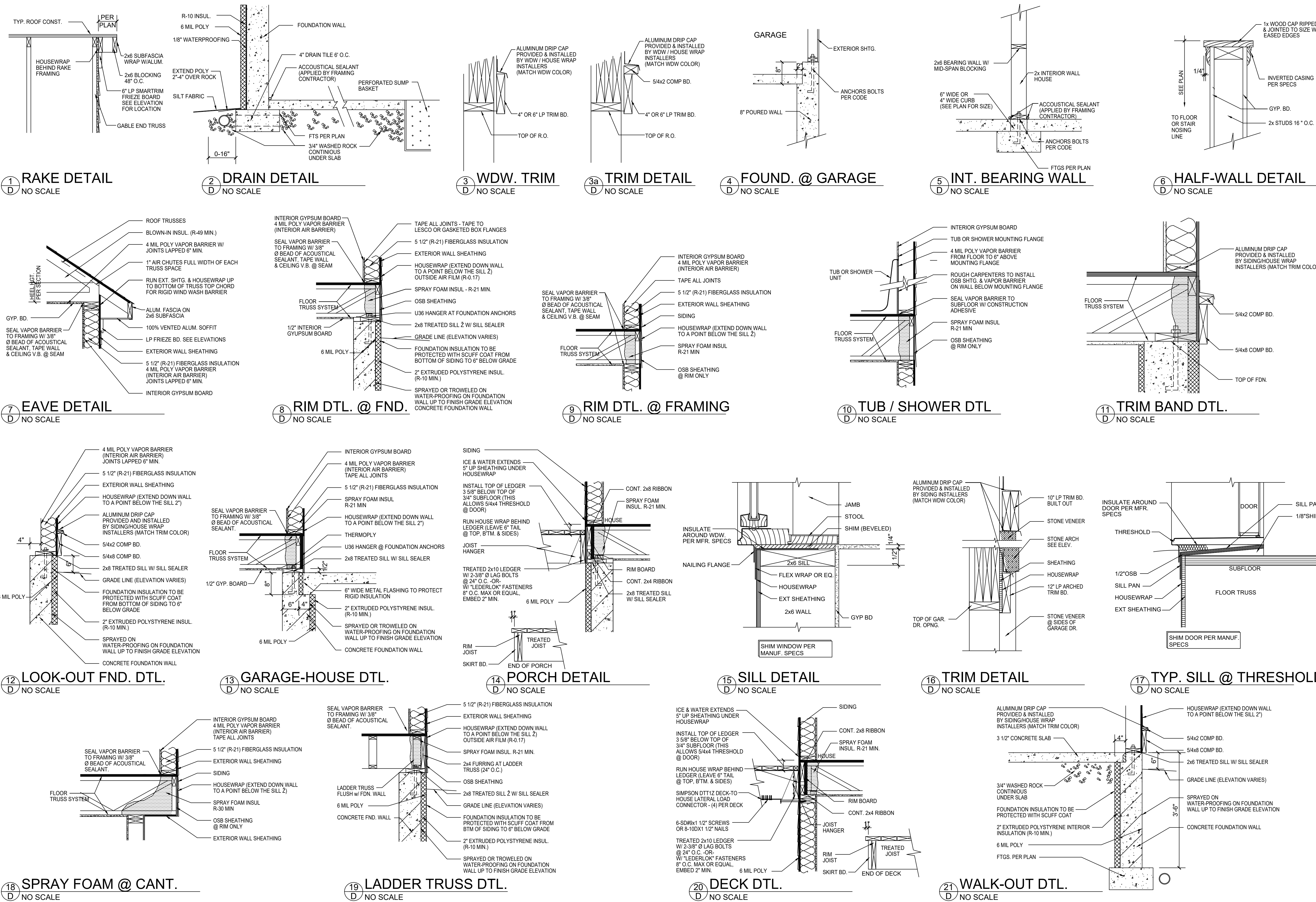
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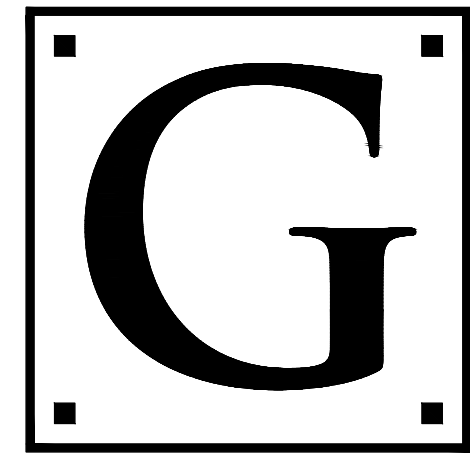
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PROJECT	
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SHEET	7 OF 8



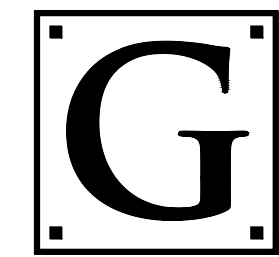


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BUILDER LICENSE #2459



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REVISION RECORD

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KROMINGA RESIDENCE

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PROJECT

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ATHLETIC CT	933

TOTAL 6686

PROJECT NO.

GH1468

SHEET

8 OF 8

■City of Independence

***Request for a Conditional Use Permit to Allow a Kennel on the
Property located at 2510 County Road 92***

<i>To:</i>	Planning Commission
<i>From:</i>	Mark Kaltsas, City Planner
<i>Meeting Date:</i>	May 21, 2024
<i>Applicant:</i>	Karen Ann Malinak
<i>Owner:</i>	Karen Ann Malinak
<i>Location:</i>	2510 County Road 92

Request:

Karen Ann Malinak (Applicant/Owner) is requesting the following action for the property located at 2510 County Road 92 (PID No. 16-118-24-33-0003) in the City of Independence, MN.

- a. A conditional use permit to allow a dog kennel on the subject property.

Property/Site Information:

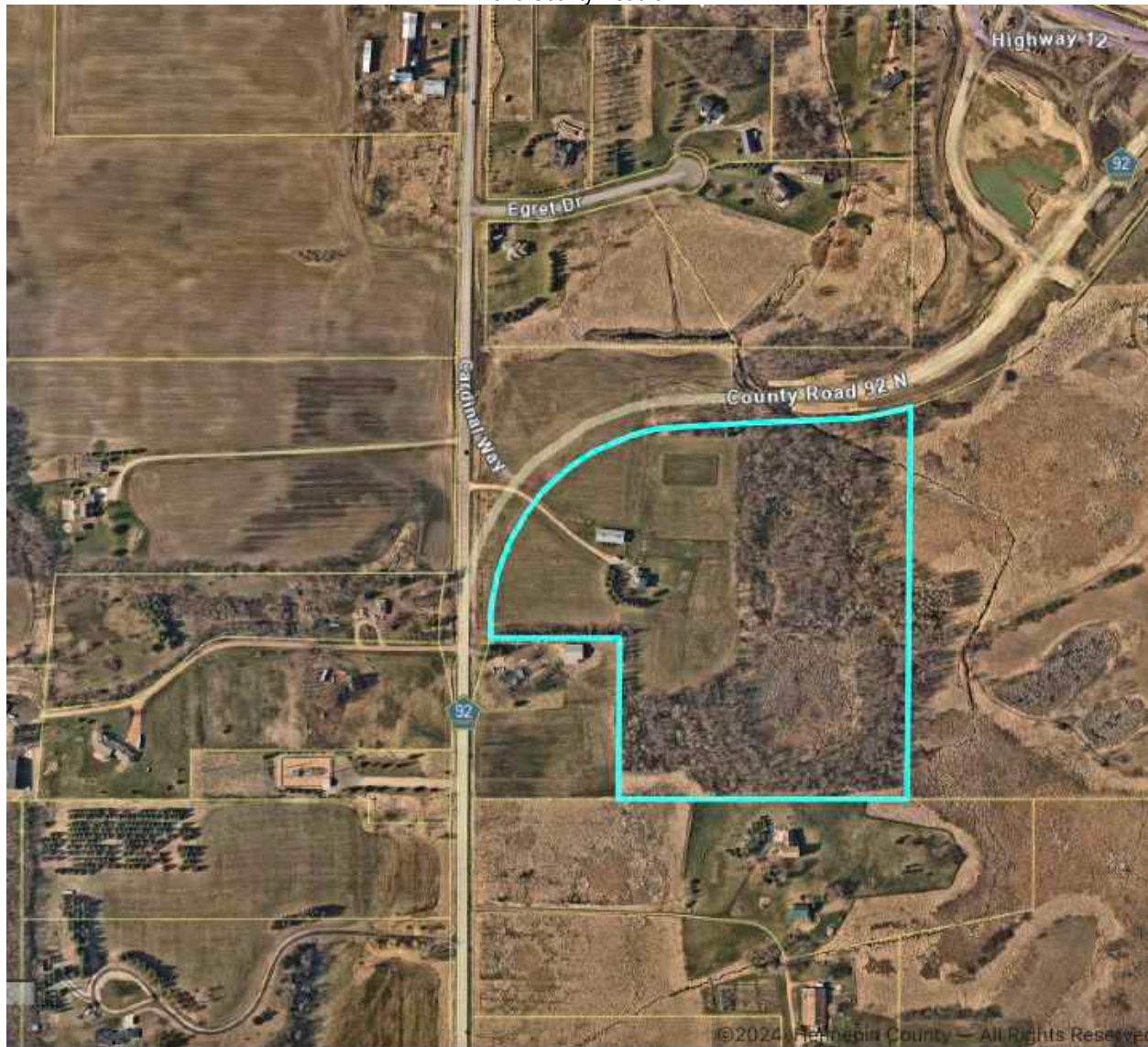
The property is located south of Highway 12 and on the west side of County Road 92 near Cardinal Way. The property has pasture, woodlands and a substantial wetland along the east property line. The property has the following characteristics:

Property Information: **2510 County Road 92**

Zoning: *Agriculture*

Comprehensive Plan: *Agriculture*

Acreage: *23.06 acres*



Discussion:

The applicant is seeking a Conditional Use Permit to allow a dog kennel on the subject property. A kennel is defined as follows:

"Kennel." Any structure or premises on which four or more dogs over six months of age are kept.

The applicants recently purchased and moved into the subject home. The applicant would like to board up to 10 dogs within the existing principal home located on the property. The applicant would keep the dogs inside of the home and allow them to go outside within the existing fenced area located to the east of the house. The dogs would primarily stay within the walk out basement inside the home.

The applicant has stated that customers would drop off or pick up dogs during regular “business hours” 8:00 AM – 6:00 PM. Typical clients would be dropping off dogs for an extended period and the applicant is not intending this to be a “day care” type facility. The applicant would be the primary care provider for the dogs and there would be no other employees of the kennel.

The criteria for granting a conditional use permit are clearly delineated in the City’s Zoning Ordinance (Section 520.11 subd. 1, a-i) as follows:

1. The conditional use will not adversely affect the health, safety, morals and general welfare of occupants of surrounding lands.
2. The proposed use will not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity for the proposes already permitted or on the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.
3. Existing roads and proposed access roads will be adequate to accommodate anticipated traffic.
4. Sufficient off-street parking and loading space will be provided to serve the proposed use.
5. The proposed conditional use can be adequately serviced by public utilities or on-site sewage treatment, and sufficient area of suitable soils for on-site sewage treatment is available to protect the city form pollution hazards.
6. The proposal includes adequate provision for protection of natural drainage systems, natural topography, tree growth, water courses, wetlands, historic sites and similar ecological and environmental features.
7. The proposal includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance.
8. The proposed condition use is consistent with the comprehensive plan of the City of Independence.
9. The proposed use will not stimulate growth incompatible with prevailing density standards.

The city has issued conditional use permits for similar kennels. Kennels often have issues relating to noise due to dogs barking. The owner has run a kennel in another city previously and acknowledged noise as an issue that she would actively manage. The owner has proposed to add wooden panels to the fencing located along the front (west facing) façade of the house to block visibility to anyone coming to the house or driving by as a way to mitigate barking.

As the proposed Conditional Use Permit relates to the criteria for granting a CUP, the following items should be noted:

- The number of dogs permitted on the property shall be limited to 10.
- Sanitary waste created by the operation of the proposed facility shall not create any offensive odors and be handled in a manner that complies with all applicable city, state and federal regulations.

- The applicant is not proposing to use any portion of the existing detached accessory building for the kennel. The use of the detached accessory structure for any part of the kennel operations should be prohibited.
- The dogs will be permitted within the principal structure and fenced area noted on the attached exhibit. Dogs to be kenneled will not be permitted outside of the designated areas.
- The additional uses proposed should not create an increase (beyond that of the existing horse farm) in noise or offensive odors, fumes dust, or vibrations for the surrounding properties.
- Given the limitation on the number of dogs to be kenneled, traffic associated with the operation and use should be minimal.
- Hours of operation, specifically, the hours that the dogs can be outside would not be initially restricted.

The Planning Commission will need to review the request and determine that all criteria for granting a conditional use permit have been satisfied by the applicant. Based on the discussion and public hearing it may be necessary to consider additional conditions if recommended for approval.

Neighbor Comments:

The City has not received any written comments regarding the proposed conditional use permit. The applicants have discussed the proposed CUP with some of the surrounding property owners.

Recommendation:

Staff is seeking a recommendation from the Planning Commission for the request for a Conditional Use Permit. Should Planning Commission recommend approval of the request, the following findings and conditions should be considered:

1. The proposed Conditional Use Permit request meets all applicable conditions and restrictions stated Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. The number of dogs permitted on the property at any time shall be limited to 10.
3. Sanitary waste created by the operation of the proposed facility shall not create any offensive odors and be handled in a manner that complies with all applicable city, state and federal regulations.
4. The applicant is not proposing to use any portion of the existing detached accessory building for the kennel. The use of the detached accessory structure for any part of the kennel operations should be prohibited.

5. The dogs will be permitted within the principal structure and fenced area only as noted on the attached exhibit. Dogs to be kenneled will not be permitted outside of the designated areas.
6. The proposed kennel should not create an increase (beyond that of the existing horse farm) in noise or offensive odors, fumes dust, or vibrations for the surrounding properties.
7. Given the limitation on the number of dogs to be kenneled, traffic associated with the operation and use should be minimal.
8. Hours of operation, specifically, the hours that the dogs can be outside would not be initially restricted. Should the city determine that the hours need to be restricted, the applicant will agree to comply with restricted hours as determined by the city.
9. There shall be no employees other than property owner and family staffing this kennel at any time on the property.
10. The proposed kennel is permitted as shown on the approved site plan. Any expansions, additions or other changes to the proposed site plan will require an amendment to the Conditional Use Permit.

Attachments:

1. Property Pictures
2. Application
3. Applicant Correspondence
4. Site Plan

Attachment #1

2510 County Road 92 (Looking west)



2510 County Road 92 (Looking north)



Attachment #2

Site Plan





**CITY OF
INDEPENDENCE
MINNESOTA**

Date Submitted: 04-11-2024

Applicant Information

Name: Karen Ann Malinak
Address: 2510 County Rd 92
Mn, Minnesota 55373
Primary Phone: 7632426427
Secondary Phone: 763-587-1600
Email: Karen@raphafarmsmn.com

Owner Information

Name: Karen Ann Malinak
Address: 2510 County Rd 92
Mn, Minnesota 55373
Primary Phone: 7632426427
Secondary Phone: 763-587-1600
Email: Karen@raphafarmsmn.com

Property Address:

PID:

Planning Application Type: Conditional Use Permit

Description:

Supporting Documents: Site Survey (Existing Conditions)

Signature:

We are new to Independence, we purchased a 25 acre property to have as little impact on as few neighbors as possible for our business.

We boarded Dogs in Greenfield, Minnesota, and we heard all the time that neighbors did not know we boarded Dogs because they never heard anything.

We would like to board 10 dogs IN OUR HOME (it's common that people think we keep them outside or in our barn) where we control the barking.

We are currently adding wood fence panels two are existing dog fencing to keep dogs from seeing cars in the driveway when they are outside, to help reduce barking.

Monday, October 16, 2023

To whom it may concern:

We are writing this on behalf of our neighbors, Karen and Dave Malinak, who are applying for a conditional use permit to board dogs at their new home in Independence. We are in full support of them receiving this permit.

We have lived in our home for the past 23 years, the front of our property butts up to the back of Karen and Dave's property. Karen had let us know several years ago that she had a dog boarding business, yet we would have never known this because we never hear a barking dog coming from her direction. They have been wonderful neighbors and great stewards of the community.

Thank you for your consideration in granting them a permit.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve and Liz Kolar". The signature is fluid and cursive, with the first name "Steve" being more prominent and stylized.

Steve and Liz Kolar
8150 Cedar Street
Greenfield, MN. 55373

To Whom it may concern: Oct. 14, 2023

When Karen + Dave moved to 7930 Cedar St. in Greenfield, I knew they would be kind, respectfull neighbors because that's the aura they gave off. I didn't realize that they boarded dogs until a few years later because I never heard any barking. Since then I personally know a few customers that absolutely love the care + safety that they give each dog. It is going to be a great loss for our neighborhood when they move but wherever they move to the area will be enriched by what they provide for boarding + also their respect for everyone they come in contact with.

Jill + Loren Pittman
8145 Cedar St.
Greenfield, Mn. 55373

October 12, 2023

To whom it may concern,

Karen and Dave Tautges have been my neighbors for 4 years and acquaintances of mine for many years. They are a hardworking couple with a strong love of animals. They board dogs occasionally, which has not had any noise impact in our neighborhood. As their neighbor, I have not had any issues with their dog boarding, quite the opposite as they have been helpful to us. They have repeatedly cared for my two dogs, ages 4 and 3. My dogs always come home happy and well cared for. I would not hesitate to recommend them as dog boarders.

Sincerely,

Kerry Toso Carlson
7963 Cedar Street
Rockford, MN 55373

■City of Independence

Request for an Amendment to the Conditional Use Permit to Allow an Outdoor Riding Arena to be Added to the Subject Property in Association with the Commercial Riding Stable on the Property located at 7550 Turner Road

<i>To:</i>	Planning Commission
<i>From:</i>	Mark Kaltsas, City Planner
<i>Meeting Date:</i>	May 21, 2024
<i>Applicant:</i>	Blue Valley Farm LLC
<i>Property Owner:</i>	Blue Valley Farm LLC
<i>Location:</i>	7550 Turner Road

Request:

Blue Valley Farm LLC (Applicant/Owner) is requesting the following action for the property located at 7550 Turner Road (PID No. 28-118-24-13-0005) in the City of Independence, MN.

- a. A conditional use permit amendment to allow an outdoor riding arena to be added to the subject property as a part of the commercial horse boarding facility on the subject property.

Property/Site Information:

The property is located west of County Road 92 on the north side of Turner Road. The property has an existing home, large barn/indoor riding arena, pasture and wetlands along the north property line. The property has the following characteristics:

Property Information: 7550 Turner Road
Zoning: *Agriculture*
Comprehensive Plan: *Agriculture*
Acreage: 23.06 acres

**Discussion:**

The subject property has had a conditional use permit to operate a commercial riding stable since its issuance in 2008 (copy of approval resolution attached to this report). In the fall of 2023, the applicant constructed an outdoor riding arena in the southeast corner of the property in an area that had previously been pasture. The work was done without a permit and upon learning of the work, the city issued a stop work order on the project. The city notified the property owner that an outdoor riding arena would be an expansion of the conditional use and require consideration by the city. In addition, the city noted that a grading permit would be required and identified a concern that the grading activities may have impacted existing wetlands.

The city's wetland specialist further reviewed the wetland issue. It was ultimately determined in December of 2023 by a technical advisory panel that no violation or wetlands impact had occurred on the property. The city outlined the process for applying for a conditional use permit amendment and the applicant worked on providing the necessary documentation.

The owner is asking the city to consider an amendment to the existing conditional use permit to add the (now constructed) outdoor riding arena (after the fact). Commercial riding stables are a conditional use in the Agriculture zoning district. The subject property is zoned Agriculture. Any expansion of a conditional use permit requires an amendment. Outdoor riding arenas are common facilities associated with many of the city's commercial or private riding stables. The city typically reviews all expansions of conditional use permits to determine if the expanded use meets the initial criteria for granting a conditional use permit. The city has reviewed the outdoor arena and offers the following considerations for planning commission consideration:

- The constructed outdoor riding arena is 100' x 200'.
- The owner brought in approximately 5,000 CY of soil to level the area.
- The owner provided the city with an "as built" grading and drainage plan. The city's engineer reviewed the plan and noted that if all improvements were completed, the proposed grading and drainage would meet applicable grading/drainage requirements. It should be noted that the drain tile has not been installed and finished grading has not been completed at this time. Additional work would need to be done by the owner's contractor if approved by the city.
- No outdoor lighting for the arena or use outside of permitted hours of operation is proposed (7:00 AM – 9:00 PM daily).
- The owner has indicated a willingness to continue a landscape screen to replace/continue the existing coniferous tree line along their southern property line. Should the city recommend approval, additional detail could be required relating to a possible screen or enhanced planting.
- The city notes that the location of the outdoor arena is 30' from both the east and south property lines. The location is directly north of the existing residence located at 7526 Turner Road.

The City has visited the site and discussed the operation of the proposed commercial riding stable with the applicant. The applicant noted that they currently have 19 horses (including a donkey) on the property. There are 7 total clients of the farm that own the 19 horses. It was noted that they provide lessons within the outdoor area 4-5 times per week. The owner also noted that they no longer ride on the south side of the arena along the south property line to get to the bridal trail located around the property perimeter.

The area where the arena is located was historically fenced and used for pasture, training and riding in association with the riding stable. The owner also noted that this area was occasionally used for jumping and related riding/training. The property previously sloped from south to north (see contours below).



The criteria for granting an amendment to the conditional use permit are clearly delineated in the City's Zoning Ordinance. The criteria for a conditional use permit amendment are the same as for the initial issuance of the conditional use permit. The criteria are as follows (Section 520.11 subd. 1, a-i):

1. The conditional use will not adversely affect the health, safety, morals and general welfare of occupants of surrounding lands.
2. The proposed use will not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity for the proposes already permitted or on the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.
3. Existing roads and proposed access roads will be adequate to accommodate anticipated traffic.
4. Sufficient off-street parking and loading space will be provided to serve the proposed use.
5. The proposed conditional use can be adequately serviced by public utilities or on-site sewage treatment, and sufficient area of suitable soils for on-site sewage treatment is available to protect the city form pollution hazards.
6. The proposal includes adequate provision for protection of natural drainage systems, natural topography, tree growth, water courses, wetlands, historic sites and similar ecological and environmental features.
7. The proposal includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance.
8. The proposed condition use is consistent with the comprehensive plan of the City of Independence.
9. The proposed use will not stimulate growth incompatible with prevailing density standard

The city also reviewed the conditions of the original CUP and whether or not the property was in compliance. The use of the facility appears to be in compliance with applicable conditions of the original conditional use permit with one exception. One condition noted by the city and may need to be addressed separately if confirmed to be in violation of the requisite conditions.

Condition 3). *That no employees of the business reside at the residence.*

The Planning Commission will need to review the requested amendment, information provided and determine whether or not the criteria for granting a conditional use permit amendment have been satisfied by the applicant.

Neighbor Comments:

The city was also contacted by the adjacent property owner located at 7526 Turner Road. He is concerned with several issues relating to the proposed amendment including, but not limited to:

- The adjacent owner is concerned with the drainage and its impact on the condition of his property along the south property line. There is a concern noted that the drainage has caused water to pond on his property.
- The adjacent owner is concerned with the increase in activity and intensification of the use in proximity to his property.
- The adjacent owner noted that the sand base becomes a dust bowl and impacts his use and enjoyment of his property.
- The adjacent owner noted that they ground carpet and mixed it with the sand in the riding arena.
- The adjacent owner is concerned with the location of the outdoor arena in proximity to his property and the impact that has to reasonable use and enjoyment.

Recommendation:

Staff is seeking a recommendation from the Planning Commission pertaining to the request for an amendment to the conditional use permit. Should the Planning Commission make a favorable recommendation to the City Council, the following findings and conditions should be included:

1. The proposed amendment to the conditional use permit request meets all applicable conditions and restrictions stated in Chapter V, Section 500, Subdivisions and Chapter V, Section 510, Zoning, in the City of Independence Ordinances.
2. City Council consideration of the conditional use permit amendment shall be subject to the following:
 - a. The applicant shall revise the plans in accordance with all comments made by Planning Commissioners.
 - b. The applicant shall revise the plans to accommodate all comments made by the City Engineer.

- c. The city shall confirm that all applicable conditions of the original conditional use permit are in full compliance.
3. The conditional use permit will be amended to allow an outdoor riding arena. The outdoor riding arena shall be constructed in accordance with the approved site and grading plans. All
4. All conditions of the original conditional use permit issued on September 8, 2008, by RESOLUTION No. 08-0908-02, shall remain in effect.
5. The applicant shall pay for all costs associated with reviewing the application and recording the resolution.

Attachments:

1. Application
2. Property Pictures
3. RESOLUTION No. 08-0908-02
4. As built survey

Attachments

7550 Turner Road (Looking south)



CITY OF
Independence
HENNEPIN COUNTY

RESOLUTION NO. 08-0908-02

**RESOLUTION FOR A CONDITIONAL USE PERMIT FOR PETER AND TRACY KOOMAN
FOR THE OPERATION OF A COMMERCIAL HORSE BOARDING FACILITY**

WHEREAS, the City of Independence is a municipal corporation, organized and existing under the laws of the State of Minnesota; and

WHEREAS, the City of Independence has adopted zoning regulations per Section 530 of the City Code, which allows for conditionally permitted uses in the agriculture zoning district; and

WHEREAS, Peter and Tracy Kooman (the "Applicants"), have applied for a conditional use permit to operate a commercial horse boarding facility at property located at 7550 Turner Road (the "Property"); and

WHEREAS, the City Council and Planning Commission reviewed the application as submitted, and have made the following findings of fact:

- 1) That the commercial horse boarding facility was a favorable business in the neighborhood; and
- 2) That best management practices were being upheld at the Property; and
- 3) That no employees of the business resided at the residence; and
- 4) The proposed conditional use will not adversely affect the health, safety, morals, and general welfare of occupants of surrounding lands; and
- 5) The proposed conditional use will not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity for the purposes already permitted or on the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Independence hereby approves the conditional use permit for Peter and Tracy Kooman to allow for a commercial horse boarding facility.

BE IT FINALLY RESOLVED, that the approval of the conditional use permit shall be subject to the following conditions:

1. The applicants shall continue to have manure removed on a timely basis.
2. The facility hours of operation shall be limited to 7:00 a.m. to 9:00 p.m. weekly.

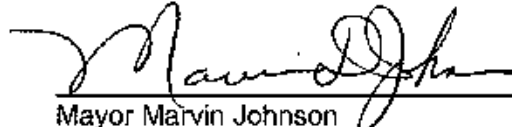
RES. NO. _____

Kooman Commercial Horse Facility CUP

Page 2

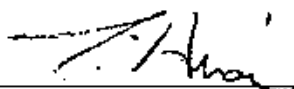
3. No horse shows, training clinics, or similar special events may occur on the property without the prior written approval of the City. In no case shall there be more than two horse shows, training clinics, or similar special events in any one calendar year.
4. No horse shall be ridden on adjacent private property without the written consent of the property owner.
5. Hack horses may not be rented at or from the property at any time.
6. No resident of, employee at, or visitor to the property shall park any vehicles on any public street, highway, or right-of-way.
7. Adequate measures must be taken and maintained to prevent or control offensive odors, fumes, dust, noise, and vibration in order that none of these will constitute a nuisance.
8. All feed and bedding materials must be stored at all times in a covered, completely enclosed building or structure with the exception of bales used for feed.
9. Appropriate management practices shall be utilized to control flies and odor.
10. Best efforts shall be made to maintain grass cover in paddock and pasture areas on the property and paddocks may not be used unless there is adequate ground cover.
11. Signage shall be consistent with city code standards.
12. The applicants shall have no more than 20 horses at the property at any given time.
13. The applicants must pay to the city a fee in the amount determined by the staff to represent the actual cost to the city for reviewing this conditional use permit application.
14. The Conditional Use Permit shall be reviewed annually for compliance.

This resolution was adopted by the City Council of the City of Independence on the 8th day of September 2008, by a vote of 5 Ayes and 0 Nays.



Mayor Marvin Johnson

ATTEST:



Toni Hirsch
City Administrator

(SEAL)

The undersigned, Peter and Tracy Kooman, owners of the property and applicant for the

RES. NO. _____

Kooman Commercial Horse Facility CUP

Page 3

conditional use permit, has read and understood the conditions of the above resolution and agrees to be bound by the conditions therein.

STATE OF MINNESOTA)
) ss.
COUNTY OF _____)

On this _____ day of _____, 20____, before me, a Notary Public within and for said County, personally appeared Peter and Tracy Kooman, known to me to be the person described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Notary Public

My Commission Expires _____

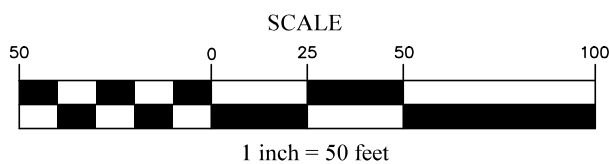
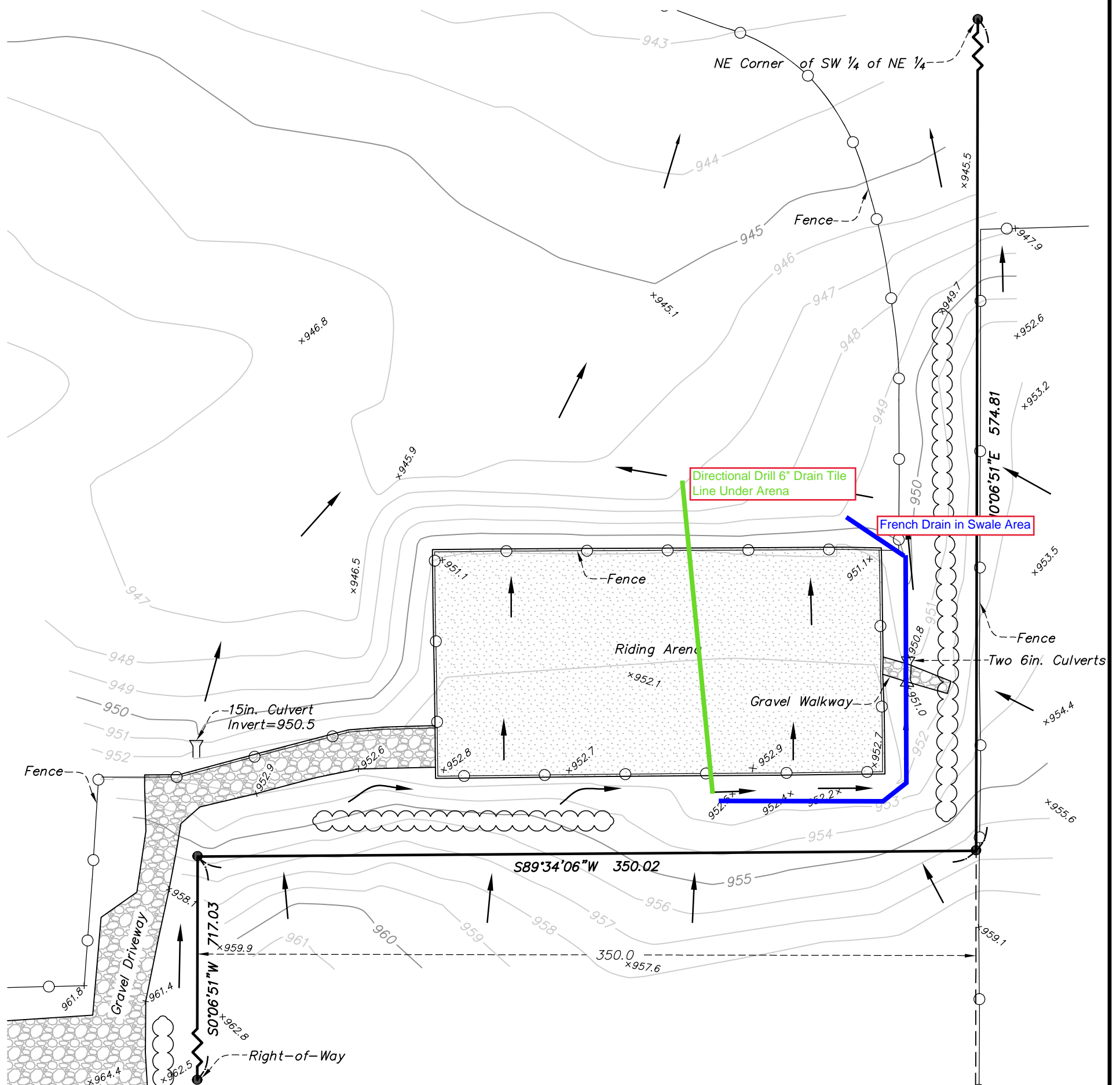
This document was drafted by:

City of Independence
1920 County Rd. 90
Independence, MN 55359

Grading As-Built Survey




Prepared for:

Windamawr Stables



Site Address:
7550 Turner Road,
Maple Plain, MN

Legend

-  Found Iron Monument
 × 000.0 Existing Elevation
 Drainage
 Tree Line

Boundary Description (Doc. 11009440)

That part of the Southwest Quarter of the Northeast Quarter of Section 28, Township 118, Range 24 West of the 5th Principal Meridian lying East of the West 327.39 feet thereof, EXCEPT the East 350.00 feet of the South 750.00 feet of said Southwest Quarter of the Northeast Quarter, Hennepin County.

Subject to any and all easements of record.

Note:

Note.
For the purposes of this survey, only a portion of the subject property is shown.

Bearings based on Hennepin County Coordinate System.

SCHOBORG
LAND SERVICES
INC.

763-972-3221
www.SchoborgLand.com

8997 Co. Rd. 13 SE
Delano, MN 55328

I hereby certify that this certificate of survey was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Kelly L. Brouwer

Kelly L. Brouwer

Date: March 29, 2024 Registration No. 48328

Job Number: 9717

Survey Date: 3/12/24

Drawing Name: Windamawr.dwg

Drawn by: SKH

Revisions:

City of Independence

Request for a Minor Subdivision to Permit a Rural View Lot on the Property located at 1215 Copeland Road

<i>To:</i>	Planning Commission
<i>From:</i>	Mark Kaltsas, City Planner
<i>Meeting Date:</i>	May 21, 2024
<i>Applicants:</i>	John and Patricia Malecek
<i>Owners:</i>	John and Patricia Malecek
<i>Location:</i>	1215 Copeland Road

Request:

Jon and Patricia Malecek (Applicant/Owner) is requesting the following action for the property located at 1215 Copeland Road (PID No. 30-118-24-14-0002) in the City of Independence, MN.

- a. A rural view lot subdivision to divide a 7.37-acre parcel from the subject property.

Property/Site Information:

The subject property is bounded on two sides by public roads (Copeland on the east and Nelson on the west). It is located north of CSAH 6. There is an existing home several detached accessory structures on the property. The property is primarily agriculture with some tree coverage and Pioneer Creek bisects the property from north to south. The property has the following site characteristics:

Property Information: 1215 Copeland Road

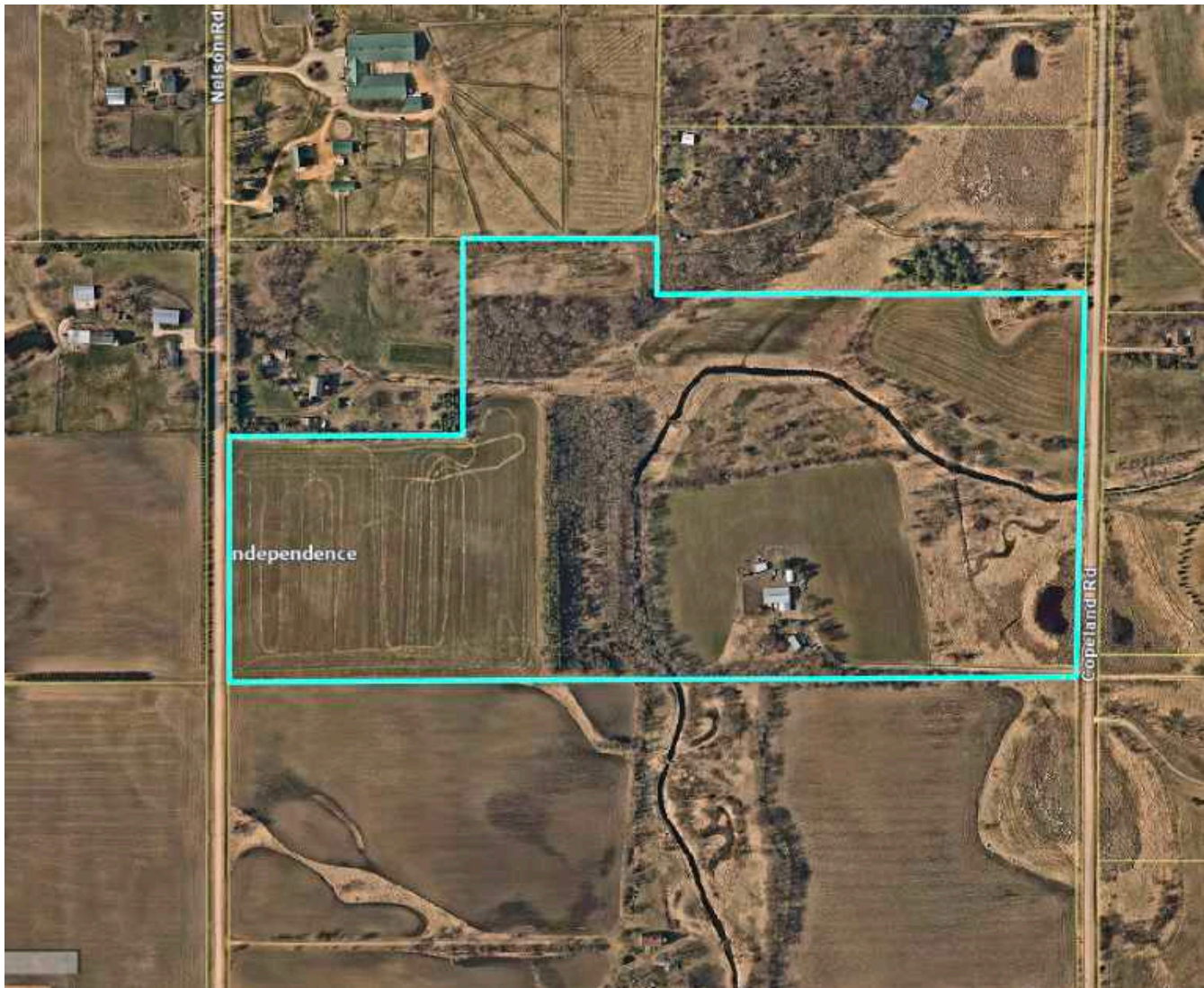
Zoning: Agriculture

Comprehensive Plan: Agriculture

Acreage (Before): 64.82 acres

Acreage (After): Tract A - 7.37 acres

Parcel B – 57.45 acres



Discussion:

The applicant approached the city about the possibility of subdividing the property and to create a rural view lot. The applicant is proposing to create one (1) rural view lot in accordance with the provisions set forth in the City's Zoning Ordinance. The subject property has a total acreage of 64.82 acres. The provisions in the Agriculture Zoning District allow one (1) rural view lot for every 40 acres of land under the same ownership. Under the current zoning standards, the subject property has the ability to realize one (1) rural view lot for a total of two (2) lots on this property.

Rural view lots must have the following characteristics:

Lot size required - between 2.5 and 10 acres

Lot size proposed – Tract A – 7.37 acres

Minimum lot frontage required – 300 LF (for property between 5-10 acres)

Minimum lot frontage proposed – Parcel A – 438 LF

Ratio of lot frontage to lot depth required - no more than 1:4

Ratio of lot frontage to lot depth proposed – Parcel A - ~1:2 (438:735)

In addition to the minimum size necessary to subdivide, the ordinance requires a minimum of 2.5 acres of buildable upland, 300 LF of frontage on a right of way and no greater than a 1:4 ratio of lot frontage to lot depth for each rural view lot. Based on the proposed subdivision, the rural view lot would have 7.37 acres of useable upland and 438 LF of frontage on Nelson Road. The proposed lot depth to lot frontage ratio for the rural view lot would be ~1:2.

The proposed newly created property would be “in line” with the property to the north and located primarily along Nelson Road. The proposed Tract A would accommodate a new building pad given its overall size, topography and proposed dimensions. Any development on the property would need to meet all applicable setbacks. The City received an on-site septic report verifying that the proposed rural view lot can accommodate a primary and secondary on-site septic system. Access to the property would be from Nelson Road. The applicant has included the requisite drainage and utility easements as required by ordinance (Section 500.15, Subd.’s 1 and 2) for the proposed parcel.

The remaining 57.45 acres would continue to be a conforming lot of record. The existing home and detached accessory structures meet all applicable setbacks in the after condition. It should be noted that there are no remaining rural view lot eligibilities associated with Tract B in the after condition.

The newly created Tract A will be required to pay the City’s requisite Park Dedication fee. For this property the requirement is \$5,277.50. This fee will need to be paid prior to recording the subdivision.

*Park dedication fee of \$3,500 per lot up to 4.99 acres,
plus \$750 per acre for each acre over 5 acres*

Summary:

The proposed subdivision appears to meet all of the applicable standards of the City’s zoning and subdivision ordinance. The lot being created will fit into the surrounding area and have minimal impacts on the surrounding properties.

Neighbor Comments:

The City has not received any written comments regarding the proposed subdivision to permit a rural view lot.

Recommendation:

Staff is seeking a recommendation from the Planning Commission for the requested Minor Subdivision. Should the Planning Commission make a positive recommendation to the City Council, the following findings and conditions should be included:

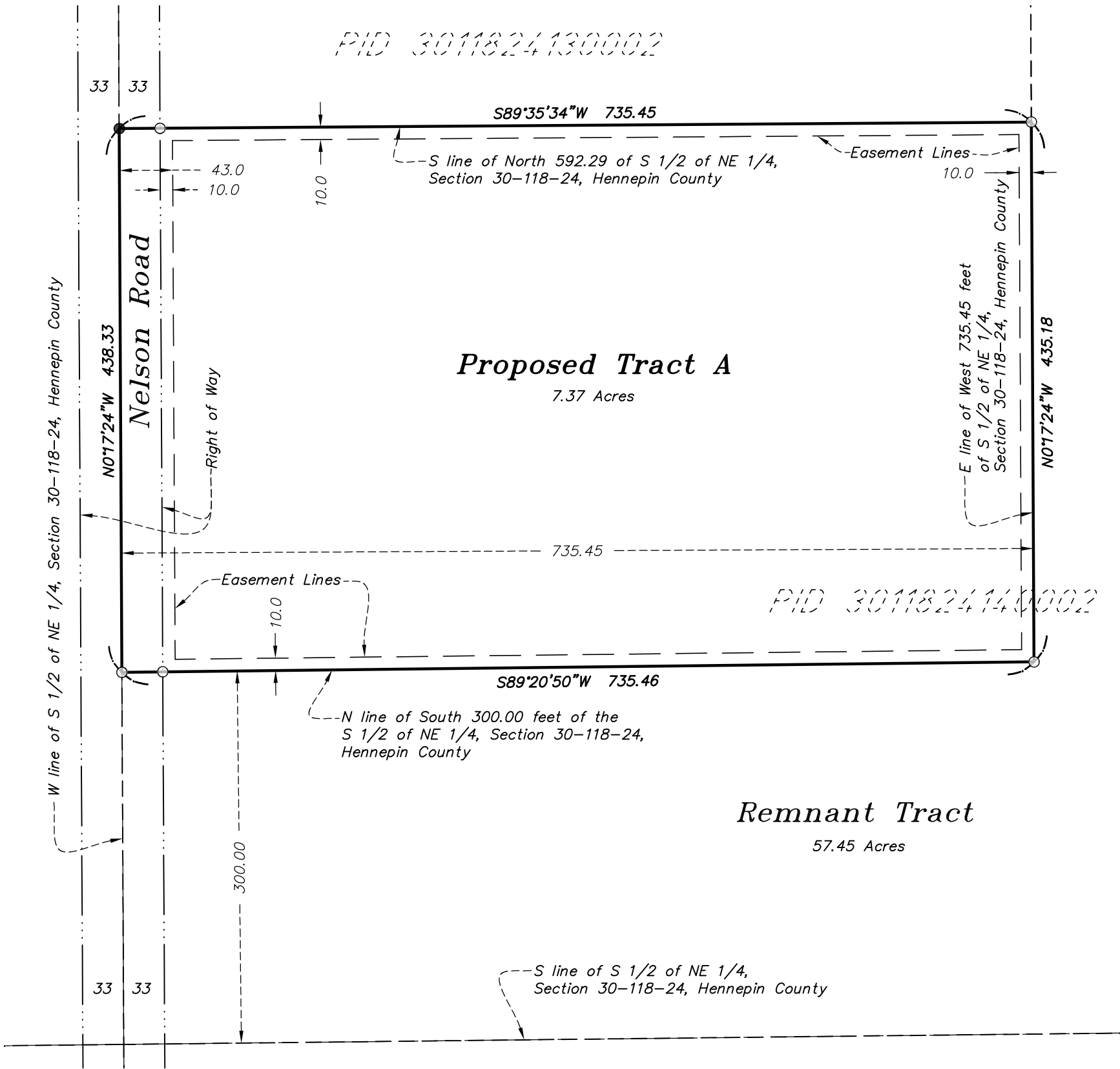
1. The proposed minor subdivision for a rural view lot meets all applicable criteria and conditions stated in Chapter V, Section 500, Planning and Land Use Regulations of the City of Independence Zoning Ordinance.
2. The Applicant shall pay the park dedication fees in the amount of \$5,277.50, for the newly created Tract A, prior to the applicant receiving final approval to record the subdivision by the City.
3. The Applicant shall pay for all costs associated with the City's review of the requested subdivision.
4. The Applicant shall record the subdivision and City Council Resolution with the county within six (6) months of approval.
5. The Applicant shall execute and record the requisite drainage and utility easements with the county within six (6) months of approval.
6. The remaining Tract B will have no remaining rural view lot eligibilities.

Attachments:

1. Property Pictures
2. Proposed Subdivision Survey
3. Proposed Subdivision Exhibit

Certificate of Survey

Prepared for:
Jon Malecek



Existing Description PID 3011824140002 (Doc. No. T05728763)
South 1/2 of the Northeast Quarter of Section 30, Township 118, Range 24, except the West 735.45 feet of the North 592.29 feet thereof; and except the North 168.23 feet of the Southeast Quarter of said Northeast Quarter.

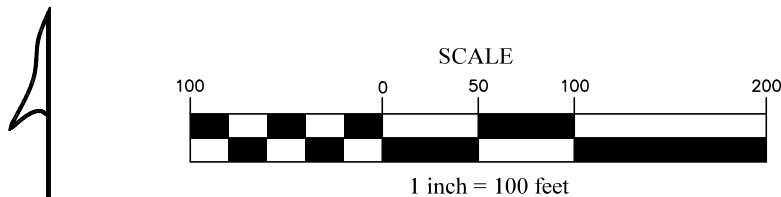
Proposed Tract A Description
That part of the West 735.45 feet of the South Half of the Northeast Quarter, Section 30, Township 118, Range 24, Hennepin County, Minnesota, lying south of the North 592.29 feet thereof and lying north of the South 300.00 feet thereof.

Subject to a Drainage and Utility Easement over, under, and across the northerly 10 feet thereof, the easterly 10 feet thereof, the southerly 10 feet thereof and the easterly 10 feet of the westerly 43 feet thereof.

Subject to township road right of way.

Remnant Boundary Description
The South Half of the Northeast Quarter of Section 30, Township 118, Range 24, Hennepin County, Minnesota; except that part of the West 735.45 feet thereof lying north of the South 330.00 feet thereof; and except the North 168.23 feet of the Southeast Quarter of said Northeast Quarter.

Subject to township road right of way.



- Legend
- Found Iron Monument
 - Set Iron Monument (LS 48328)

Bearings based on Wright County Coordinate System

Job Number:	9714
Survey Date:	3/5/24
Drawing Name:	Malecek.dwg
Drawn by:	SKH
Revisions:	

I hereby certify that this certificate of survey was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Kelly L. Brouwer
Kelly L. Brouwer

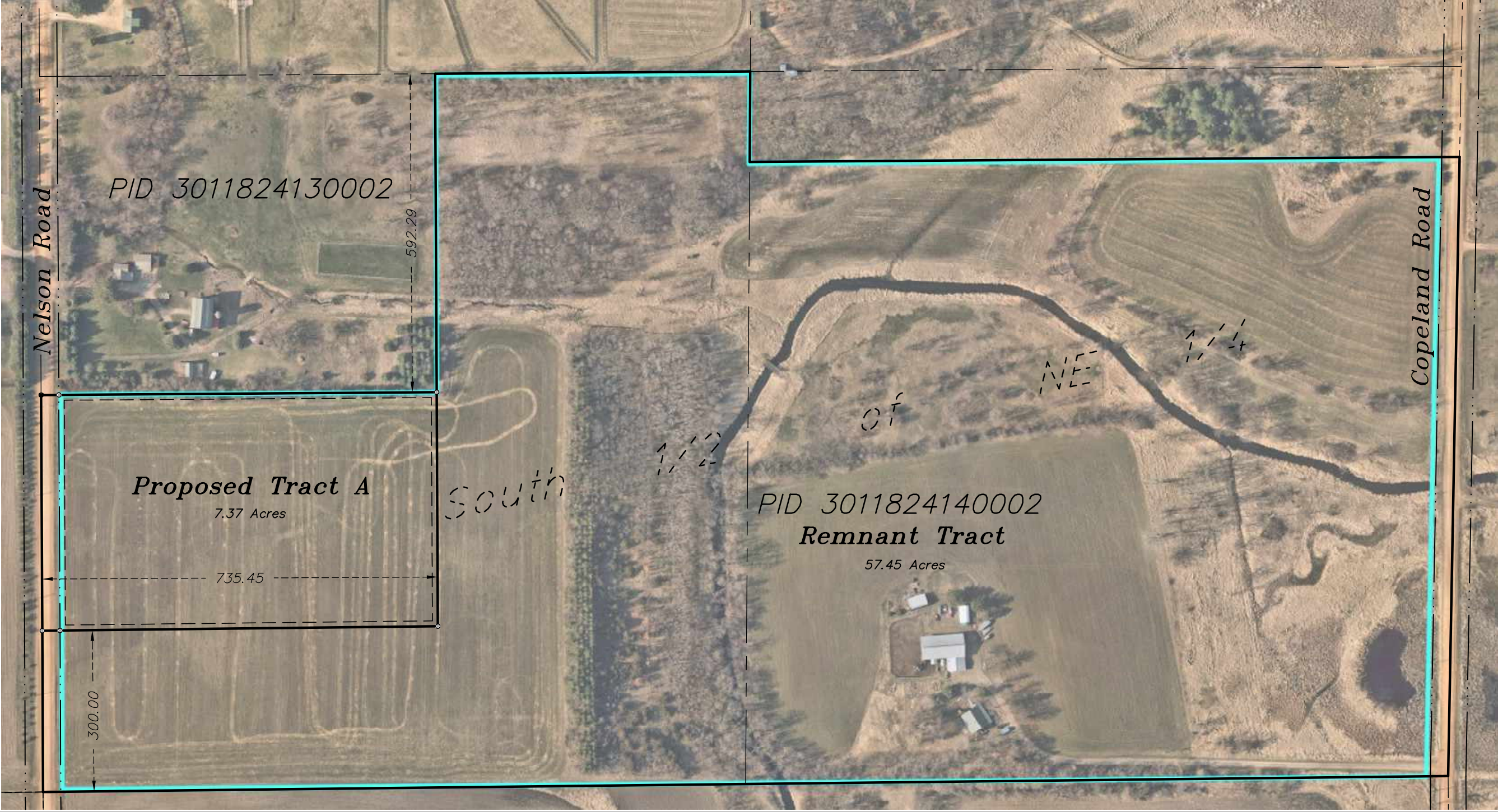
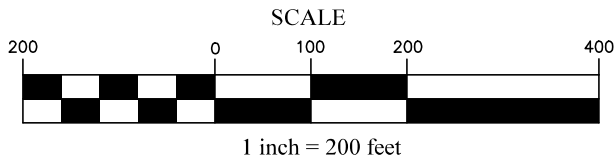
Date: May 15, 2024 Registration No. 48328

SCHOBORG
LAND SERVICES
INC.


763-972-3221 8997 Co. Rd. 13 SE
www.SchoborgLand.com Delano, MN 55328

Exhibit

Prepared for:
Jon Malecek



Job Number:	9714
Survey Date:	3/5/24
Drawing Name:	Malecek.dwg
Drawn by:	SKH
Revisions:	5/15/24 (EXHIBIT)



SCHOBORG
LAND SERVICES
INC.

763-972-3221
www.SchoborgLand.com

8997 Co. Rd. 13 SE
Delano, MN 55328

■City of Independence

***Request for an Amendment to the Conditional Use Permit to Allow New
Antennas on the Existing Accessory Structure on the
Property Located at 8590 County Road 6***

<i>To:</i>	Planning Commission
<i>From:</i>	Mark Kaltsas, City Planner
<i>Meeting Date:</i>	May 21, 2024
<i>Applicant:</i>	Crown Castle
<i>Owner:</i>	Crown Castle (Verizon Tower)
<i>Location:</i>	8590 County Road 6

Request:

Katy Swanson on behalf of Crown Castle (Applicant/Owner) is requesting the following action for the property located at 8590 County Road 6 (PID No. 32-118-24-23-0001) in the City of Independence, MN.

- a. A conditional use permit amendment to allow two additional antennas to be mounted on the existing structure located at the base of the existing cellular tower on the subject property.

Property/Site Information:

The property is located on the north side of County Road 6, just east of Copeland Road. The property is surrounded by the new Windsong Golf Course. The property has the following characteristics:

Property Information for 8590 County Road 6

Zoning: *Agriculture*

Comprehensive Plan: *Agriculture*

Acreage: *69.91 Acres*



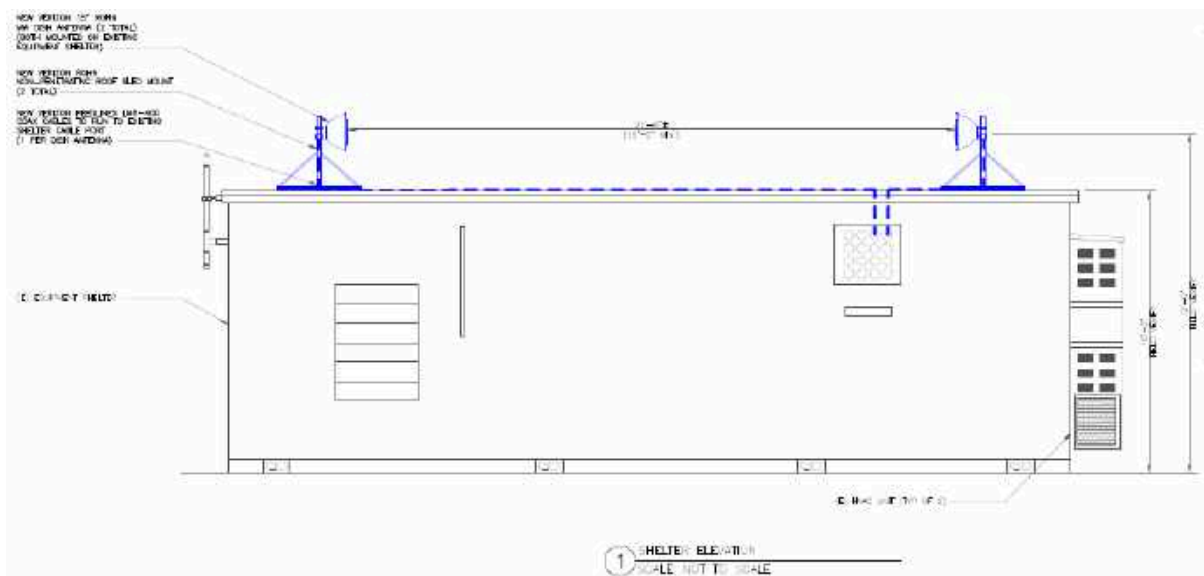
Discussion:

The applicant is seeking an amendment to the existing conditional use permit to allow the installation of two (2) new satellite dishes to be located on the existing accessory structure located at the base of the existing tower. The tower and accessory structure were approved as a conditional use permit in 1997 (see attached). Any modification that increases the number of antennas is subject to a conditional use permit amendment.

520.09 Subd. 8. If a conditional use permit holder wishes to alter or extend the operation or to change the conditions of the permit, the city will evaluate the permit holder's compliance with the existing permit conditions. Any change involving structural alterations, enlargement, intensification of use, or similar change not specifically permitted by the conditional use permit issued requires an amended conditional use permit. An amended conditional use permit application must be administered in a manner similar to that required for a new conditional use permit.

The applicant is proposing to locate 2 new 15" antennas on the existing accessory building. The antennas would be mounted to the roof of the structure (see elevation below). The city regulates the tower, accessory structure and all associated cabling, transmission devices, generators, etc. associated with cellular telecommunications towers. The city allows replacement, minor modifications and similar changes to be made to cellular towers and their equipment with administrative and building permit review and approval. Any increase in size, number or type of antennas, expansion of buildings, location of generators or similar equipment generally prompts an amendment to the conditional use permit to ensure compliance with all conditions and to better track and manage tower development.

The city has recently worked with one of the other carriers on this tower to update the landscape screening around the base so that it was in compliance with approved conditions.



Proposed shelter view



- Rohn Non-Penetrating Roof mount (not quoted HW/Logistics per RFP)
- 30-inch mast
- Quick assembly
- 8 blocks @ 32lbs = 256 lbs of ballast (TBO)
- Cable management will consist of:
 - Zip ties
 - Angle adaptors with snap-ins
 - PVC pipe runs across roof top
 - Possible Fiberbond chape (still being reviewed)



- Hatch plate to be used
- Existing grounding points
- No new penetrations
 - Roof or walls
- Indoor
 - Existing rack power
 - 2 x 10amp
 - Existing cable trays

Any amendment to an existing CUP must meet the same requirements established for granting a new CUP. The criteria for granting a conditional use permit are clearly delineated in the City's Zoning Ordinance (Section 520.11 subd. 1, a-i) as follows:

1. *The conditional use will not adversely affect the health, safety, morals and general welfare of occupants of surrounding lands.*
2. *The proposed use will not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity for the proposes already permitted or on the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.*
3. *Existing roads and proposed access roads will be adequate to accommodate anticipated traffic.*
4. *Sufficient off-street parking and loading space will be provided to serve the proposed use.*
5. *The proposed conditional use can be adequately serviced by public utilities or on-site sewage treatment, and sufficient area of suitable soils for on-site sewage treatment is available to protect the city form pollution hazards.*
6. *The proposal includes adequate provision for protection of natural drainage systems, natural topography, tree growth, water courses, wetlands, historic sites and similar ecological and environmental features.*
7. *The proposal includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance.*
8. *The proposed condition use is consistent with the comprehensive plan of the City of Independence.*
9. *The proposed use will not stimulate growth incompatible with prevailing density standards.*

The existing tower has a conditional use permit and is currently in compliance. The location of the tower and its proximity to any residential or commercial structure generally mitigates potential impacts resulting from the proposed additional antennas. The low height of the antennas also aids in their mitigation. The Planning Commission will need to determine if the requested amendment to the conditional use permit meets all of the aforementioned conditions and restrictions.

Neighbor Comments:

The City has not received any written comments regarding the proposed amendment to the conditional use permit.

Recommendation:

Staff is seeking a recommendation from the Planning Commission for the request for an amendment to the conditional use permit. Should the Planning Commission make a recommendation to approve the requested actions, the following findings and conditions should be considered:

1. The proposed conditional use permit amendment, site plan review and variance meet all applicable conditions and restrictions stated Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. The conditional use permit will be reviewed annually by the City to ensure conformance with the conditions set forth in the resolution.
3. This amendment approves 2 new antennas to be located on the roof of the existing equipment shelter and in accordance with the approved plans.
4. The Conditional Use Permit Amendment shall include the following conditions:
 - a. The conditional use permit shall be reviewed annually by the City.
 - b. This amendment approves two (2) new antennas to be located on the roof of the existing equipment shelter.
 - c. The antennas shall be installed in accordance with the approved plans and elevations attached hereto as EXHIBIT B.
 - d. The City can administratively approve any replacement of existing antennas. Any expansion or increase to the size of the existing ground equipment, buildings or number of antennae will be subject to the City's review and an amendment to the conditional use permit.
5. The Applicant shall pay for all costs associated with the City's review of the conditional use permit amendment.

Attachments:

1. Application
2. Proposed Plan Set
3. Original CUP Approval



**CITY OF
INDEPENDENCE
MINNESOTA**

Date Submitted: 04-22-2024

Applicant Information

Name: Katy Swenson
Address: 2709 Cascade Drive
Austin, Texas 78757
Primary Phone: 512-652-2116
Email: katy.swenson@crowncastle.com

Owner Information

Name: Fox Lake LLC Fox Lake LLC
Address: 18 Golf Walk
Independence, Minnesota
55359
Primary Phone: 5126522116
Email: katy.swenson@crowncastle.com

Property Address:

PID:

Planning Application Type: Conditional Use Permit

Description:

Supporting Documents: Building Plans

Signature:

Katy Swenson

July 29, 1997

Gerald Bentz site - 8590 County Road 6

Smith introduced and moved the adoption of the following resolution, second by Fraser:

RESOLUTION NO. 97-0729-01

RESOLUTION APPROVING CONDITIONAL USE PERMIT
FOR TELECOMMUNICATIONS TOWER AT 8590 COUNTY ROAD 6

WHEREAS, American Portable Telecom has applied for a conditional use permit to place a telecommunications tower on the property at 8590 County Road 6 in the City of Independence; and

WHEREAS, after due public notice and hearing, the application was considered by the Planning Commission and City Council;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF INDEPENDENCE:

1. The application for a conditional use permit is granted, subject to the following conditions:
 - a) The height of the telecommunications tower shall not exceed 130' (40 meters);
 - b) If the telecommunication s tower becomes obsolete or American Portable Telecom goes out of business, American Portable Telecom is responsible for taking down the tower within one (1) years time.

Upon vote being taken, the following voted in favor: Johnson, Hernandez, Smith, Fraser and Emmer; Against: None; whereupon said resolution was declared passed and adopted.

Richard Jacob's site - 6590 County Road 11

JoAnn Schumacher , 6390 County Road 11, had concerns regarding the location of the tower at the Jacob's site, near the silos. If the Schumacher's subdivide their property and the temporary cul-de-sac would become a through. This tower would then become visible from this location.

Emmer wanted it noted that the City is not waving any of its legal rights by making this motion, in the event it does not work out and APT agrees to defer legal enforcement at this time.

CROWN CASTLE USA INC. SITE ACTIVITY REQUIREMENTS:

1. NOTICE TO PROCEED- NO WORK SHALL COMMENCE PRIOR TO CROWN CASTLE USA INC. WRITTEN NOTICE TO PROCEED (NTP) AND THE ISSUANCE OF A PURCHASE ORDER. PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE CROWN CASTLE USA INC. NOC AT 800-788-7011 & THE CROWN CASTLE USA INC. CONSTRUCTION MANAGER.
2. "LOOK UP" - CROWN CASTLE USA INC. SAFETY CLIMB REQUIREMENT: THE INTEGRITY OF THE SAFETY CLIMB AND ALL COMPONENTS OF THE CLIMBING FACILITY SHALL BE CONSIDERED DURING ALL STAGES OF DESIGN, INSTALLATION, AND INSPECTION. TOWER MODIFICATION, MOUNT REINFORCEMENTS, AND/OR EQUIPMENT INSTALLATIONS SHALL NOT COMPROMISE THE INTEGRITY OR FUNCTIONAL USE OF THE SAFETY CLIMB OR ANY COMPONENTS OF THE CLIMBING FACILITY ON THE STRUCTURE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: PINCHING OF THE WIRE ROPE, BENDING OF THE WIRE ROPE FROM ITS SUPPORTS, DIRECT CONTACT OR CLOSE PROXIMITY TO THE WIRE ROPE WHICH MAY CAUSE FRICTIONAL WEAR, IMPACT TO THE ANCHORAGE POINTS IN ANY WAY, OR TO IMPEDE/BLOCK ITS INTENDED USE. ANY COMPROMISED SAFETY CLIMB, INCLUDING EXISTING CONDITIONS MUST BE TAGGED OUT AND REPORTED TO YOUR CROWN CASTLE USA INC. POC OR CALL THE NOC TO GENERATE A SAFETY CLIMB MAINTENANCE AND CONTRACTOR NOTICE TICKET.
3. PRIOR TO THE START OF CONSTRUCTION, ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE OBTAINED. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, FIRE, FLOOD ZONE, ENVIRONMENTAL, AND ZONING. AFTER ONSITE ACTIVITIES AND CONSTRUCTION ARE COMPLETED, ALL REQUIRED PERMITS SHALL BE SATISFIED AND CLOSED OUT ACCORDING TO LOCAL JURISDICTIONAL REQUIREMENTS.
4. ALL CONSTRUCTION MEANS AND METHODS; INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN, AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING LANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION) AND CROWN CASTLE USA INC. STANDARD CED-STD-10253, INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION, TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH ANSI/TIA-322 (LATEST EDITION).
5. ALL SITE WORK TO COMPLY WITH QAS-STD-10068 "INSTALLATION STANDARDS FOR CONSTRUCTION ACTIVITIES ON CROWN CASTLE USA INC. TOWER SITE," CED-STD-10294 "STANDARD FOR INSTALLATION OF MOUNTS AND APPURTENANCES," AND LATEST VERSION OF ANSI/TIA-1019-A-2012 "STANDARD FOR INSTALLATION, ALTERATION, AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS." IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY CROWN CASTLE USA INC. PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
9. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
10. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION E) CONSTRUCTION SAFETY PROCEDURES.
11. ALL SITE WORK SHALL BE AS INDICATED ON THE STAMPED CONSTRUCTION DRAWINGS AND PROJECT SPECIFICATIONS, LATEST APPROVED REVISION.
12. CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
13. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, TOWER OWNER, CROWN CASTLE USA INC., AND/OR LOCAL UTILITIES.
14. THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE REQUIRED BY LOCAL JURISDICTION AND SIGNAGE REQUIRED ON INDIVIDUAL PIECES OF EQUIPMENT, ROOMS, AND SHELTERS.
15. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE CARRIER'S EQUIPMENT AND TOWER AREAS.
16. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
17. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND/OR PROJECT SPECIFICATIONS.
18. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
19. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
20. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
21. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.
22. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

GENERAL NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR: GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION
CARRIER: VERIZON
TOWER OWNER: CROWN CASTLE USA INC.
2. THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKPEOPLE WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, FORMWORK, SHORING, ETC. SITE VISITS BY THE ENGINEER OR HIS REPRESENTATIVE WILL NOT INCLUDE INSPECTION OF THESE ITEMS AND IS FOR STRUCTURAL OBSERVATION OF THE FINISHED STRUCTURE ONLY.
4. NOTES AND DETAILS IN THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE GREATER, MORE STRICT REQUIREMENTS, SHALL GOVERN. IF FURTHER CLARIFICATION IS REQUIRED CONTACT THE ENGINEER OF RECORD.
5. SUBSTANTIAL EFFORT HAS BEEN MADE TO PROVIDE ACCURATE DIMENSIONS AND MEASUREMENTS ON THE DRAWINGS TO ASSIST IN THE FABRICATION AND/OR PLACEMENT OF CONSTRUCTION ELEMENTS BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE DIMENSIONS, MEASUREMENTS, AND/OR CLEARANCES SHOWN IN THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION OR CUTTING OF ANY NEW OR EXISTING CONSTRUCTION ELEMENTS. IF IT IS DETERMINED THAT THERE ARE DISCREPANCIES AND/OR CONFLICTS WITH THE CONSTRUCTION DRAWINGS THE ENGINEER OF RECORD IS TO BE NOTIFIED AS SOON AS POSSIBLE.
6. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CROWN CASTLE.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
9. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
10. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CARRIER AND CROWN CASTLE PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
11. CONTRACTOR IS TO PERFORM A SITE INVESTIGATION AND IS TO DETERMINE THE BEST ROUTING OF ALL CONDUITS FOR POWER, AND TELCO AND FOR GROUNDING CABLES AS SHOWN IN THE POWER, TELCO, AND GROUNDING PLAN DRAWINGS.
12. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF CROWN CASTLE USA INC.
13. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
14. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.

CONCRETE, FOUNDATIONS, AND REINFORCING STEEL:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. UNLESS NOTED OTHERWISE, SOIL BEARING PRESSURE USED FOR DESIGN OF SLABS AND FOUNDATIONS IS ASSUMED TO BE 1000 psf.
3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 3000 psi AT 28 DAYS, UNLESS NOTED OTHERWISE. NO MORE THAN 90 MINUTES SHALL ELAPSE FROM BATCH TIME TO TIME OF PLACEMENT UNLESS APPROVED BY THE ENGINEER OF RECORD. TEMPERATURE OF CONCRETE SHALL NOT EXCEED 90°f AT TIME OF PLACEMENT.
4. CONCRETE EXPOSED TO FREEZE-THAW CYCLES SHALL CONTAIN AIR ENTRAINING ADMIXTURES. AMOUNT OF AIR ENTRAINMENT TO BE BASED ON SIZE OF AGGREGATE AND F3 CLASS EXPOSURE (VERY SEVERE). CEMENT USED TO BE TYPE II PORTLAND CEMENT WITH A MAXIMUM WATER-TO-CEMENT RATIO (W/C) OF 0.45.
5. ALL STEEL REINFORCING SHALL CONFORM TO ASTM A615. ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185. ALL SPLICES SHALL BE CLASS "B" TENSION SPLICES, UNLESS NOTED OTHERWISE. ALL HOOKS SHALL BE STANDARD 90 DEGREE HOOKS, UNLESS NOTED OTHERWISE. YIELD STRENGTH (Fy) OF STANDARD DEFORMED BARS ARE AS FOLLOWS:
#4 BARS AND SMALLER.....40 ksi
#5 BARS AND LARGER.....60 ksi
6. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.....3"
CONCRETE EXPOSED TO EARTH OR WEATHER:
#6 BARS AND LARGER.....2"
#5 BARS AND SMALLER.....1-1/2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
SLAB AND WALLS.....3/4"
BEAMS AND COLUMNS.....1-1/2"
7. A TOOLED EDGE OR A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

ELECTRICAL INSTALLATION NOTES:

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES/ORDINANCES.
2. CONDUIT ROUTINGS ARE SCHEMATIC. CONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED AND TRIP HAZARDS ARE ELIMINATED.
3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.
 - 4.1. ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OF APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE.
 - 4.2. ALL OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING CURRENT RATING THAT SHALL BE GREATER THAN THE SHORT CIRCUIT CURRENT TO WHICH THEY ARE SUBJECTED, 22,000 AIC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ARTICLE 110.24 NEC OR THE MOST CURRENT ADOPTED CODE PRE THE GOVERNING JURISDICTION.
5. EACH END OF EVERY POWER PHASE CONDUCTOR, GROUNDING CONDUCTOR, AND TELCO CONDUCTOR OR CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC AND OSHA.
6. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH LAMICOID TAGS SHOWING THEIR RATED VOLTAGE, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING AND BRANCH CIRCUIT ID NUMBERS (i.e. PANEL BOARD AND CIRCUIT ID'S).
7. PANEL BOARDS (ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.
8. ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
9. ALL POWER AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE COPPER CONDUCTOR (#14 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
10. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE COPPER CONDUCTOR (#6 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
11. POWER AND CONTROL WIRING IN FLEXIBLE CORD SHALL BE MULTI-CONDUCTOR, TYPE SOOW CORD (#14 OR LARGER) UNLESS OTHERWISE SPECIFIED.
12. POWER AND CONTROL WIRING FOR USE IN CABLE TRAY SHALL BE MULTI-CONDUCTOR, TYPE TO CABLE (#14 OR LARGER), WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
13. ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION NOT LESS THAN 75° C (90° C IF AVAILABLE).
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEC AND NEC.
15. ELECTRICAL METALLIC TUBING (EMT), INTERMEDIATE METAL CONDUIT (IMC), OR RIGID METAL CONDUIT (RMC) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
16. ELECTRICAL METALLIC TUBING (EMT) OR METAL-CLAD CABLE (MC) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. SCHEDULE 40 PVC UNDERGROUND ON STRAIGHTS AND SCHEDULE 80 PVC FOR ALL ELBOWS/90s AND ALL APPROVED ABOVE GRADE PVC CONDUIT.
18. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
19. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SET NEW FITTINGS ARE NOT ACCEPTABLE.
20. CABINETS, BOXES AND WIRE WAYS SHALL BE LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEC AND THE NEC.
21. WIREWAYS SHALL BE METAL WITH AN ENAMEL FINISH AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARDS (WIREMOLD SPECMATE WIREWAY).
22. SLOTTED WIRING DUCT SHALL BE PVC AND INCLUDE COVER (PANDUIT TYPE E OR EQUAL).
23. CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON-PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES (i.e. POWDER-ACTUATED) FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE FISHED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED FLUSH TO FINISH GRADE TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.
24. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL. SHALL MEET OR EXCEED UL 50 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND NEMA 3R (OR BETTER) FOR EXTERIOR LOCATIONS.
25. METAL RECEPTACLE, SWITCH AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
26. NONMETALLIC RECEPTACLE, SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2 (NEWEST REVISION) AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
27. THE CONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CARRIER AND/OR CROWN CASTLE USA INC. BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
28. THE CONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD LIFE AND PROPERTY.
29. INSTALL LAMICOID LABEL ON THE METER CENTER TO SHOW "VERIZON".
30. ALL EMPTY/SPARE CONDUITS THAT ARE INSTALLED ARE TO HAVE A METERED MULE TAPE PULL CORD INSTALLED.

CONDUCTOR COLOR CODE		
SYSTEM	CONDUCTOR	COLOR
120/240V, 1Ø	A PHASE	BLACK
	B PHASE	RED
	NEUTRAL	WHITE
	GROUND	GREEN
120/208V, 3Ø	A PHASE	BLACK
	B PHASE	RED
	C PHASE	BLUE
	NEUTRAL	WHITE
277/480V, 3Ø	GROUND	GREEN
	A PHASE	BROWN
	B PHASE	ORANGE OR PURPLE
	C PHASE	YELLOW
DC VOLTAGE	NEUTRAL	GREY
	GROUND	GREEN
	POS (+)	RED**
	NEG (-)	BLACK**

* SEE NEC 210.5(C)(1) AND (2)
** POLARITY MARKED AT TERMINATION

ABBREVIATIONS:

ANT	ANTENNA
(E)	EXISTING
FIF	FACILITY INTERFACE FRAME
GEN	GENERATOR
GPS	GLOBAL POSITIONING SYSTEM
GSM	GLOBAL SYSTEM FOR MOBILE
LTE	LONG TERM EVOLUTION
MGB	MASTER GROUND BAR
MW	MICROWAVE
(N)	NEW
NEC	NATIONAL ELECTRIC CODE
(P)	PROPOSED
PP	POWER PLANT
QTY	QUANTITY
RECT	RECTIFIER
RBS	RADIO BASE STATION
RET	REMOTE ELECTRIC TILT
RFDS	RADIO FREQUENCY DATA SHEET
RRH	REMOTE RADIO HEAD
RRU	REMOTE RADIO UNIT
SIAD	SMART INTEGRATED DEVICE
TMA	TOWER MOUNTED AMPLIFIER
TYP	TYPICAL
UMTS	UNIVERSAL MOBILE TELECOMMUNICATIONS SYSTEM
W.P.	WORK POINT

APWA UNIFORM COLOR CODE:

WHITE	PROPOSED EXCAVATION
PINK	TEMPORARY SURVEY MARKINGS
RED	ELECTRIC POWER LINES, CABLES, CONDUIT, AND LIGHTING CABLES
YELLOW	GAS, OIL, STEAM, PETROLEUM, OR GASEOUS MATERIALS
ORANGE	COMMUNICATION, ALARM OR SIGNAL LINES, CABLES, OR CONDUIT AND TRAFFIC LOOPS
BLUE	POTABLE WATER
PURPLE	RECLAIMED WATER, IRRIGATION, AND SLURRY LINES
GREEN	SEWERS AND DRAIN LINES

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CROWN CASTLE

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**TOWER
ENGINEERING
PROFESSIONALS**

326 TRYON RD
RALEIGH, NC 27603
(919) 661-6351

TEP JOB #: 46495.934007

**VERIZON SITE NUMBER:
5000183598**

**BU #: 825669
MAPLE PLAIN**

8590 CO RD 6
INDEPENDENCE, MN 55359

**EXISTING 131'-3"
MONOPOLE TOWER**

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
0	03/06/24	ODS	CONSTRUCTION	TWH

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: **ANDREW RAGNAR BERGUND**
Signature: *Andrew Ragnar Bergund*
Date: 03/06/2024 License # 59085

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T-2

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FLOODPLAIN NOTE:
THE TOWER IS LOCATED IN ZONE "X" AREAS OF MINIMAL
FLOOD HAZARD ACCORDING TO FEMA COMMUNITY PANEL
#27053C0276F, DATED 11/04/2016.

SITE PLAN DISCLAIMER:

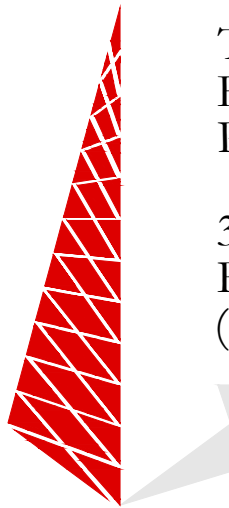
PROPERTY LINES AND STRUCTURES HAVE
BEEN DIGITIZED FROM GOOGLE MAPS.
CROWN CASTLE USA INC. HAS NOT
COMPLETED A SITE SURVEY AND
THEREFORE MAKES NO CLAIMS AS TO
THE ACCURACY OF INFORMATION
DEPICTED ON THIS SHEET.

verizon

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CROWN
CASTLE

1600 UTICA AVENUE SOUTH
ST. LOUIS PARK, MN 55416



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Signature:

Date 03/06/2024 License # 59085

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SHEET NUMBER:

C-1.1

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COPELAND RD

APPROXIMATE LOCATION OF
PROPERTY LINE 1273'-4"±

APPROXIMATE LOCATION OF PROPERTY LINE 1019'-10"±

APPROXIMATE LOCATION OF PROPERTY LINE 467'-4"±

APPROXIMATE LOCATION OF PROPERTY LINE 1682'-8"±

APPROXIMATE LOCATION OF PROPERTY LINE 981'-2"±

APPROXIMATE LOCATION OF PROPERTY LINE 2591'-3"±

WATERTOWN RD

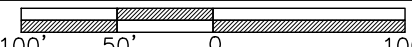
- (E) VERIZON SHELTER
- (E) COMPOUND
- (E) 131'-3" MONOPOLE TOWER

(E) SITE LOCATION
(REFERENCE C-1.2 FOR DETAILS)

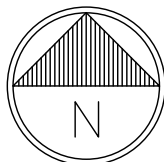
(E) BUILDING (TYP)

1 OVERALL SITE PLAN

SCALE:

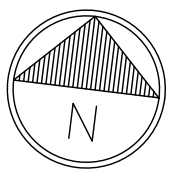
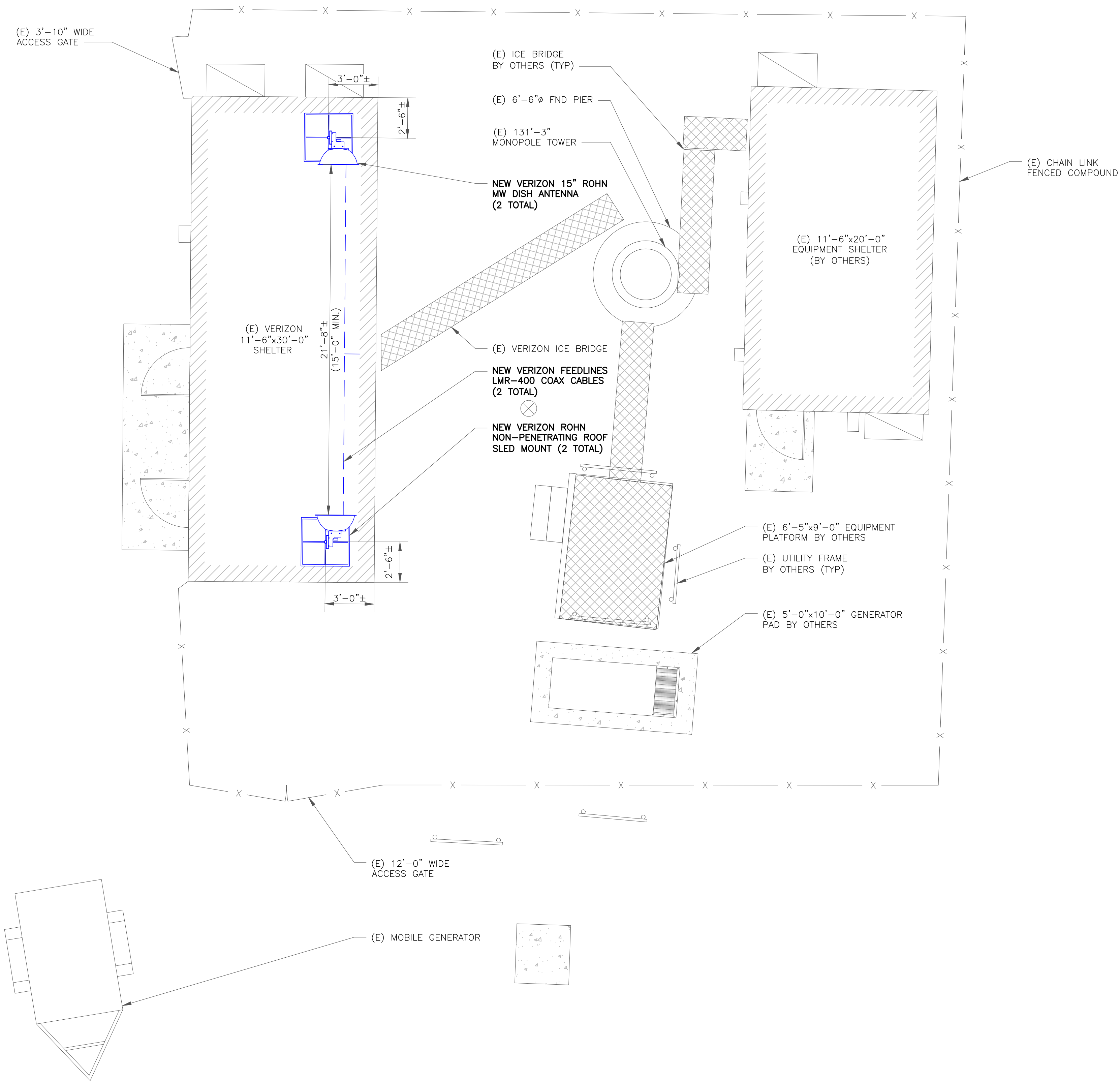



1" = 100'-0" (FULL SIZE)
1" = 200'-0" (11x17)




NOTE:
COMPOUND SHOWN BELOW WAS REPRODUCED FROM
INFORMATION PROVIDED BY CROWN CASTLE.
CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IS
AS INDICATED ON SITE PLAN. CONTRACTOR IS TO
ESTABLISH THE EXISTENCE AND LOCATION OF ALL
EXISTING UNDERGROUND AND OVERHEAD UTILITIES.
IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER OF
ANY DISCREPANCIES.

NOTE:
TEP DID NOT PERFORM A MAPPING OR STRUCTURAL
ANALYSIS ON THE EXISTING SHELTER TO DETERMINE
STRUCTURAL CAPACITY FOR ANY LOADING.

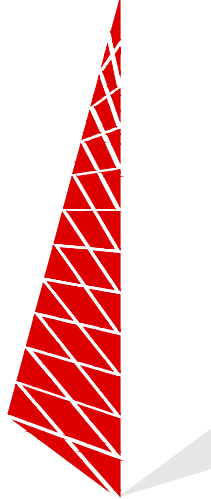




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C-1.2

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NEW VERIZON 15" ROHN
MW DISH ANTENNA (2 TOTAL)
(BOTH MOUNTED ON EXISTING
EQUIPMENT SHELTER)

NEW VERIZON ROHN
NON-PENETRATING ROOF SLED MOUNT
(2 TOTAL)

NEW VERIZON FEEDLINES LMR-400
COAX CABLES TO RUN TO EXISTING
SHELTER CABLE PORT
(1 PER DISH ANTENNA)

(E) EQUIPMENT SHELTER

21'-8"±
(15'-0" MIN.)

10'-0"
FIELD VERIFY

12'-0"
FIELD VERIFY

(E) HVAC UNIT (TYP OF 2)

1 SHELTER ELEVATION
SCALE: NOT TO SCALE

ROOF NOTES:

1. TEMPORARY ROOF PROTECTION – PROVIDE TEMPORARY PROTECTION USING 3/4" STYROFOAM PADDING AGAINST THE ROOFING MATERIAL WITH 3/4" PLYWOOD BETWEEN THE PADDING AND ANY EQUIPMENT, MATERIALS, AND TOOLS STORED ON THE ROOF. THE ROOF AROUND WORKING AREAS SHALL ALSO BE TEMPORARILY PROTECTED AS WELL AS THE PATHS BETWEEN THE WORK AREA AND ROOF ENTRY DOORS. THE METHOD OF PROTECTION SHALL ALSO COMPLY WITH ANY ROOF WARRANTY THAT MAY BE IN EFFECT. IF PENETRATING SUBSTANCES, SUCH AS ACIDS, CHEMICALS, OR TOOLS ARE TO BE USED DURING CONSTRUCTION, PROVIDE ADDITIONAL PROTECTION TO PREVENT ROOF DAMAGE.
2. WATER PROTECTION – THE CONTRACTOR SHALL PROVIDE PROTECTION FROM WATER PENETRATION DURING THE INSTALLATION OF ROOF PENETRATING SUPPORT SYSTEMS OR ANY OTHER ROOF PENETRATING PROCEDURE. METHODS SHALL COMPLY WITH ANY ROOF WARRANTY IN EFFECT.
3. FIRE PROTECTION – COMPLY WITH OSHA STANDARDS THROUGHOUT THE PROJECT. WHEN OPERATING TOOLS THAT PRODUCE SPARKS, FLAME OR HEAT, THE CONTRACTOR WILL DESIGNATE AN INDIVIDUAL TO STAND-BY THE INDIVIDUAL OPERATING THE TOOL WITH A 20 LB. ABC FIRE EXTINGUISHER WITH IT'S PIN REMOVED AND READY TO USE IN CASE OF A FIRE. THE CONTRACTOR SHALL PROVIDE AT ALL TIMES ONE PROPERLY CHARGED 20 LB. ABC FIRE EXTINGUISHER WITHIN CLOSE PROXIMITY TO THE WORK AREA. THE FIRE EXTINGUISHER SHALL HAVE BEEN INSPECTED WITHIN THE PAST YEAR. IT SHALL BE KEPT IN A CONSPICUOUS LOCATION AND EASILY ACCESSABLE. PATHS TO THE FIRE EXTINGUISHER AND OTHER FIRE FIGHTING EQUIPMENT SHALL BE KEPT CLEAR.
4. REINSTATEMENT – ANY ROOFING, PAVEMENT, FOOTPATH, CURB, GUTTERS, WALLS, FLOORS, SERVICES, AND EXISTING FEATURES OR OTHER PROPERTIES DISTURBED OR DESTROYED DURING CONSTRUCTION SHALL BE REINSTATED BY THE CONTRACTOR TO A CONDITION AT LEAST EQUAL TO THAT EXISTING BEFORE COMMENCEMENT OF OPERATIONS AT NO COST TO THE OWNER OR THE CLIENT.
5. REPAIRS – THE CONTRACTOR SHALL USE THIS EXISTING ROOFING WARRANTY CONTRACTOR TO REPAIR HOLES, DAMAGES, AND ALTERATIONS TO THE ROOF. IF EXCESSIVE COSTS ARE ASSOCIATED WITH THIS ROOFING CONTRACTOR, THE CONTRACTOR SHALL NOTIFY THE CLIENT OF THE SITUATION AND PROVIDE AN ALTERNATE ROOFING CONTRACTOR TO PERFORM THE WORK.
6. CONTRACTOR SHALL REMOVE ONLY THE AMOUNT OF ROOFING AND INSULATION REQUIRED TO PERFORM THE WORK. AFTER THE COMPLETION OF WORK, REPLACE THE DEMOLISHED INSULATION WITH A COMPATABLE INSULATION, PROVIDING A TIGHT JOINT ALL AROUND. FLASH IN NEW BUILT-UP ROOFING TO THE EXISTING BUILT-UP ROOFING AS RECOMMENDED BY THE ROOFING MANUFACTURER TO PROVIDE A WATERTIGHT ROOF.


NOTE:
TEP DID NOT PERFORM A MAPPING OR STRUCTURAL ANALYSIS ON THE EXISTING SHELTER TO DETERMINE STRUCTURAL CAPACITY FOR ANY LOADING.



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TOWER
ENGINEERING
PROFESSIONALS

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RALEIGH, NC 27603
(919) 661-6351

TEP JOB #: 46495.934007

VERIZON SITE NUMBER:
5000183598

BU #: 825669
MAPLE PLAIN


8590 CO RD 6
INDEPENDENCE, MN 55359

EXISTING 131'-3"
MONOPOLE TOWER

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
0	03/06/24	ODS	CONSTRUCTION	TWH

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Print Name: ANDREW RAGNARBERG, UND
Signature: 
Date 03/06/2024 License # 59085

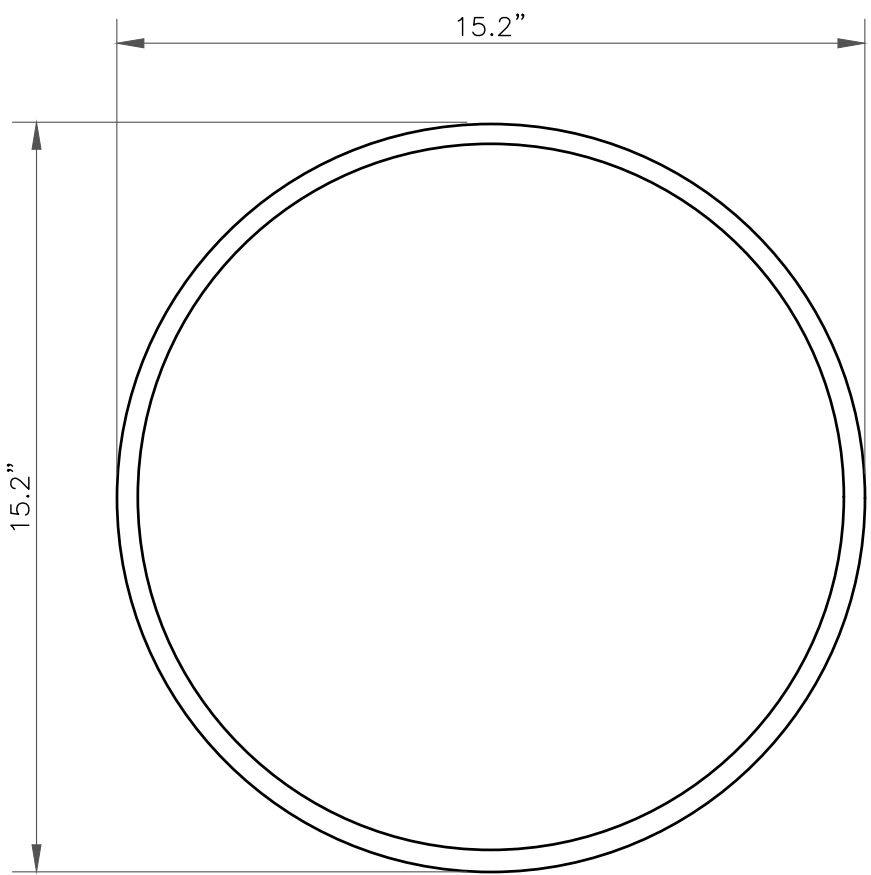
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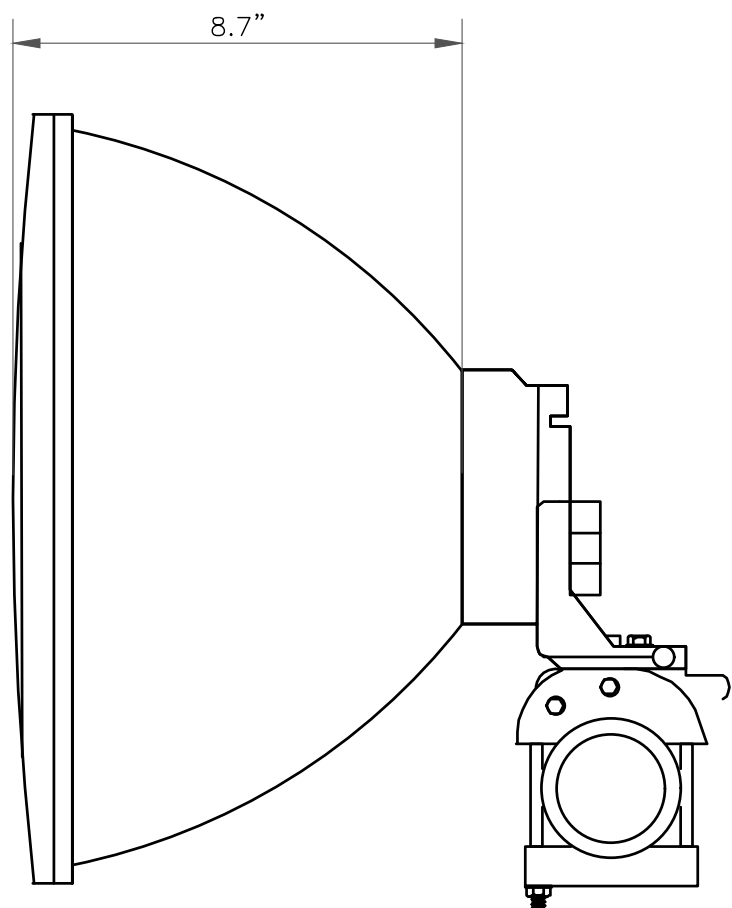
C-2

REVISION:

0



FRONT



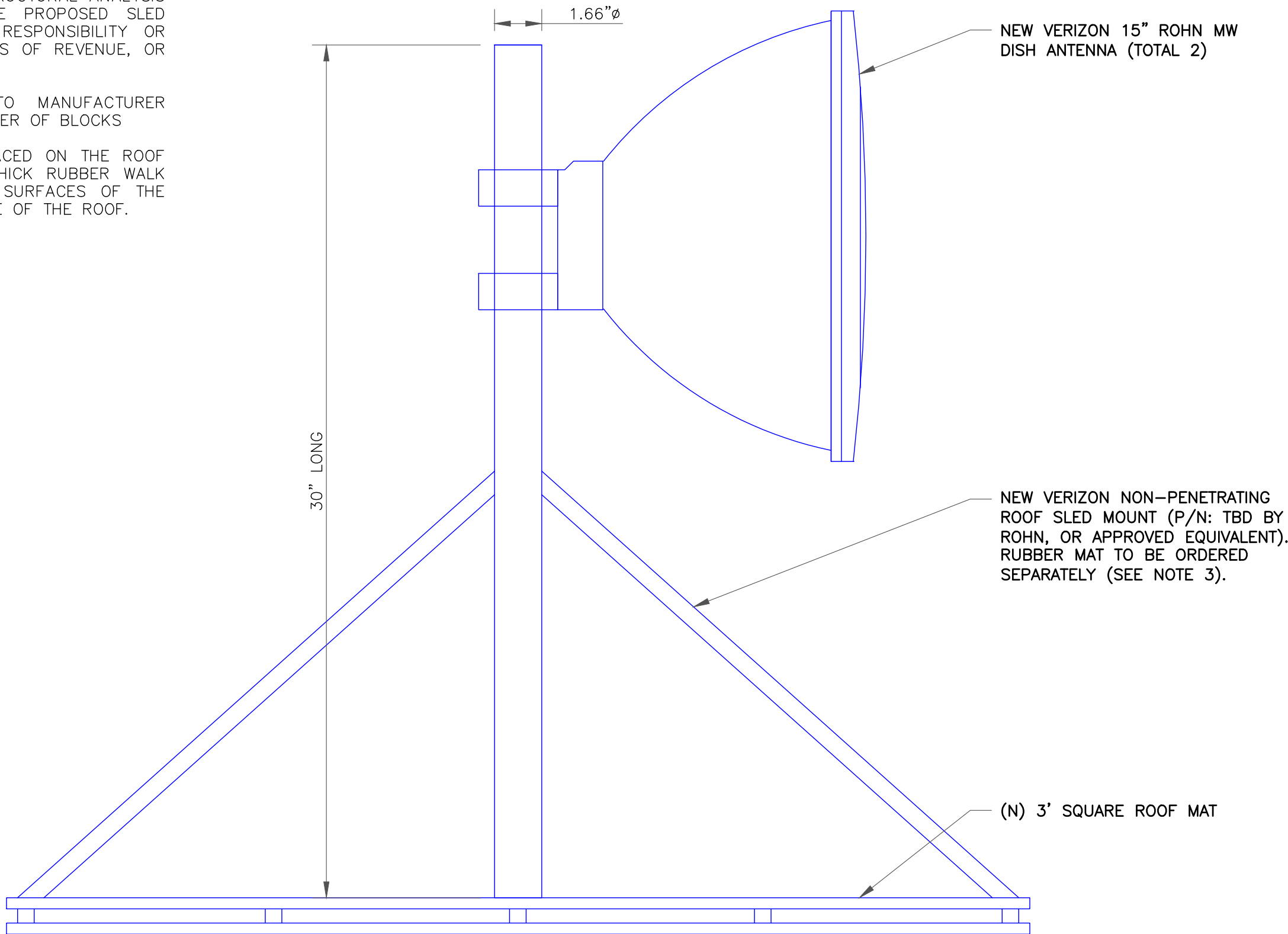
PLAN

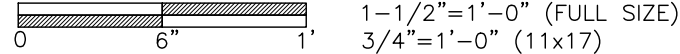
MECHANICAL SPECIFICATIONS
HEIGHT: 15.2 IN
WIDTH : 15.2 IN
DEPTH: 8.7 IN
WEIGHT: 11.0 LBS

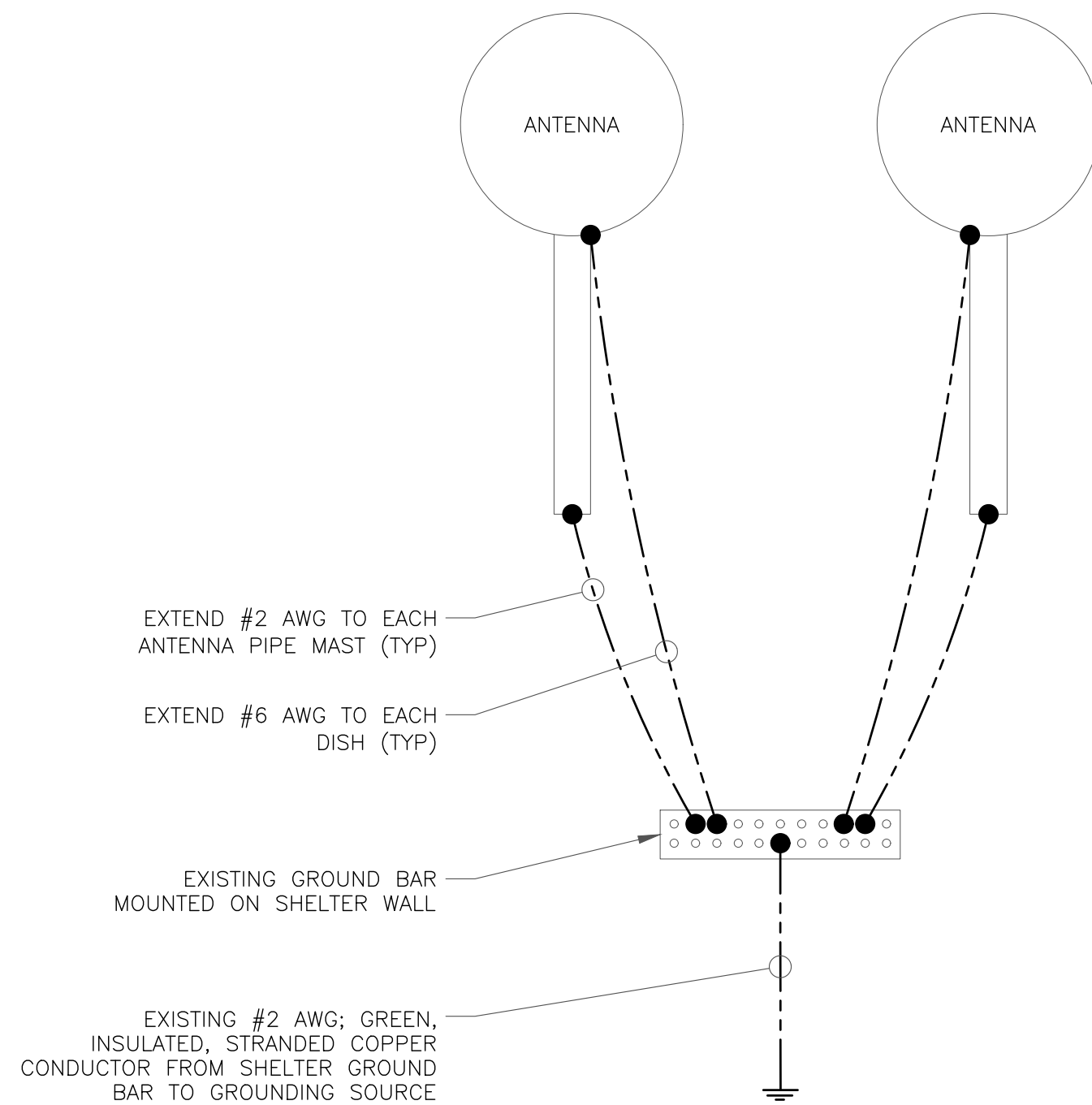
2 MICROWAVE DISH DETAIL
SCALE: NOT TO SCALE

NOTES:

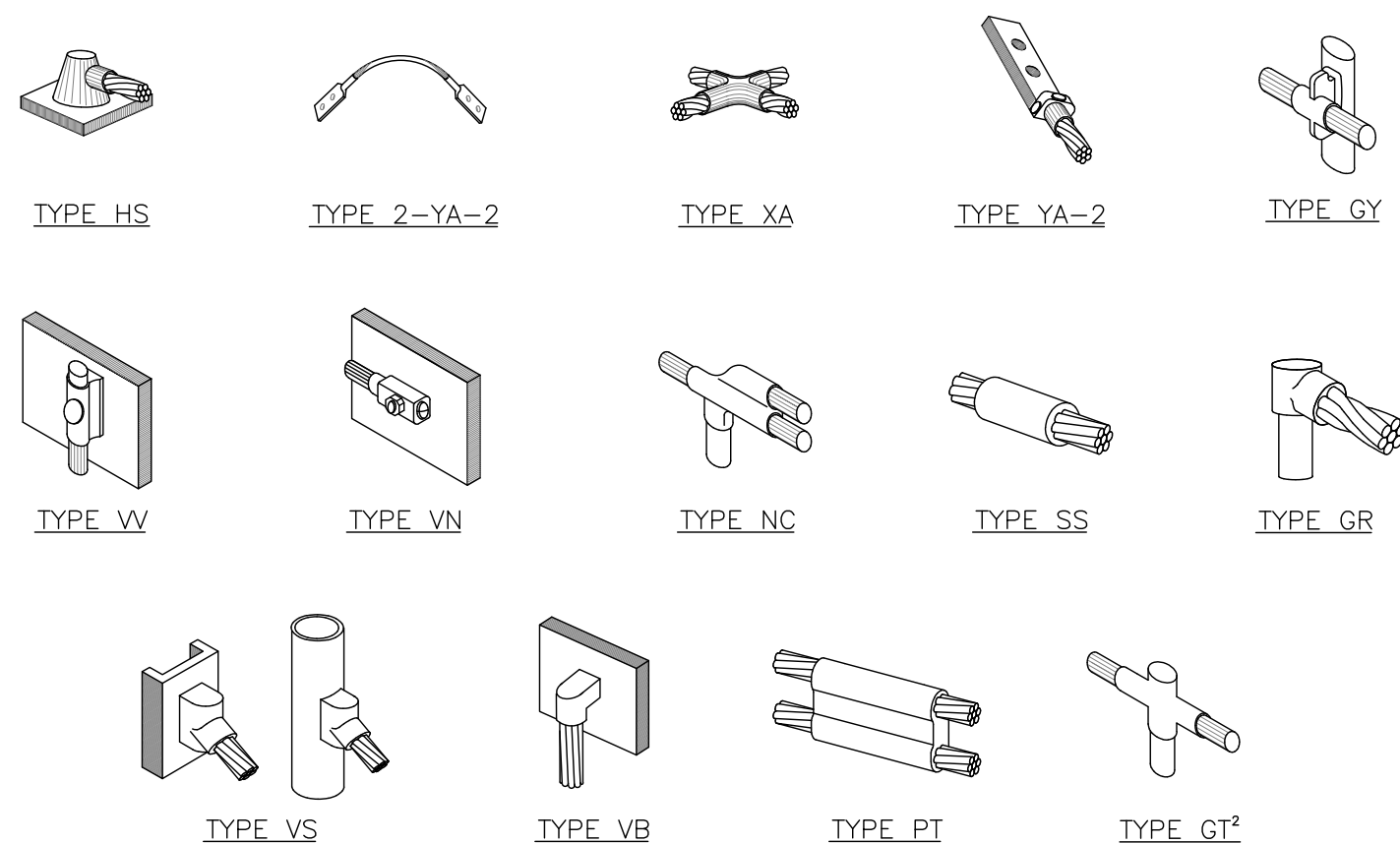
1. TEP DID NOT PERFORM A STRUCTURAL ANALYSIS FOR THE ROOFTOP OR THE PROPOSED SLED MOUNT. TEP ASSUMES NO RESPONSIBILITY OR LIABILITY FOR DAMAGES, LOSS OF REVENUE, OR INJURY THAT MIGHT OCCUR.
2. CONTRACTOR TO REFER TO MANUFACTURER RECOMMENDATIONS FOR NUMBER OF BLOCKS
3. ALL EQUIPMENT THAT IS PLACED ON THE ROOF MUST HAVE A HALF INCH THICK RUBBER WALK PAD BETWEEN ALL BOTTOM SURFACES OF THE EQUIPMENT AND THE SURFACE OF THE ROOF.



3 MOUNT DETAIL
SCALE: 




1 GROUNDING DIAGRAM
SCALE: NOT TO SCALE




- NOTE:
1. ERICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH CONSTRUCTION MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.
 2. MOLD TYPE ONLY TO BE USED BELOW GRADE WHEN CONNECTING GROUND RING TO GROUND ROD.


2 CADWELD GROUNDING CONNECTIONS
SCALE: NOT TO SCALE



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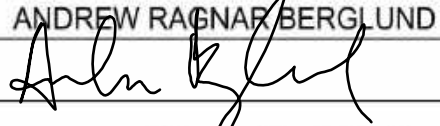
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SHEET NUMBER:
G-1

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