



PLANNING COMMISSION MEETING AGENDA
TUESDAY JANUARY 17, 2023

7:30 PM REGULAR MEETING

1. Call to Order
2. Roll Call
3. Annual Election of Chair and Vice Chair
4. Approval of Minutes:
 - a. December 6, 2022, City Council Meeting Minutes (For Information Only)
5. Tom Koch (Applicant/Owner) is requesting that the City consider the following review/discussion for the property generally located at 5865 Koch's Crossing (PID No's. 11-118-24-12-0004, 11-118-24-13-0003, 11-118-24-31-0005, 11-118-24-13-0002, 11-118-24-42-0001, 11-118-24-42-0002) in Independence, MN:
 - a. Final Plat to allow a 33-lot subdivision to be known as KOCH FARM SANCTUARY.
6. **PUBLIC HEARING:** Chad Greenway (Applicant/Owner) requests that the City consider the following action for the properties located at 2171 Copeland Rd. and 2052 Nelson Rd., Independence, MN (PID No. 19-118-24-14-0001 and 19-118-24-13-0003):
 - a. A minor subdivision to permit a lot line rearrangement to adjust the property line that runs east and west between the two subject properties.
7. **PUBLIC HEARING:** William Stoddard (Applicant) and John Zeglin (Owner) requests that the City consider the following actions for the property located at 9285 US Hwy 12, Independence, MN (PID No. 18-118-24-21-0001):
 - a. A comprehensive plan amendment to allow a portion of the property to be re-guided to the Urban Commercial - UC zoning district. A portion of the property is already guided Urban Commercial.
 - b. Rezoning of a portion of the property from AG-Agriculture to UC-Urban Commercial.

- c. Conditional Use Permit to allow a planned unit commercial development on the subject property. The proposed development would include office warehouse and private garage condominium buildings.
 - d. Site Plan Review to allow the proposed development.
 - e. Preliminary Plat to allow the subdivision of the property into eight (8) residential lots and associated lots to allow the proposed commercial development.
8. Open/Misc.
9. Adjourn.

MINUTES OF A REGULAR MEETING OF
THE INDEPENDENCE CITY COUNCIL
TUESDAY, DECEMBER 6, 2022–6:30 P.M.
City Hall Chambers

1. CALL TO ORDER.

Pursuant to due call and notice thereof, a regular meeting of the Independence City Council was called to order by Mayor Johnson at 6:30 p.m.

2. PLEDGE OF ALLEGIANCE.

Mayor Johnson led the group in the Pledge of Allegiance.

3. ROLL CALL

PRESENT: Mayor Johnson and Councilors McCoy, Betts, Spencer, and Grotting.

ABSENT: None.

STAFF: City Administrator Kaltsas, Assistant Administrator Simon, and City Attorney Vose.

VISITORS: None.

4. ****Consent Agenda****

All items listed under Consent Agenda are considered to be routine by Council and will be acted on by one motion. There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- a. Approval of City Council Minutes from the November 15, 2022, Regular City Council Meeting.
- b. Approval of Accounts Payable (Batch # 1; Checks Numbered 21629-21650, Batch # 2; Checks Numbered 21651-21671).
- c. Pay Request #2 BV Construction – WHPS/North Memorial Garage.

Motion by McCoy, seconded by Betts to approve the Consent Agenda. Ayes: Johnson, McCoy, Betts, Spencer, and Grotting. Nays: None. Absent: None. Abstain. None. MOTION DECLARED CARRIED. 5.0

5. SET AGENDA – ANYONE NOT ON THE AGENDA CAN BE PLACED UNDER OPEN/MISC.
Update on nuisance violation on Lake Haughey Rd.

6. REPORTS OF BOARDS AND COMMITTEES BY COUNCIL AND STAFF

Grotting attended the following meetings:

- Planning Commission
- Workshop

Spencer attended the following meetings:

- Workshop
- Personnel committee meeting

McCoy attended the following meetings:

- Workshop
- Clint Bergman's funeral – 1970's Councilman (When he resigned from the Council, they appointed Marvin.)
- View Santa

Betts attended the following meetings:

- Workshop

Johnson attended the following meetings:

- Workshop
- Rosa Merz' funeral /luncheon
- Executive Hwy 55 Corridor Coalition
- Breakfast with Congressman Dean Phillips
- Clinton Bergman's funeral
- Hennepin County Truth in Taxation Hearing (motioned to reduce HC levy by 1%)
- County Assessor meeting
- Personnel Committee Meeting
- Old Fashioned Lutefisk Dinner at Lyndale Lutheran Church
- View Santa
- Ridgeview Hospital Foundation Waconia

Simon attended the following meetings:

- Workshop
- View Santa
- Fall Ratio meeting with Hennepin County Assessor Joshua Hoogland

Kaltsas attended the following meetings:

- Workshop
- MetCouncil and City of Medina
- Fall Ratio meeting
- Personnel Committee

7. Consider Adoption of the Final 2023 Tax Levy and General Fund Budget and Associated Actions.

The City is now ready to adopt 2023 General Fund levy, General Operating Budget, debt service levy, and Pioneer/Sarah Watershed Taxing District levy. The City must certify these before end of 2022. The budgeting process began in August, and we adopted a Preliminary Budget in September. We saw significant increase in property valuations for payable 2023 resulting that a potential for the City to capture some of that increase. We decided not to capture that, but we are reducing our rate by almost 7%. Taxpayers in Independence, with Hennepin County increase of 3.5%, over half of Independence will see a decrease in overall taxes. We don't know what next year brings. A lot of cities have captured some of that windfall. In

the future if the values stay flat or go down, it will change our taxes going forward. It is good news for Independence residents and that we can fully fund our Police Department, and give them and our staff in increase as well as equipment, streets, roads, etc. The overall increase was 5.75% increase year over year. The Total General Fund Budget is \$3,313,823.

a. **RESOLUTION 22-1206-01** – Adopting the 2023 General Fund Budget.

Motion by Betts, seconded by McCoy to approve the 2023 General Fund Budget. Ayes: Johnson, McCoy, Betts, Spencer, and Grotting. Nays: None. Absent: None. Abstain. None. MOTION DECLARED CARRIED. 5.0

McCoy thanked the staff and Council serving on boards to get a workable budget.

b. **RESOLUTION 22-1206-02** – Adopting the 2023 General Tax Levy.

The 2023 Final Property Tax General Levy includes \$313,499 Debt Service and \$3,627,322 General Fund but does not include the Watershed Levy.

Motion by Grotting, seconded by Spencer to approve the 2023 Final Property Tax General Levy. Ayes: Johnson, McCoy, Betts, Spencer, and Grotting. Nays: None. Absent: None. Abstain. None. MOTION DECLARED CARRIED. 5.0

c. **RESOLUTION 22-1206-03** – Adopting the 2023 Pioneer Sarah Creek Watershed Management Commission Tax Levy.

The 2023 Pioneer Sarah Creek Watershed Management Commission Tax Levy is \$67,736.00

Motion by Spencer, seconded by McCoy to approve the 2023 Pioneer Creek Watershed Management Commission Tax Levy. Ayes: Johnson, McCoy, Betts, Spencer, and Grotting. Nays: None. Absent: None. Abstain. None. MOTION DECLARED CARRIED. 5.0

Spencer – Thank you to our long serving Commissioner Joel Baker who has held the budget flat. The slight increase is a tax formula shift rather than a budget shift. He has put the commission back in favor with the Board of Water and Soil, so we are getting things done. Mayor Johnson asked staff to commend Commissioner Joel Baker for his service. He stated that he's eager to hear the Minnehaha Water District cost as their rate is much higher even though it's a smaller area.

8. Ryan Nash (Applicant/Owner) is requesting the following action for the properties located at 2870 Lake Sarah Road (PID No's. 16-118-24-13-0003 and 16-118-24-42-0001) in the City of Independence, MN:

- a. **RESOLUTION 22-1206-04** – Considering approval of a minor subdivision to allow a lot combination that would create one parcel from the two existing parcels with a combined acreage of 5.4 acres.

Kaltsas- The Applicant approached the City about the possibility of building an additional structure to an existing detached accessory building, and when we did calculations on that, the square footage of the proposed expansion would exceed what is allowed for the size lot he has. His lot is North of the BNSF railroad and North of Hwy 12 and South of Co Rd 92 at the Hwy 12 intersection. He has two properties: (North parcel) 2 acres and (South parcel) 3.4 acres, totaling 5.4 acres. The South lot is landlocked and has no direct access without going through his North property. He could combine these to enlarge the structure. The existing 1,200 sqft detached structure has a 400 sqft lean-to (1,600 sqft overall) and wants to add 640 sqft on the north side totaling a 2,240 sqft proposed structure. Properties less than 2.5 acres allow a 1,850 sqft maximum detached accessory structure. For properties greater than 2.5 acres, the City allows a maximum square footage that is proportionate to the amount of Upland acreage at 2% rate. In the combined property conditions, he does have some wetland on the south portion of the property but would have 3.18 Upland acres which gives him a 2,770 SF Allowable Detached Accessory Structure. He's proposing 2,240 SF, so that all works if properties are combined. Some noted things to consider: 1) The South lot does not have any public frontage. 2) The existing detached accessory building meets applicable building setbacks. The proposed expansion of the structure will meet all applicable setbacks in the after condition. 3) The requisite drainage and utility easements would need to be dedicated to the City, and the applicant must execute the necessary documents to convey the easements as determined necessary by the City. The Planning Commissioners discussed the proposal and thought it was straight forward and was a good idea to combine lots for those reasons. They asked of other lots were landlocked like this, but there is just a rare handful. Ultimately, the Planning Commission recommended approval.

Johnson- Do you have any idea when this property was split off?

Kaltsas- I tried to look back on description or taxing body, there is no other separation. There is a section line there, but no others were split on those lines. It's an odd one.

Johnson- I am assuming it was originally a part of the farm on the corner and maybe divided off at the same point in time. If you find the dates, I'd be curious what the history is on the separation. Are these new property owners?

Grotting – Yes, I had represented them for their purchase somewhat recently but have nothing to do with this project.

Johnson – Previous owners had hosted Nite to Unite gatherings.

Motion by McCoy, seconded by Grotting to approve RESOLUTION 22-1206-05 for a minor subdivision to allow a lot combination for the properties generally located at 2870 Lake Sarah Road. Ayes: Johnson, McCoy, Betts, Spencer, and Grotting. Nays: None. Absent: None. Abstain. None. MOTION DECLARED CARRIED. 5.0

9. Annual Designation of the Independence City Hall as the Official Polling Place for 2023 Election.

- a. **RESOLUTION 22-1206-05** – Establishing the Independence City Hall as the official polling place for 2023.

Motion by Spencer, seconded by Betts to approve RESOLUTION NO. 22-1206-05 designating the 2023 Polling Place as the City of Independence City Hall. Ayes: Johnson, McCoy, Betts, Spencer, and Grotting. Nays: None. Absent: None. Abstain. None. MOTION DECLARED CARRIED. 5.0

10. Approval of Compensation Analysis and Personnel Committee Recommendation to Update the Position Classifications, Range, and Scale Compensation Model.

- b. **RESOLUTION 22-1206-06** – Considering approval of the amended pay grade and compensation model developed in conjunction with ABDO Solutions.

Kaltsas- We talked about this at a Workshop and the Personnel Committee discussed it prior to that. The City on a somewhat regular basis tries to look at competitive wages for various positions within the City and allows us to make sure we are in compliance with the state's pay equity requirements. With market and inflation, we asked ABDO Financial Consultant to put together a compensation analysis of pay grade, scale, and individual positions. With pay grade and scales, compared with similar cities and types of positions, 15 cities were looked at. Looking to ensure compensation for each employee and ranges of pay grades were near the 50% mark or a little above as far as averages. Noted in the study results, the minimum pay in pay grade was low for the market, but the max was competitive near where we wanted it to be. With that we talked about each position and pay structure. I asked ABDO if it's the right structure with 8 grade levels. ABDO opened it up to a 12-grade system that allows flexibility for movement. In the past we created other positions when we have had turnover from retirement. A Public Works Supervisor role was created when the PW Director retired and slotting new positions within a pay grade scale can be challenging. This then allows for creating positions as we grow as a city. The 12-grade system is the right way to do that. Within the scale it shows pay grades rated based on points, and those points are a standardized scaling system. Once you are placed on the scale based on points, you have pay grade minimum, midpoint, and maximum ranges. Employees would have to stay within that range. The scale gets increased by Cost-Of-Living Allowance/ COLA annually by the City Council and it's annually determined by the Council. Historically, it has been about a 2% COLA. We are recommending 7% COLA, and this is a makeup for employees having a 2% year over year when inflation had been much higher than that. The creation of the new Administrative Services Director position replaces and reclassifies the Assistant City Administrator position to make sense with job duties being done. Other cities dealt with this similarly.

Grotting- Are the new and old positions both the same pay grade and points?

Kaltsas – They are a little different, with adding oversight of some staff duties. The Administrative Services Director will have two reports of the two administrative staff in the office. This was part of a move we had started a while ago and then the retirement timing put it on hold a bit. But now Amber is moving into that position.

Grotting- Say the market goes very flat and wages stay very depressed and flat over a long time. The cost of living would justify an increase. Does that play into the chart, and how you go forward? Could potentially next year if some significant predictions of recession and unemployment increase, how would the chart work when inflation goes up?

Kaltsas- The chart is there to provide the structure to maintain the separation between various jobs based on function, duty, responsibility, education, etc. The scale we'd be adopting is one that can be sustained at no increase, or when no COLA is necessary. Recessionary or budgetary pressures, etc. We could hold this scale flat and not have any increase across the board. If we provide a COLA to our employees, the whole scale goes up by that percentage.

Grotting- COLA and inflation could continue to go up but say if unemployment is high and wages are stagnant, it is bigger and deeper than just COLA. It's all circumstances.

Kaltsas- Yes, we use COLA as a metric. There are other factors.

Johnson – We realized last year that we should have gone up another percentage point, but then we did not.

Grotting – God bless our wonderful staff. We appreciate everyone so much.

Motion by McCoy, seconded by Grotting to approve RESOLUTION NO. 22-1206-06 of the compensation package. Ayes: Johnson, McCoy, Betts, Spencer, and Grotting. Nays: None. Absent: None. Abstain. None. MOTION DECLARED CARRIED. 5.0

11. Open/Misc.

The Lake Haughey report:

Kaltsas- I was updated after Thanksgiving on 3585 Lake Haughey Rd. We've been working on enforcement of nuisance violations since 2021, and we had initiated criminal charge against the property owner in late 2021 after trying to work with the owner for a while to correct it internally. Because we still get quite a few calls for this property and I think Council does too, I wanted to give an update. We met in the Fall with both of the owners, an attorney who had who represented one of the owners at the time, the City Prosecuting Attorney, Peggy Larkin of Carson, Clelland, and Schreder, and City staff with options to resolve the issues. Nothing came out of that, and they eventually terminated the one attorney who was representing them. So they went back to court the week before Thanksgiving, and one of the defendants had asked the court for additional time in order to hire a new attorney, one as a real-estate expert. The Judge gave them until January 27, 2023. So we are 18-months deep in the court system with zero resolution. It's frustrating for us. We've told the attorney to go at everything and got nothing. These are not clean-easy-simple.

Johnson- All neighbors expect action to be taken immediately and it doesn't work that way.

Attorney Vose- The prosecuting attorney is working on this with staff, but I want to acknowledge that more than annually Administrator Kaltsas asks me if we are up to speed with what other cities are doing to deal with problem properties. How to deal with properties that don't get cleaned up is a problem being shared across the state. It's a problem because in MN we (Government Officials) are trying to balance landowner rights (the right to do with your property generally speaking what you want within legal confines) against everyone around them who is trying to do the same thing and also enjoy their properties. Balancing that is very difficult unfortunately. Staff is quite on top of that, and Mark and I have discussed what can be updated in the nuisance code provisions or other code provisions that give the City some tools however imperfect to deal with them. It's a work in progress, and we will stay on it. Unfortunately, prosecution is the shortest line from point A to point B, but it doesn't always lead to compliance. But prosecution is the first step typically that we end up taking, and that doesn't even always lead to compliance.

Johnson- Even if the Judge takes action on March 27th, we are also dealing with Minnesota winters which hinders things.

Kaltsas - Right. We're talking about a fence in the right of way, boxes of debris,

Grotting- How much personal fencing is in our ROW? Don't we have the practice to go clear things out of the ROW?

Kaltsas- Life safety things we could say, but the problem is that the fence has been there for a while. We have been actively trying to get – that's a part of our action. The fence is in our ROW and so is half of the debris, there's so much stuff. If it were an obstacle or obstruction, we would pull it, and this one might be because it is really tight there for the plows. If there was a car/trailer parked there, rocks, we could go move it if they were unwilling, but this is 450 linear feet of stuff there.

Grotting- Is the defense's argument that it is an "undue burden" to deal with?

Kaltsas – There is no defense in this case. They are in violation of our ordinance, and the pictures and testimonials are compelling. I don't know that they have an argument, but this is the process. If someone is willing to go to court, have an action and a lawsuit against their property, continue to fight it by hiring and firing attorneys, and then show up asking the Judge for more time, the Judge is going to give it.

Grotting – Wasn't there a question filling the opposite side of the property, the shorelines?

Kaltsas- Yes, that is a different issue. The DNR had initially looked at that issue, but then that person left and now nobody at the DNR was doing enforcement on that particular issue. That is being revisited.

Johnson- A week from tomorrow the Canadian Pacific Holiday Train comes into Loretto at 4:15pm and heads into Buffalo about 6:30pm, or one could sit in the car along Hwy 55 and stay warm like I've done before.

12. Adjourn.

Motion by Spencer, second by Grotting to adjourn the meeting at 7:13 pm.

Meeting adjourned.

Respectfully Submitted,
Linda Johnson / Recording Secretary

City of Independence

Consideration for Final Plat of a Proposed 33 Lot Cluster Development to be Known as KOCH FARM SANCTUARY on the Subject Properties Generally Located at 5865 Koch's Crossing

To: Planning Commission
From: Mark Kaltsas, City Planner
Meeting Date: April 19, 2022
Applicant: Tom Koch
Owner: William P Koch Et Al Trustees
Location: 5865 Koch's Crossing

Request:

Tom Koch (Applicant/Owner) is requesting that the City consider the following review/discussion for the property generally located at 5865 Koch's Crossing (PID No's. 11-118-24-12-0004, 11-118-24-13-0003, 11-118-24-31-0005, 11-118-24-13-0002, 11-118-24-42-0001, 11-118-24-42-0002) in Independence, MN:

- a. Final Plat to allow a 33-lot subdivision to be known as KOCH FARM SANCTUARY.

Property/Site Information:

The overall property is comprised of six (6) individual properties located on the north and south sides of Koch's Crossing between County Road 90 and Independence Road. The property also touches Brei Kessel Road on the south. There is an existing home and a series of detached accessory buildings located across several of the properties. The properties are comprised primarily of agriculture land, a pond/wetlands.

Property Information: 5865 Koch's Crossing

Zoning: Agriculture

Comprehensive Plan: Rural Residential

Acreage: ~141 acres



Discussion:

The City approved the rezoning, conditional use permit, variance and preliminary plat for the proposed development in 2022. The applicant has now submitted an application for final plat of the property for a 33-unit subdivision developed across the 6 subject properties. The City reviews the final plat to ensure consistency with the approved preliminary plat. There were several items that were noted during the review of the preliminary plat which have been

addressed and revised by the applicant. The City provided guidance and feedback during the preliminary plat review process and has now completed a comprehensive and detailed review of the proposed final plat and associated construction drawings.

Proposed Cluster Subdivision

The applicant has prepared the final plat based on the cluster development standards. The applicant is proposing to meet all applicable cluster subdivision standards. The cluster subdivision standards are as follows:

Subd. 4. *Cluster development conditional use permit.* Cluster development is a conditional use in the Rural Residential District, subject to the provisions of subsections 520.09, 520.11 and 520.13 of this Code.

- (a) *Purpose.* The purpose of the cluster development conditional use permit is to promote the creative and efficient use of land. The provisions of this subdivision are intended to:
 - (1) Protect natural features in common open space.
 - (2) Improve the arrangement of structures, facilities and amenities on a site.
 - (3) Preserve the rural character of the community.
- (b) *Criteria.* A cluster development is a residential development in which a number of single-family dwelling units are grouped on smaller lots than in conventional developments, while the remainder of the tract is preserved as open space. If the following standards are complied with, density of one unit per four acres is permitted.
 - (1) The development parcel must be 40 or more acres in size;
 - (2) A minimum of 50% of the gross acreage of the subject property, excluding right of way dedicated for State, County and Existing City Roads, must be preserved as open space, recreational space or agricultural use;
 - (3) A minimum of 50% of the preserved open space, recreational space or agricultural use land must be useable. Wetlands, streams, lakes, ponds and lands within the 100 year flood plain elevation are not considered to be useable for the purpose of this subsection;
 - (4) Woodland, wetlands and topography must be preserved in a natural state, with modification allowed when no reasonable alternative exists; or, if the site lacks unique features such as woodlands and wetlands, the site must be designed and constructed in such a manner that residential building sites are integrated into a created natural environment including reforestation, wetlands enhancement, and vegetative screening of structures;
 - (5) The preliminary plat must show a primary and secondary individual sewage treatment site for each dwelling unit and must be supported with soil test reports indicating the adequacy of each proposed location; provided, that shared treatment systems within a development may be acceptable if the plat identifies two or more suitable sites for the shared system and the city council approves the proposal;
 - (6) Lots within the development must have a minimum lot size of 1.5 contiguous buildable acres. Buildable acreage must not be separated by streams, wetlands, or other physical impediments;
 - (7) Lots within the development must have a minimum of 150 feet of frontage on an improved public road or street, except lots fronting on the terminus of a cul-de-sac shall have no less than 50 feet of frontage.

- (8) Open space must be designated in the development as one or more outlots and must be owned either by a homeowners' association consisting of the owners of all of the residential lots in the development or by the owners of the residential lots, as tenants in common;
- (9) The developer must record against the development a declaration of covenants that places responsibility for management of the open space in a homeowners association and provides for the assessment of management costs to the association members and memorialized in an agreement with the City;
- (10) All utilities must be placed underground;
- (11) All residential streets within the cluster development must be paved with a bituminous surface according to the city street standards in effect at the time of the development;
- (12) A development agreement must be entered into with the city.

Lots Permitted Based on Cluster Subdivision

Total Area: 141.35 acres
138.75 net acres (subtracting CSAH 90 right of way)
138.75 x 50%: 69.40 acres of open space required
69.40 acres of open space provided
50% of 69.40 acres: 34.70 acres of useable open space required
40.60 acres of useable open space provided
33 Lots Proposed

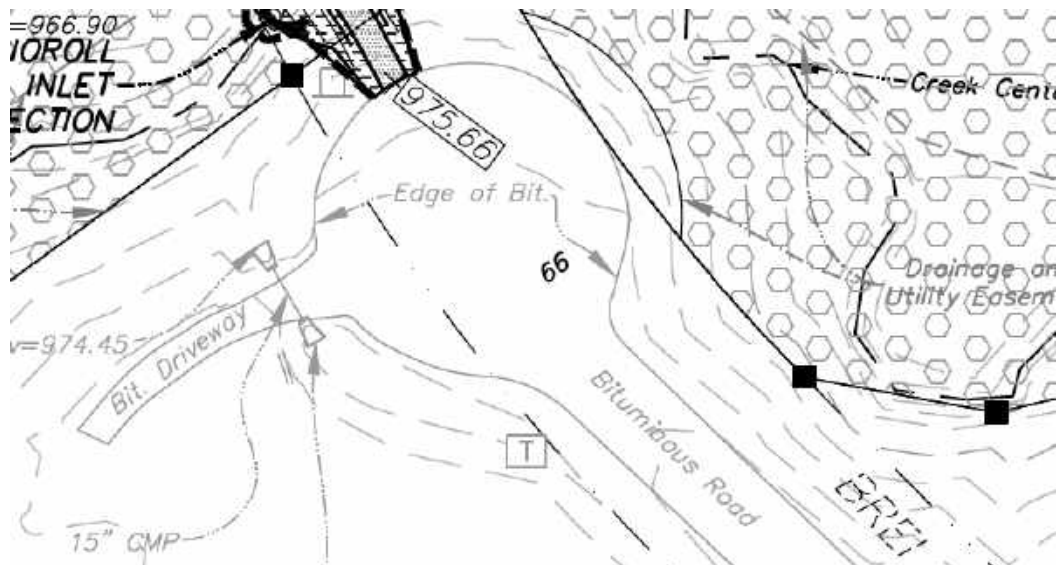
Based on the cluster development standards, the applicant is proposing to develop the property in accordance with applicable provisions with several noted exceptions and or issues.

The City has completed a detailed review of the proposed subdivision as follows:

1. The proposed plan proposes to realign Koch's Crossing at the point of intersection with CSAH 90. The realignment of Koch's Crossing likely aids the sight lines at the CSAH 90/Koch's Crossing intersection. Hennepin County has approved the relocation of Koch's Crossing and associated turn lane plans. The County is requiring a northbound turn lane from CSAH 90 to Koch's Crossing. This turn lane combined with the relocated intersection should help to mitigate traffic impacts associated with the proposed development.
2. Koch's Crossing will be fully upgraded to the City's improved street standards and will tie into the eastern half that was recently upgraded as a part of the Serenity Hills subdivision.
3. The City had asked the developer to provide for a future right of way connection to the west to accommodate a future road connection. The proposed final plat accommodates a future right of way that would allow a street connection to the west between Lot 1, Block 10 and Lot 3, Block 11. The applicant is not proposing to construct a stub street at this time.



4. The City requested that the applicant provide additional right of way around the perimeter bulb of the existing Brei Kessel cul-de-sac. The additional right of way would allow the bulb to be constructed to the City's standard at some point in the future. The applicant is dedicating an easement that will allow the expansion.



5. The City requested that the applicant provide a paved trail connection between the cul-de-sac bulb on Brei Kessel and the cul-de-sac bulb proposed on William Way. The applicant is proposing to construct a new bituminous trail connection between the existing and proposed developments.

9. The applicant is proposing to preserve existing trees located within the proposed open space/Outlots.
10. The City requires that the applicant provide a planting and maintenance plan for the Outlot areas to be maintained by the HOA. The applicant has provided the City with a disturbed upland buffer planting and maintenance plan.
11. The applicant is proposing to place a conservation easement over and across Outlot D. This will provide an additional layer of protection and preservation of the pond and woodlands.
12. The proposed final plat is not proposed to be phased and all public improvements will be constructed at the same time. Developing the public improvements at one time should help mitigate the impacts of construction on the surrounding properties.
13. The existing portion of Koch's Crossing that is proposed to be eliminated will be formally vacated at the same time as Council consideration of the final plat. The applicant has filed a petition to the City seeking vacation of a portion of Koch's Crossing. Vacation of the portion of Koch's Crossing will be subject to the dedication and construction of the new right of way and associated street.
14. The City's water resource engineers have completed a detailed review of the proposed plans noted in the review letter dated January 3, 2023, by Hakanson Anderson. The applicant will be required to revise the plans in accordance with all applicable comments.
15. Applicant will be required to secure all applicable approvals from Pioneer Sarah Creek Watershed.
16. It is noted that a Wetland Replacement plan will be required for the wetland impacts that are proposed. The Applicant shall submit a Wetland Replacement Plan for review and approval.
17. The City's engineering consultant has reviewed the plans and prepared a detailed review of the final plat as noted in the letter dated January 3, 2023, by Bolton & Menk. The applicant will be required to make all applicable revisions to the plans based on the comments provided.
18. The proposed subdivision is subject to the City's Park dedication requirements. The City is not requesting any public park land within the development. It is anticipated that the proposed useable open space would be fully accessible to the development and there appears to be good connectivity to all of the proposed Outlots. The standard park dedication requirement of \$3,500 per lot will be applicable to all newly developed lots. The City has agreed to credit the development for the six (6) existing parcels (this would reduce the total from 33 to 27 lots). The total park dedication for this property will be **\$94,500.00** (27 lots x \$3,500 per lot).

Recommendation:

The Planning Commission is being asked to consider the request for Final Plat with the following findings and conditions:

1. The proposed Final Plat meets all applicable conditions and restrictions stated Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. City Council approval of the Final Plat will be subject to the following:
 - a. The Applicant shall make all revisions required and as noted within this report, by the Planning Commission and City Council.
 - b. The Applicant shall address all comments and applicable requirements pertaining to the water resources and engineering as outlined in the associated review letters from Hakanson Anderson Associates and Bolton & Menk, Inc.
 - c. The Applicant shall make all recommended and required revisions and receive final approval for all proposed and regulated improvements from Hennepin County.
 - d. The Applicant shall comply with all applicable regulations and conditions prescribed by Pioneer Sarah Creek Watershed Management Commission.
 - e. The Applicant shall enter into a development agreement with the City for this development.
 - f. The Applicant shall provide a letter of credit as established by the development agreement for all public improvements associated with this development.
 - g. The Applicant shall provide the City with copies of the HOA agreement and covenants, including information related to the maintenance of the common driveway.
 - h. The Applicant shall obtain all necessary City, County, PCA and other regulatory agency approval and permits prior to construction.
 - i. The Applicant shall pay the park dedication fees in accordance with the terms defined in the Development Agreement. The Applicant shall consent to the establishment of the storm sewer improvement tax district.
 - j. The Applicant shall enter into a storm water maintenance agreement pertaining to the required storm water ponds to be located on the property.
 - k. The Applicant shall submit a Wetland Replacement Plan for review and approval
 - l. The Applicant shall provide prospective buyers with the Letter of Information Pertaining to the subdivision as prepared by the City.

- m. Koch's Crossing will need to be vacated by the City. Vacation of the right of way will need to correspond with the establishment and construction of the new right of way and road.
- 3. The Applicant shall pay for all costs associated with the City's review of the final plat.
- 4. If the final plat is approved by the city council, the subdivider shall record it with the county recorder within 90 days after the date of approval; otherwise, the approval of the final plat shall be considered void.

Attachments:

- 1. Application
- 2. Final Plat
- 3. Construction Plans
- 4. Vacation Exhibits
- 5. Buffer Planting and Maintenance Plan
- 6. Detailed Engineering Review Letters

KOCH FARM SANCTUARY

C.R. DOC. NO. _____

KNOW ALL PERSONS BY THESE PRESENTS: That _____ fee owner of the following described property situated in the County of Hennepin, State of Minnesota, to wit:

The South 20 rods of the Northwest Quarter of the Northeast Quarter of Section 11, Township 118, Range 24, Hennepin County, Minnesota.

AND

That part of the Southwest Quarter of the Northeast Quarter of Section 11, Township 118, Range 24, described as follows:

Commencing at the Northwest corner of the Southwest Quarter of the Northeast Quarter; thence South 61.5 rods; thence East 43 rods; thence North 46.5 rods; thence East 37 rods; thence North 15 rods; thence West to the point of beginning.

AND

That part of the Southwest Quarter of the Northeast Quarter of Section 11, Township 118, Range 24, described as follows:

Commencing at the Southwest corner of the Southwest Quarter of the Northeast Quarter; thence North 18.5 rods; thence East 43 rods; thence North 46.5 rods; thence East 37 rods; thence South 65 rods; thence West to the point of beginning.

AND

The North 165.00 feet of the East 264.00 feet of the West 561.00 feet of the Northwest Quarter of the Southeast Quarter of Section 11, Township 118, Range 24, Hennepin County, Minnesota.

AND

That part of the West Half of the Southeast Quarter of Section 11, Township 118, Range 24, Hennepin County, Minnesota, lying Northerly of the plat of BREI KESSEL, Hennepin County, Minnesota, according to the recorded plat thereof.

EXCEPT:

The North 165.00 feet of the East 264.00 feet of the West 561.00 feet of the Northwest Quarter of the Southeast Quarter of Section 11, Township 118, Range 24, Hennepin County, Minnesota.

AND

That part of the East Quarter of the Southwest Quarter of Section 11, Township 118, Range 24, Hennepin County, Minnesota, lying Northerly of the plat of BREI KESSEL, Hennepin County, Minnesota, according to the recorded plat thereof.

Has caused the same to be surveyed and platted as KOCH FARM SANCTUARY and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said _____

has hereunto set his hand this _____ day of _____, 20____.

STATE OF _____

COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20____ by _____

(Notary Signature)

(Notary Printed Name)

Notary Public, _____ County, _____

My commission expires _____

I Paul E. Otto do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Paul E. Otto, Licensed Land Surveyor
Minnesota License Number 40062

STATE OF MINNESOTA
COUNTY OF WRIGHT
This instrument was acknowledged before me on this _____ day of _____, 20____, by Paul E. Otto.

(Notary Signature)

(Notary Printed Name)

Notary Public, _____ County, Minnesota

My commission expires _____

CITY COUNCIL, CITY OF INDEPENDENCE, MINNESOTA

This plat of KOCH FARM SANCTUARY was approved and accepted by the City Council of the City of Independence, Minnesota at a regular meeting thereof held this _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Independence, Minnesota

By _____ Mayor By _____ Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota
I hereby certify that taxes payable in 20____ and prior years have been paid for land described on this plat, dated this _____ day of _____, 20____.

Mark V. Chapin, County Auditor by _____ Deputy

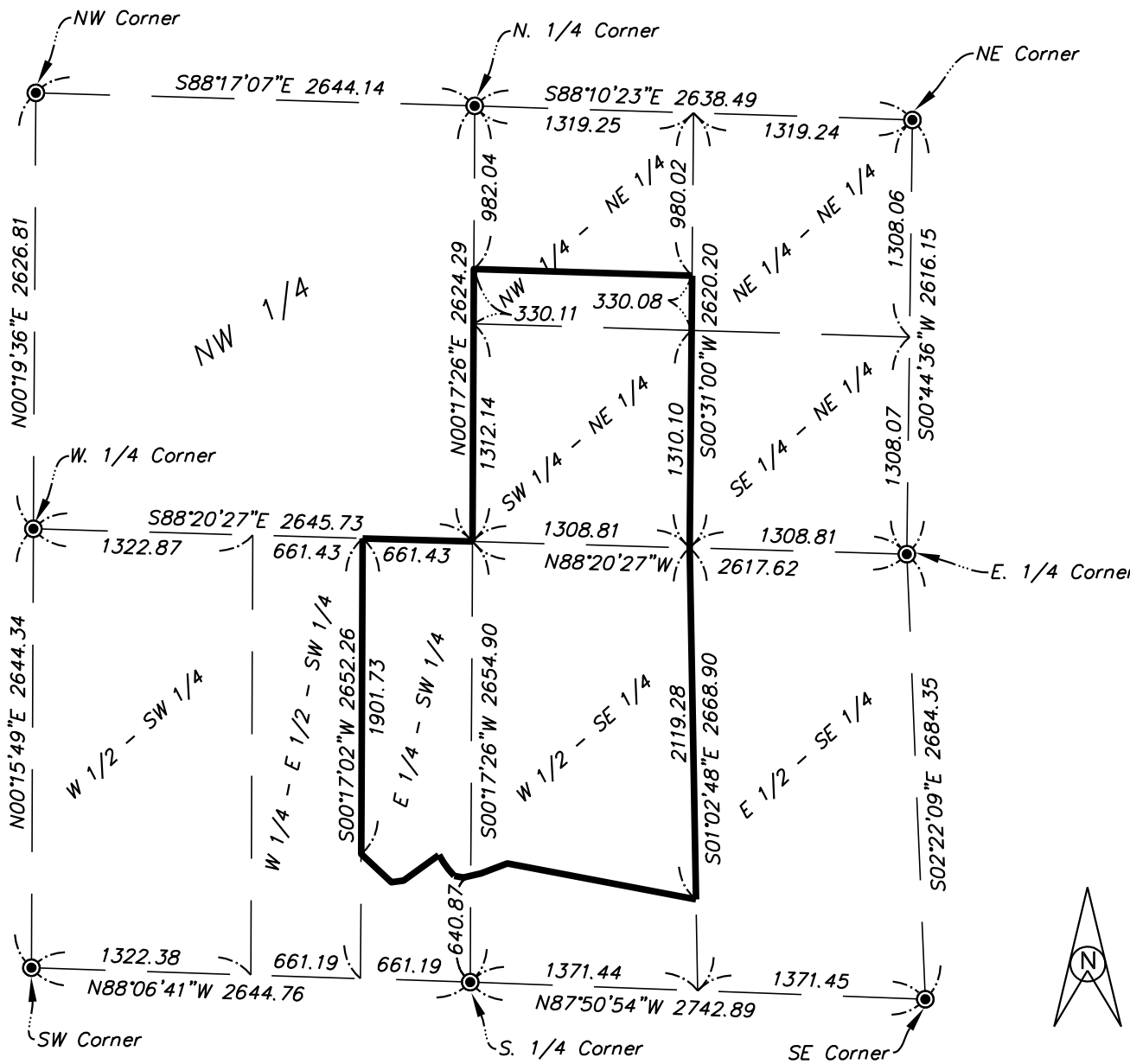
SURVEY DIVISION, Hennepin County, Minnesota
Pursuant to MN. STAT. Sec. 38B.565 (1969), this plat has been approved this _____ day of _____, 20____.

Chris F. Mavis, County Surveyor by _____

COUNTY RECORDER, Hennepin County, Minnesota
I hereby certify that the within plat of KOCH FARM SANCTUARY was recorded in this office this _____ day of _____, 20____, at _____ o'clock ____m.

Amber Bougie, County Recorder by _____ Deputy

PUBLIC LAND SURVEY BREAKDOWN SECTION 11, TOWNSHIP 118, RANGE 24



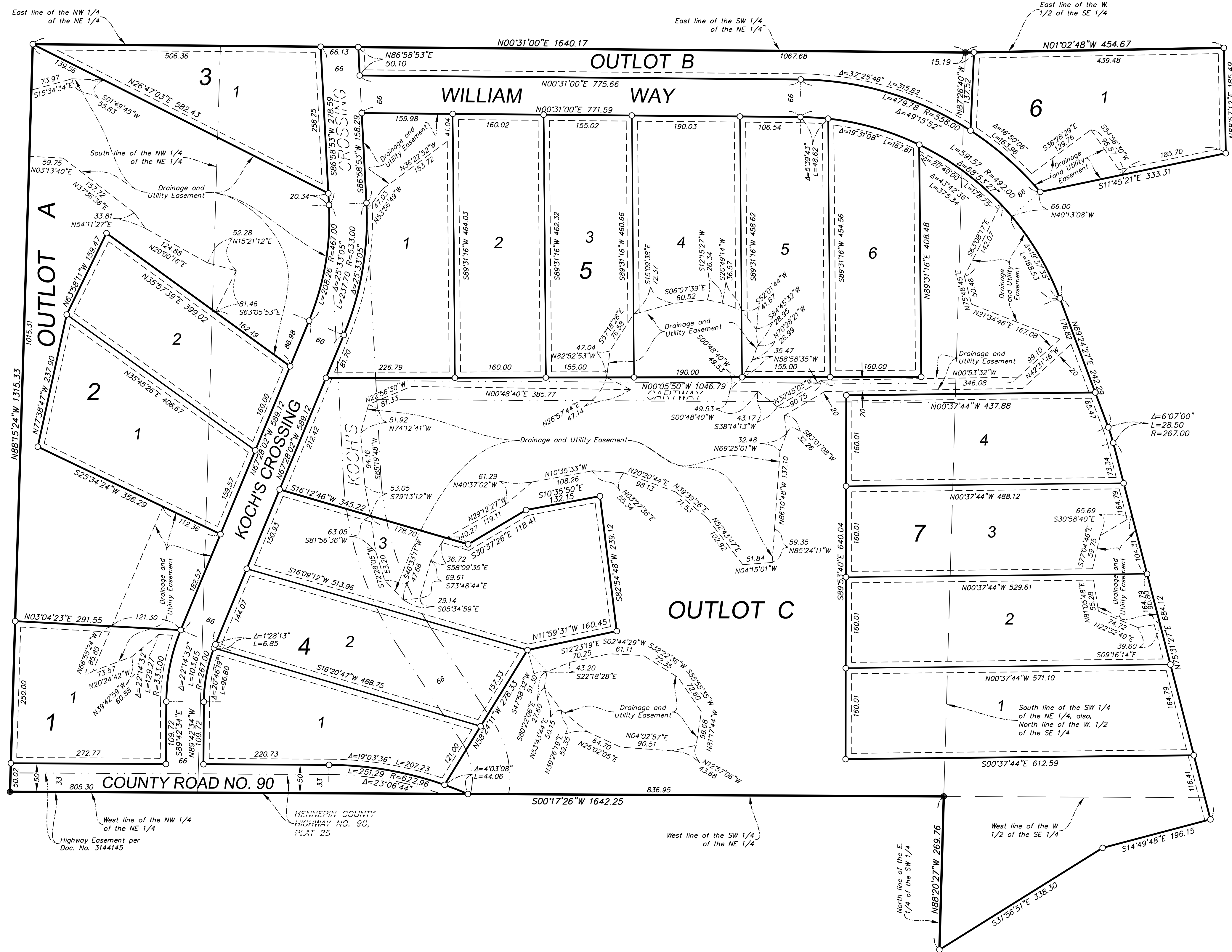
● denotes found Hennepin County Cast Iron



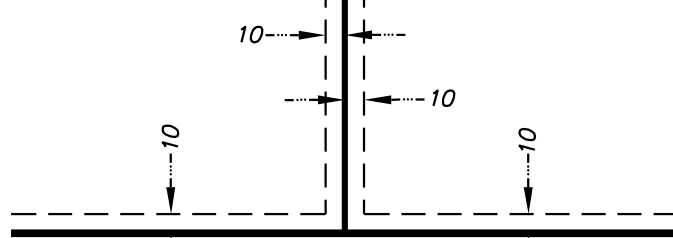
KOCH FARM SANCTUARY

INSET A

C.R. DOC. NO. _____



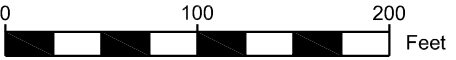
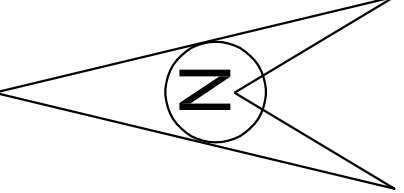
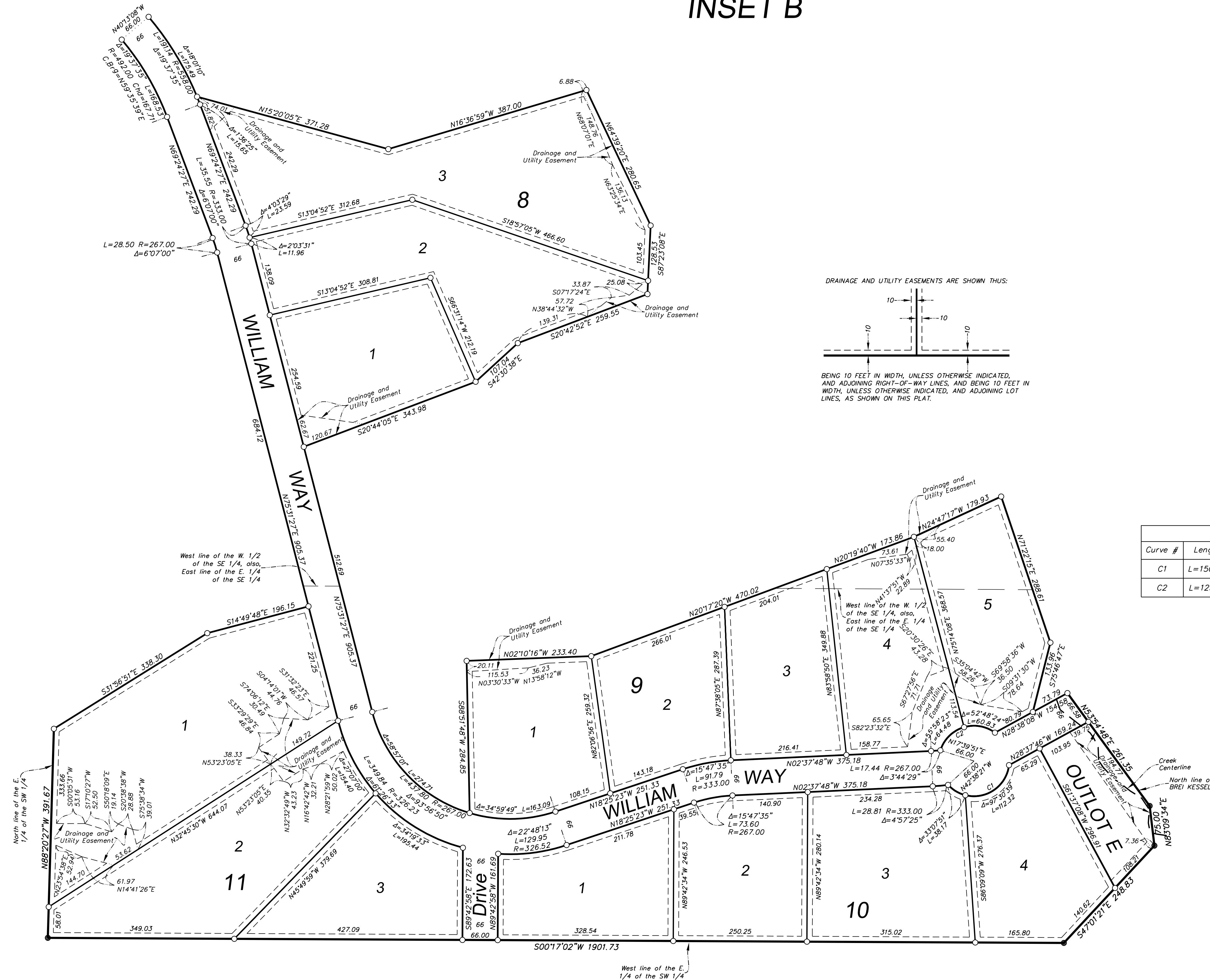
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



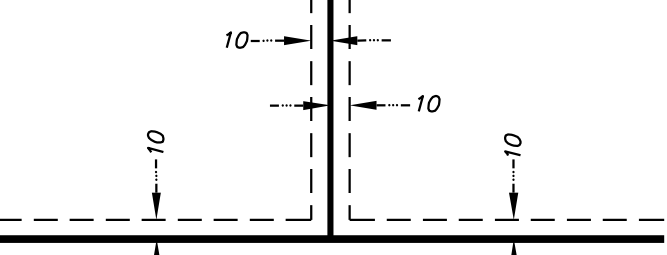
KOCH FARM SANCTUARY

INSET B

C.R. DOC. NO. _____



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING RIGHT-OF-WAY LINES, AND BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING LOT LINES, AS SHOWN ON THIS PLAT.

- denotes a found 1/2 inch iron pipe open (Unless Otherwise Noted)
- denotes 1/2 inch by 14 inch iron pipe set and marked by License number 40062

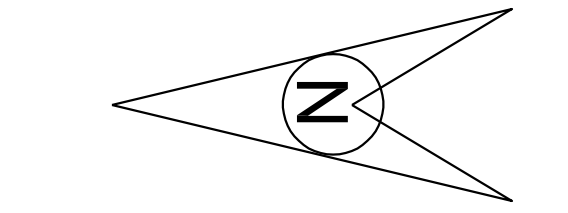
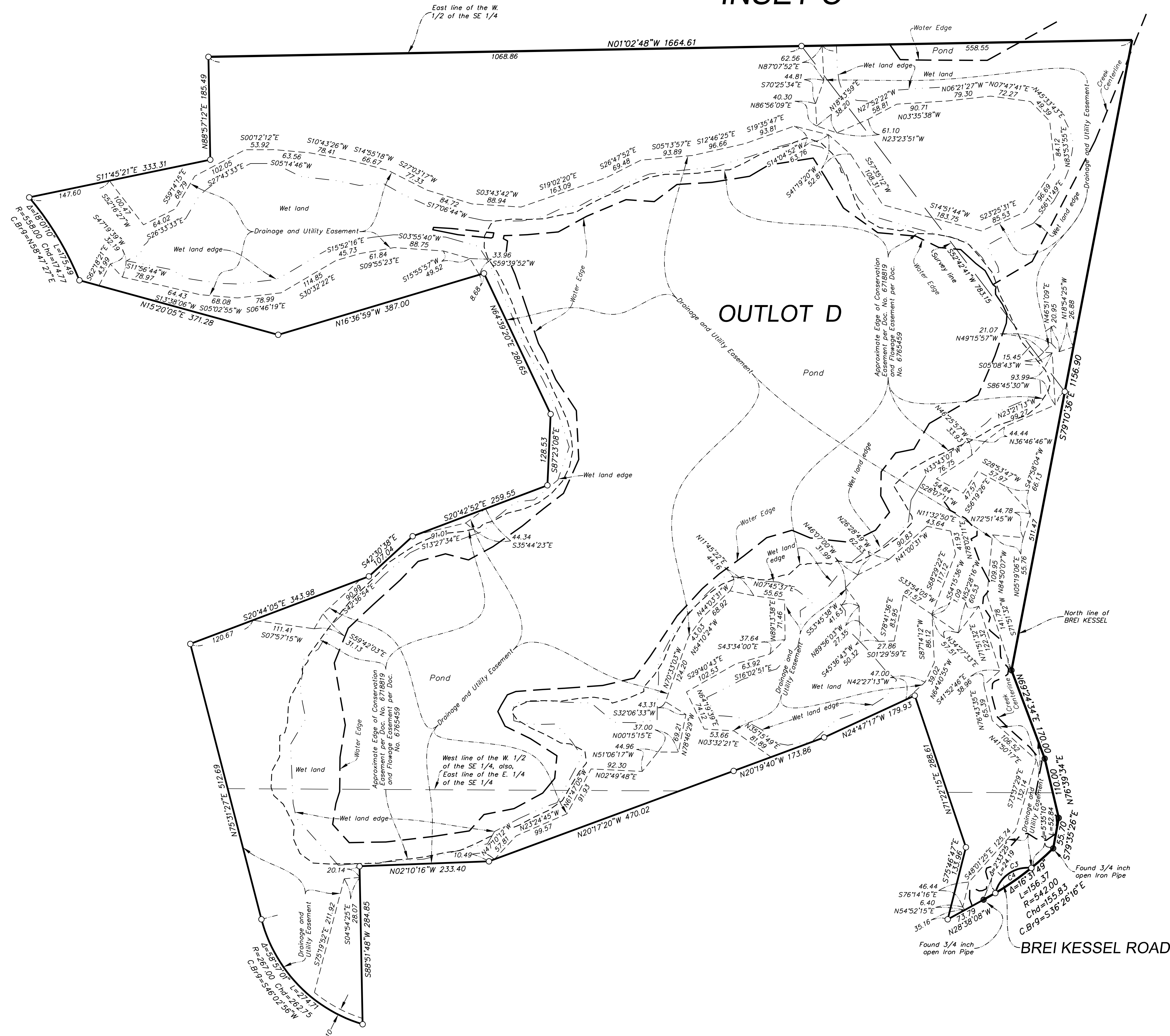
Bearing Note:
The East line of the Southeast Quarter of Section 11, Township 118, Range 24, Hennepin County, Minnesota, is assumed to bear N01°02'48"W.
(See Sheet 1 of 4 Sheets)

Curve Table					
Curve #	Length	Delta	Radius	CHORD	CHORD DIRECTION
C1	L=150.49	Δ=130°38'30"	R=66.00	Chd=119.94	C.brg=S17°57'37"E
C2	L=125.31	Δ=108°46'47"	R=66.00	Chd=107.32	C.brg=N17°56'46"W

KOCH FARM SANCTUARY

INSET C

C.R. DOC. NO. _____



0 100 200
Feet

- denotes a found 1/2 inch iron monument open (Unless Otherwise Noted)
- denotes 1/2 inch iron by 14 inch iron pipe set and marked by License number 40062

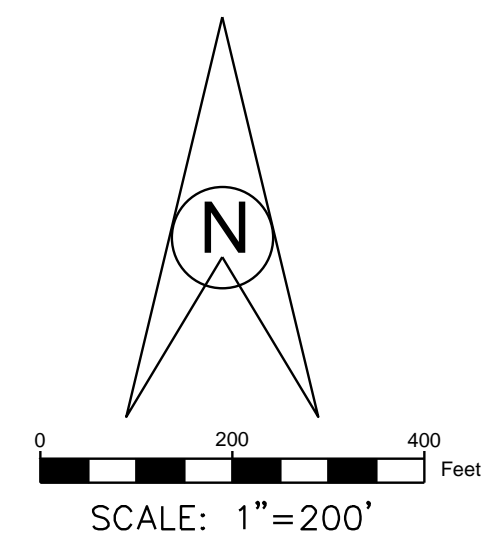
Bearing Note:
The East line of the Southeast Quarter of Section 11, Township 118, Range 24, Hennepin County, Minnesota, is assumed to bear N01°02'48"W.

Line/Curve Table					
Line #/Curve #	Length	Direction/Delta	Radius	CHORD	CHORD DIRECTION
C4	L=79.34	Δ=8°23'14"	R=542.000	Chd=79.27	C.brg=S34°55'24"E
C3	L=86.59	Δ=82°41'22"	R=60.000	Chd=79.27	C.brg=N34°55'24"W



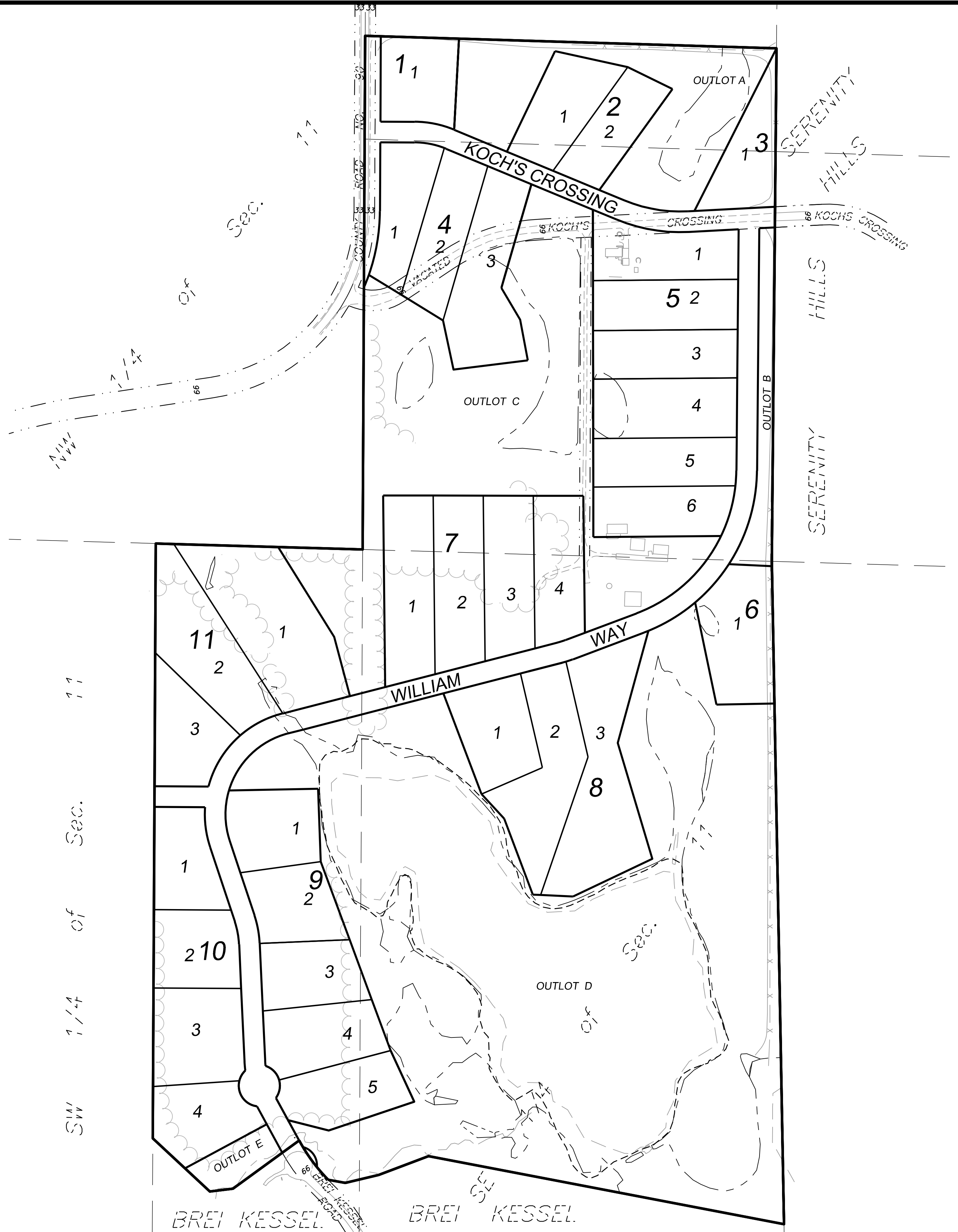
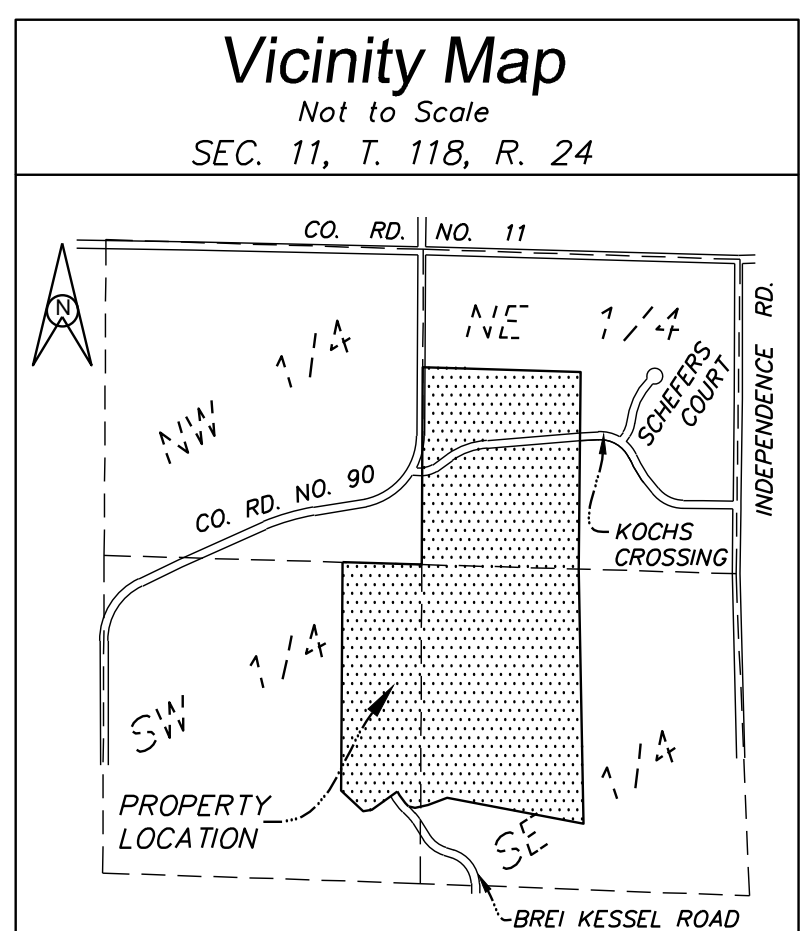
KOCH FARM SANCTUARY

INDEPENDENCE, MN



SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GRADING PLAN (OVERVIEW)
3	GRADING PLAN (NORTH)
4	GRADING PLAN (EAST CENTRAL)
5	GRADING PLAN (WEST CENTRAL)
6	GRADING PLAN (SOUTH)
7	STORMWATER POLLUTION PREVENTION PLAN – PROJECT INFORMATION
8	STORMWATER POLLUTION PREVENTION PLAN NARRATIVE
9	SWPPP (NORTH)
10	SWPPP (EAST CENTRAL)
11	SWPPP (WEST CENTRAL)
12	SWPPP (SOUTH)
13	STREET & STORM SEWER PLAN – KOCHS CROSSING
14	STREET & STORM SEWER PLAN – WILLIAM WAY (STA 0+00 TO STA 12+00)
15	STREET & STORM SEWER PLAN – WILLIAM WAY (STA 12+00 TO STA 27+00)
16	STREET & STORM SEWER PLAN – WILLIAM WAY (STA 27+00 TO STA 39+65)
17	WETLAND BUFFER & TREE PRESERVATION PLAN
18	DETAILS
19	DETAILS
20	DETAILS



REV. NO.	DATE	BY	DESCRIPTION
1	12-14-22	T.J.B.	LOT NUMBERS

DESIGNED P.E.O.	DRAWN T.J.B.
CHECKED P.E.O.	

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Paul E. Otto
Paul E. Otto
License # 40062 Date: 12-14-22

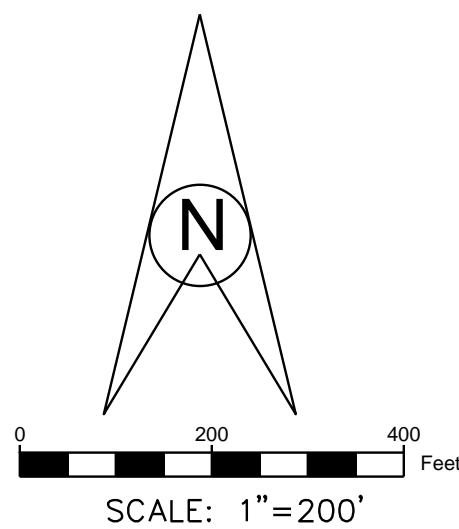
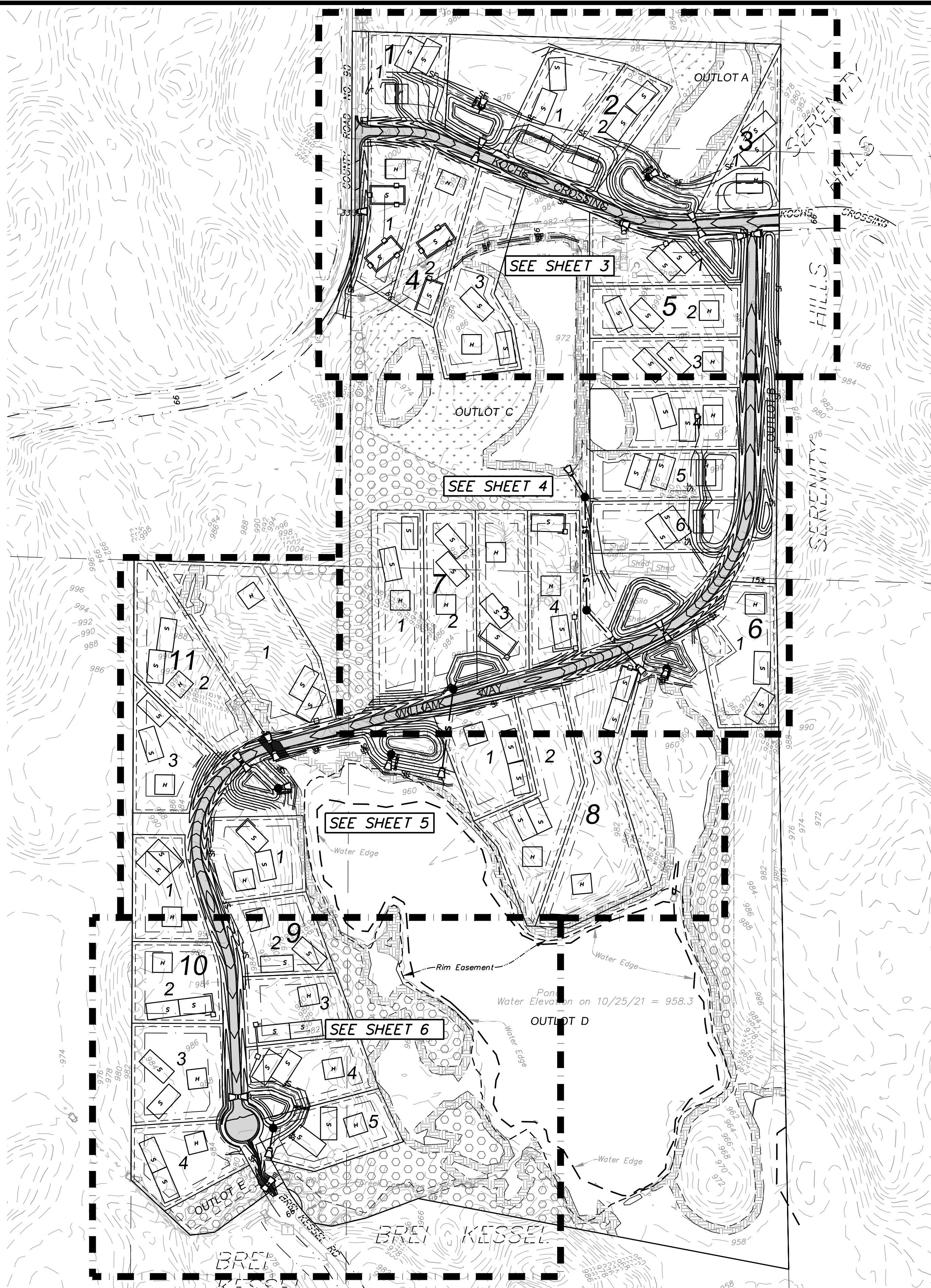


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Fax: (763)682-3522

KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

COVER SHEET
SHEET NO. 1 OF 20 SHEETS

PROJECT NO:
18-0199
DATE:
6-3-22



- LEGEND**
- 988 — denotes Existing Contour
 - 988.00 X denotes Existing Spot Elevation
 - denotes Proposed Contour
 - ⌈ denotes Telephone Pedestal
 - denotes Guy Wire
 - denotes Power Pole
 - OHE — denotes Overhead Electric Line
 - X — denotes Fence Line
 - denotes Existing Culvert
 - denotes Wetland
 - ▨ denotes Wetland Buffer
 - ▨ denotes Additional Wetland Buffer
 - ▨ denotes Tree Preservation
 - denotes Drainage and Utility Easement
 - - - denotes Building Setback Line
 - Front = 85' from centerline
 - Side (Corner) = 52' from right of way
 - Side = 30'
 - Rear = 40'
 - Wetland = 10' from buffer
 - S denotes Possible Septic Area
 - H denotes Possible 60x60 House Pad Location
 - ▨ denotes Proposed Bituminous
 - ▨ denotes Proposed Gravel
 - ST — denotes Proposed Storm Sewer
 - SF — denotes Pre-construction Silt Fence
 - denotes Construction Fence

REV. NO.	DATE	BY	DESCRIPTION
1	6-8-22	T.J.B.	CLEARING LIMITS, BERM, OCS
2	9-23-22	T.J.B.	COUNTY ROAD NO. 90 PROPOSED RIGHT TURN LANE GRADING

DESIGNED DRAWN
P.E.O. T.J.B.

CHECKED
P.E.O.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Paul E. Otto
Paul E. Otto
License # 40062 Date: 9-23-22



OTTO ASSOCIATES
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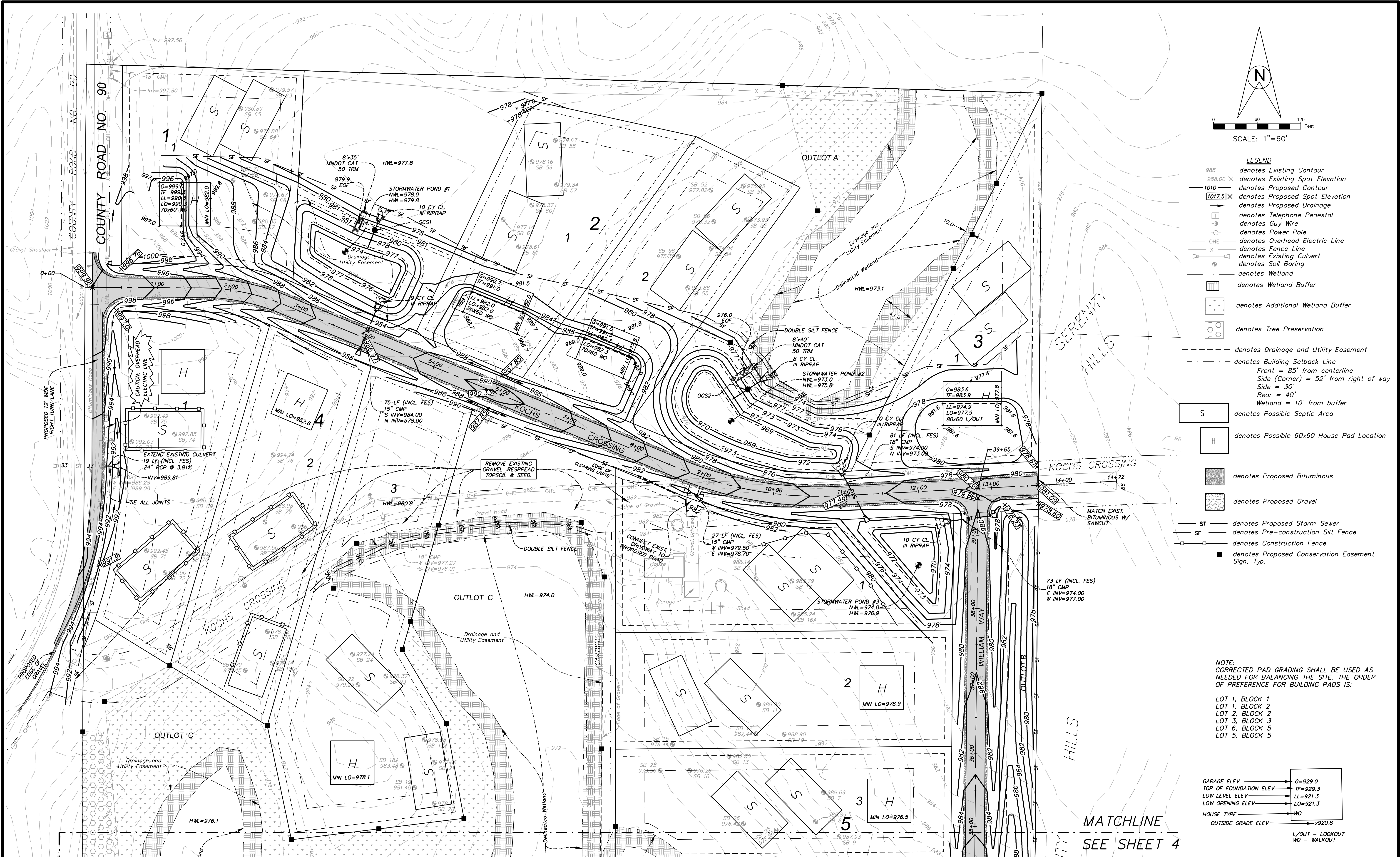
KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

GRADING PLAN (OVERVIEW)

SHEET NO. 2 OF 20 SHEETS

PROJECT NO:
18-0199

DATE:
6-3-22



REV. NO.	DATE	BY	DESCRIPTION	DESIGNED	DRAWN	NOTES	PROJECT NO.
1	6-8-22	T.J.B.	CLEARING LIMITS, BERM, OCS	P.E.O.	T.J.B.		18-0199
2	9-23-22	T.J.B.	COUNTY ROAD NO. 90 PROPOSED RIGHT TURN LANE GRADING	CHECKED			DATE: 6-3-22
				P.E.O.			

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

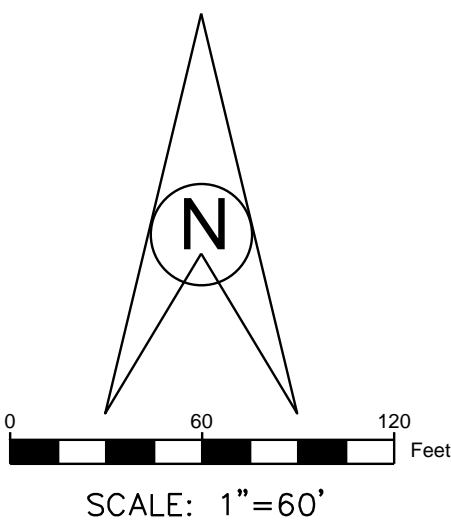
Paul E. Otto
Paul E. Otto
License # 40062 Date: 9-23-22

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KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

GRADING PLAN (NORTH)
SHEET NO. 3 OF 20 SHEETS



LEGEND

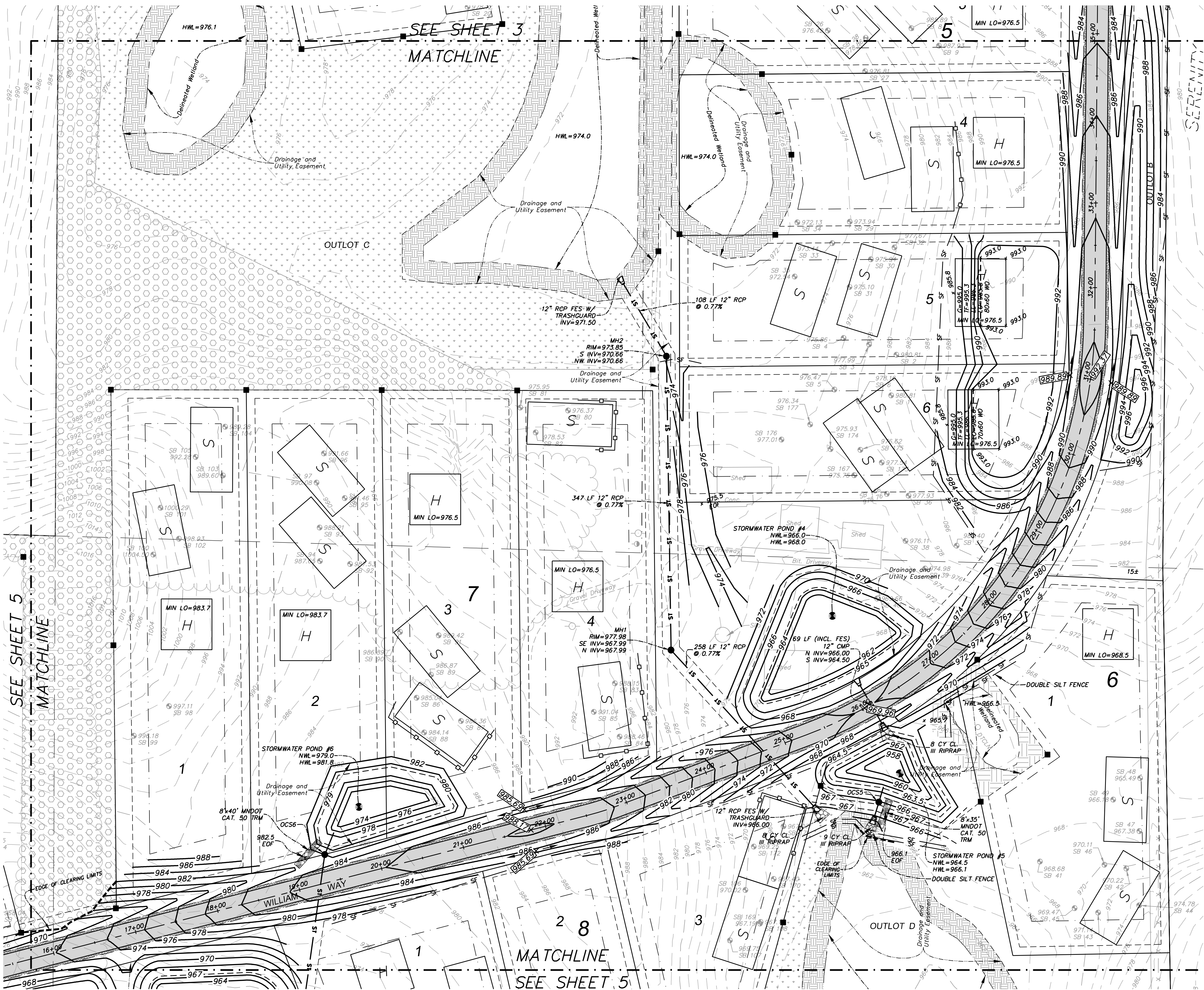
- 988 — denotes Existing Contour
- 988.00 X denotes Existing Spot Elevation
- 1010 — denotes Proposed Contour
- 1017.5 X denotes Proposed Spot Elevation
- denotes Proposed Drainage
- denotes Telephone Pedestal
- denotes Guy Wire
- denotes Power Pole
- OHE — denotes Overhead Electric Line
- X — denotes Fence Line
- denotes Existing Culvert
- denotes Soil Boring
- denotes Wetland
- denotes Wetland Buffer
- denotes Additional Wetland Buffer
- denotes Tree Preservation
- - - denotes Drainage and Utility Easement
- - - denotes Building Setback Line
 - Front = 85' from centerline
 - Side (Corner) = 52' from right of way
 - Side = 30'
 - Rear = 40'
 - Wetland = 10' from buffer
- S — denotes Possible Septic Area
- H — denotes Possible 60x60 House Pad Location
- denotes Proposed Bituminous
- denotes Proposed Gravel
- ST — denotes Proposed Storm Sewer
- SF — denotes Pre-construction Silt Fence
- denotes Construction Fence
- denotes Proposed Conservation Easement Sign, Typ.

NOTE:
CORRECTED PAD GRADING SHALL BE USED AS
NEEDED FOR BALANCING THE SITE. THE ORDER
OF PREFERENCE FOR BUILDING PADS IS:

- LOT 1, BLOCK 1
- LOT 1, BLOCK 2
- LOT 2, BLOCK 2
- LOT 3, BLOCK 3
- LOT 6, BLOCK 5
- LOT 5, BLOCK 5

GARAGE ELEV	G=929.0
TOP OF FOUNDATION ELEV	TF=929.3
LOW LEVEL ELEV	LL=921.3
LOW OPENING ELEV	LO=921.3
HOUSE TYPE	WO
OUTSIDE GRADE ELEV	x920.8

L/OUT - LOOKOUT
WO - WALKOUT



REV. NO.	DATE	BY	DESCRIPTION
1	6-8-22	T.J.B.	CLEARING LIMITS, BERM, OCS

DESIGNED	DRAWN
P.E.O.	T.J.B.
CHECKED	
P.E.O.	

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Paul E. Otto
License # 40062 Date: 6-8-22

OTTO ASSOCIATES
Engineers & Land Surveyors, Inc.

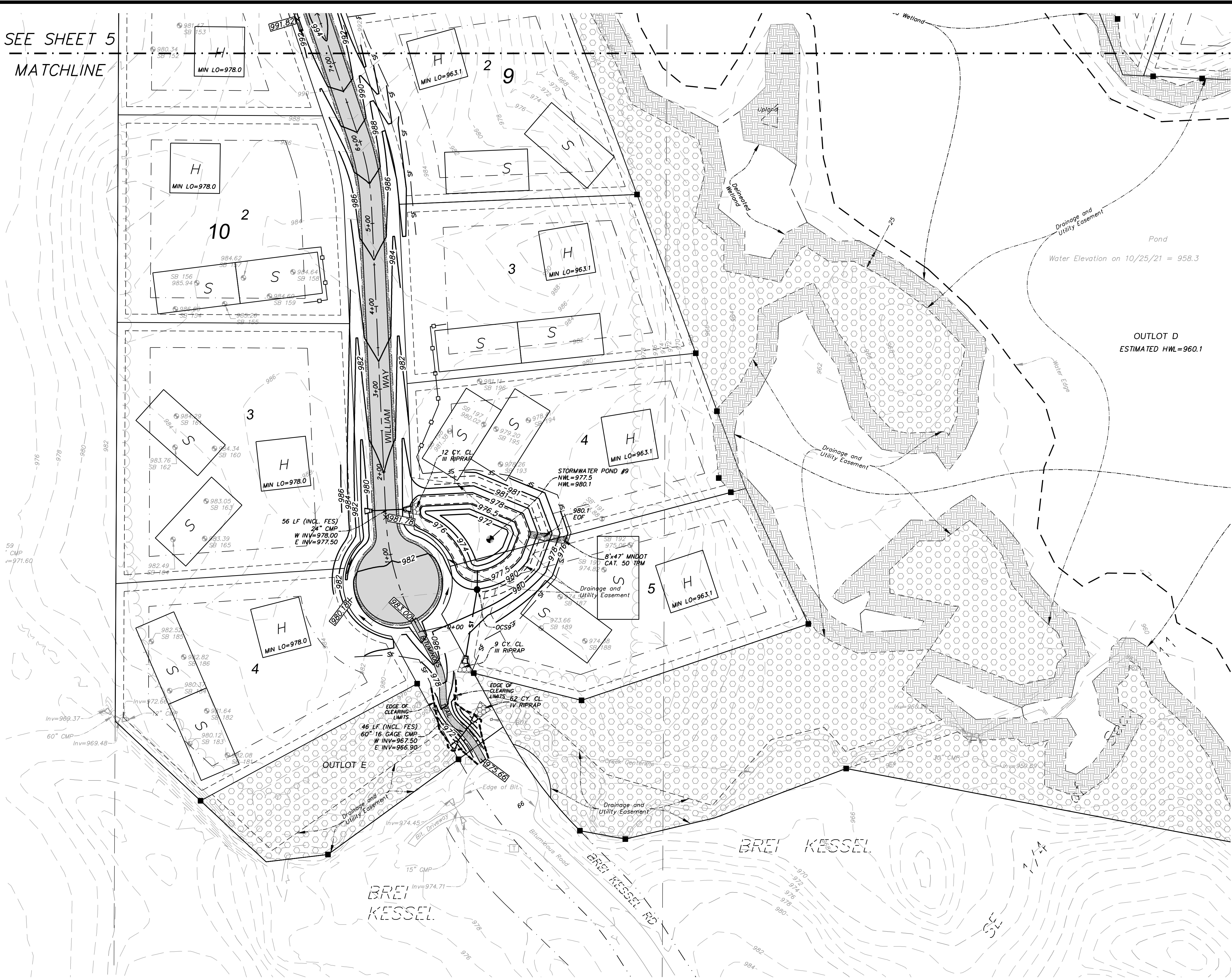
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Fax: (763)682-3522

KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

GRADING PLAN (EAST CENTRAL)
SHEET NO. 4 OF 20 SHEETS

PROJECT NO: 18-0199
DATE: 6-3-22

SEE SHEET 5
MATCHLINE



0 60 120 Feet
SCALE: 1"=60'

LEGEND

- 988 — denotes Existing Contour
- 988.00 X denotes Existing Spot Elevation
- 1010 — denotes Proposed Contour
- 1017.5 X denotes Proposed Spot Elevation
- denotes Proposed Drainage
- denotes Telephone Pedestal
- denotes Guy Wire
- denotes Power Pole
- OHE denotes Overhead Electric Line
- X denotes Fence Line
- denotes Existing Culvert
- denotes Soil Boring
- denotes Wetland
- denotes Wetland Buffer
- denotes Additional Wetland Buffer
- denotes Tree Preservation
- denotes Drainage and Utility Easement
- denotes Building Setback Line
Front = 85' from centerline
Side (Corner) = 52' from right of way
Side = 30'
Rear = 40'
Wetland = 10' from buffer
- S denotes Possible Septic Area
- H denotes Possible 60x60 House Pad Location
- denotes Proposed Bituminous
- denotes Proposed Gravel
- ST — denotes Proposed Storm Sewer
- SF — denotes Pre-construction Silt Fence
- denotes Construction Fence
- denotes Proposed Conservation Easement Sign, Typ.

REV. NO.	DATE	BY	DESCRIPTION
1	6-8-22	T.J.B.	CLEARING LIMITS, BERM, OCS

DESIGNED	DRAWN
P.E.O.	T.J.B.
CHECKED	
P.E.O.	

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Paul E. Otto
Paul E. Otto
License # 40062 Date: 6-8-22

OTTO ASSOCIATES
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(763) 682-4727
Fax: (763) 682-3522

KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

PROJECT NO:	18-0199
DATE:	6-3-22
SHEET NO. 6 OF 20 SHEETS	GRADING PLAN (SOUTH)

GENERAL PROJECT INFORMATION

PROJECT LOCATION AND NARRATIVE:

THIS PROJECT CONSISTS OF A 33 LOT SUBDIVISION IN INDEPENDENCE, MN. THE SITE IS LOCATED NEAR LONGITUDE -93.6739, LATITUDE 45.0435. THE SITE IS ACCESSED FROM COUNTY ROAD 90 AND KOCHS CROSSING.

CONSTRUCTION ACTIVITIES INCLUDE CLEARING & GRUBBING, GRADING, ROAD CONSTRUCTION, BITUMINOUS TRAIL CONSTRUCTION, AND STORMWATER BASIN CONSTRUCTION. CONSTRUCTION IS PLANNED TO BEGIN SUMMER OF 2022 AND COMPLETED SUMMER OF 2023, WITH HOMEBUILDING ANTICIPATED TO EXTEND INTO 2025.

EXISTING LAND USE: THE MAJORITY OF THE PROPERTY IS CROPLAND. THE REMAINDER OF THE SITE CONSISTS OF WETLANDS AND A COMBINATION OF WOODS/GRASSLAND AREAS.

SITE DRAINAGE: THE SITE DRAINS OFFSITE TO THE NORTH, EAST, AND SOUTH: NORTH TO A WETLAND AND SOUTH AND EAST TO AN EXISTING 10+ ACRE ONSITE POND/WETLAND.

RESPONSIBLE PARTIES:

THE SWPPP DESIGNER, CONSTRUCTION SWPPP MANAGER, AND BMP INSTALLER MUST HAVE APPROPRIATE TRAINING. TRAINING DOCUMENTATION FOR THE SWPPP DESIGNER IS INCLUDED ON THE NARRATIVE SHEET. THE CONTRACTOR SHALL ATTACH TRAINING DOCUMENTATION TO THIS SWPPP FOR THE CONSTRUCTION SWPPP MANAGER AND BMP INSTALLER PRIOR TO THE START OF CONSTRUCTION.

	ENTITY	CONTACT PERSON	PHONE	EMAIL
OWNER				
SWPPP DESIGNER	OTTO ASSOCIATES, INC.	PAUL E. OTTO DESIGN OF SWPPP CERT.-EXPIRES 2025	763-682-4727	PAUL@OTTOASSOCIATES.COM
CONTRACTOR	TBD			
CONSTRUCTION SWPPP MANAGER	TBD			
PARTY RESPONSIBLE FOR LONG TERM O&M	HOA			

PROJECT AREAS:

PARCEL SIZE = 141.35 ACRES
AREA OF DISTURBANCE = 22.1 ACRES
EXISTING AREA OF IMPERVIOUS SURFACE = 2.45 ACRES
POST-CONSTRUCTION AREA OF IMPERVIOUS SURFACE = 12.12 ACRES
TOTAL NEW IMPERVIOUS SURFACE AREA CREATED = 9.67 ACRES

STORMWATER MANAGEMENT:

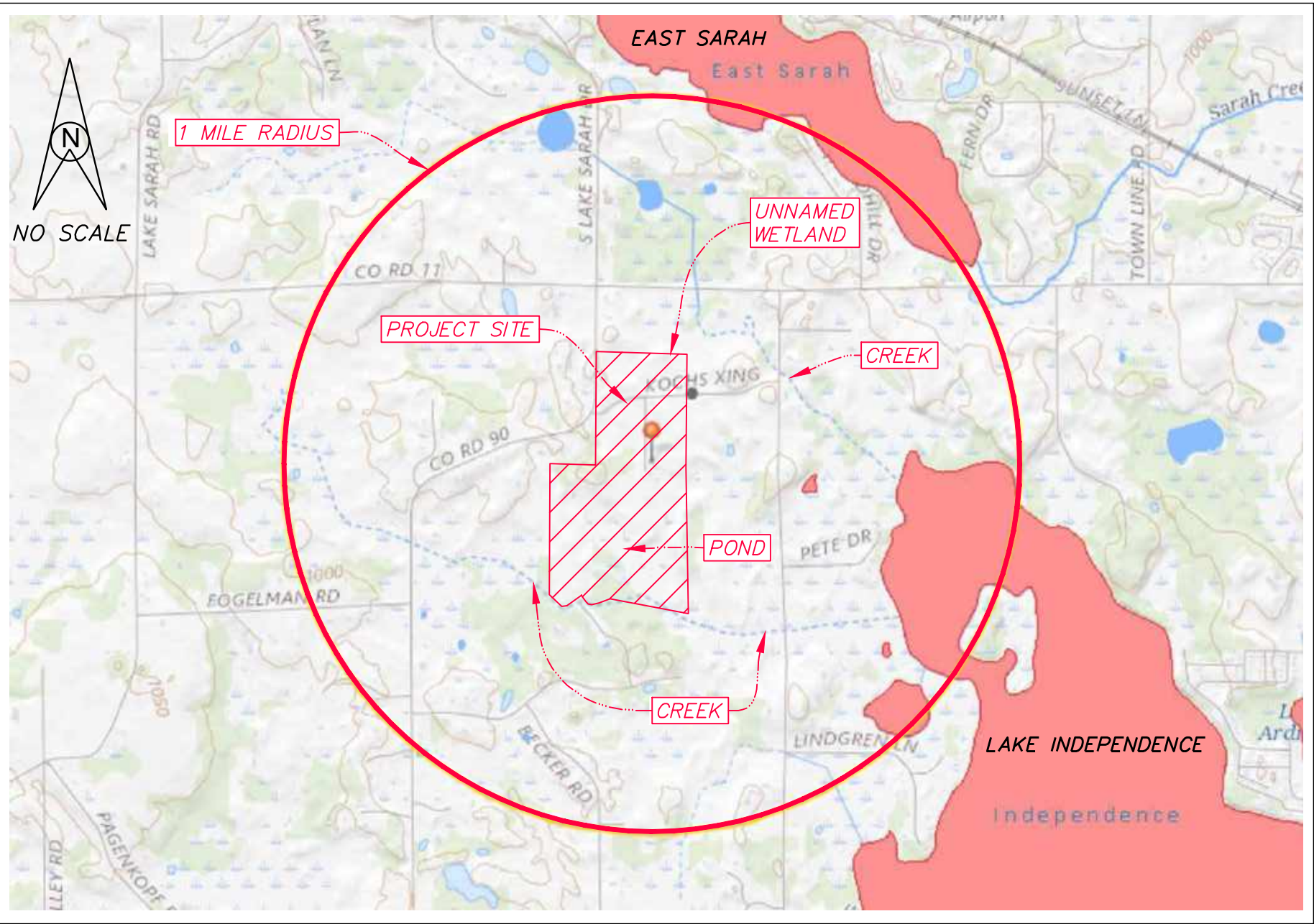
X	WET SEDIMENTATION BASIN
	INFILTRATION/FILTRATION
	REGIONAL POND
	PERMANENT STORMWATER MANAGEMENT NOT REQUIRED

ONSITE SOILS ARE HYDROLOGIC GROUPS C AND C/D. SOIL BORINGS TAKEN THROUGHOUT THE SITE FOUND SEASONALLY SATURATED SOILS WITHIN 3' OF THE SURFACE. THEREFORE, INFILTRATION IS PROHIBITED. TO MEET THE NPDES REQUIREMENTS, THE PROPOSED STORMWATER PONDS ARE DESIGNED TO PROVIDE LIVE STORAGE FOR THE 1" WATER QUALITY VOLUME.

WATER QUALITY VOLUME = 9.67 AC. X 1" = 35,102 CF
WATER QUALITY PROVIDED IN PONDS = 72,741 CF

PERMANENT STORMWATER TREATMENT SYSTEMS FOR THIS PROJECT HAVE BEEN DESIGNED TO MEET SWPPP REQUIREMENTS. A COPY OF THE STORMWATER MANAGEMENT REPORT (INCLUDING DESIGN INFORMATION, DRAINAGE DIVIDES, AND CALCULATIONS) ARE PART OF THIS SWPPP AND WILL BE PROVIDED UPON REQUEST TO THE ENGINEER.

Map unit symbol	Map unit name	Rating
L9A	Minnetonka silty clay loam, 0 to 2 percent slopes	C/D
L22D2	Lester loam, 10 to 16 percent slopes, moderately eroded	C
L23A	Cordova loam, 0 to 2 percent slopes	C/D
L24A	Glencoe clay loam, 0 to 1 percent slopes	C/D
L35A	Lerdal loam, 1 to 3 percent slopes	C/D
L36A	Hamel, overwash-Hamel complex, 0 to 3 percent slopes	C/D
L40B	Angus-Kilkenny complex, 2 to 6 percent slopes	C/D
L41C2	Lester-Kilkenny complex, 6 to 10 percent slopes, moderately eroded	C
L41D2	Lester-Kilkenny complex, 10 to 16 percent slopes, moderately eroded	C
L41E	Lester-Kilkenny complex, 16 to 22 percent slopes	C
L50A	Muskego and Houghton soils, 0 to 1 percent slopes	C/D

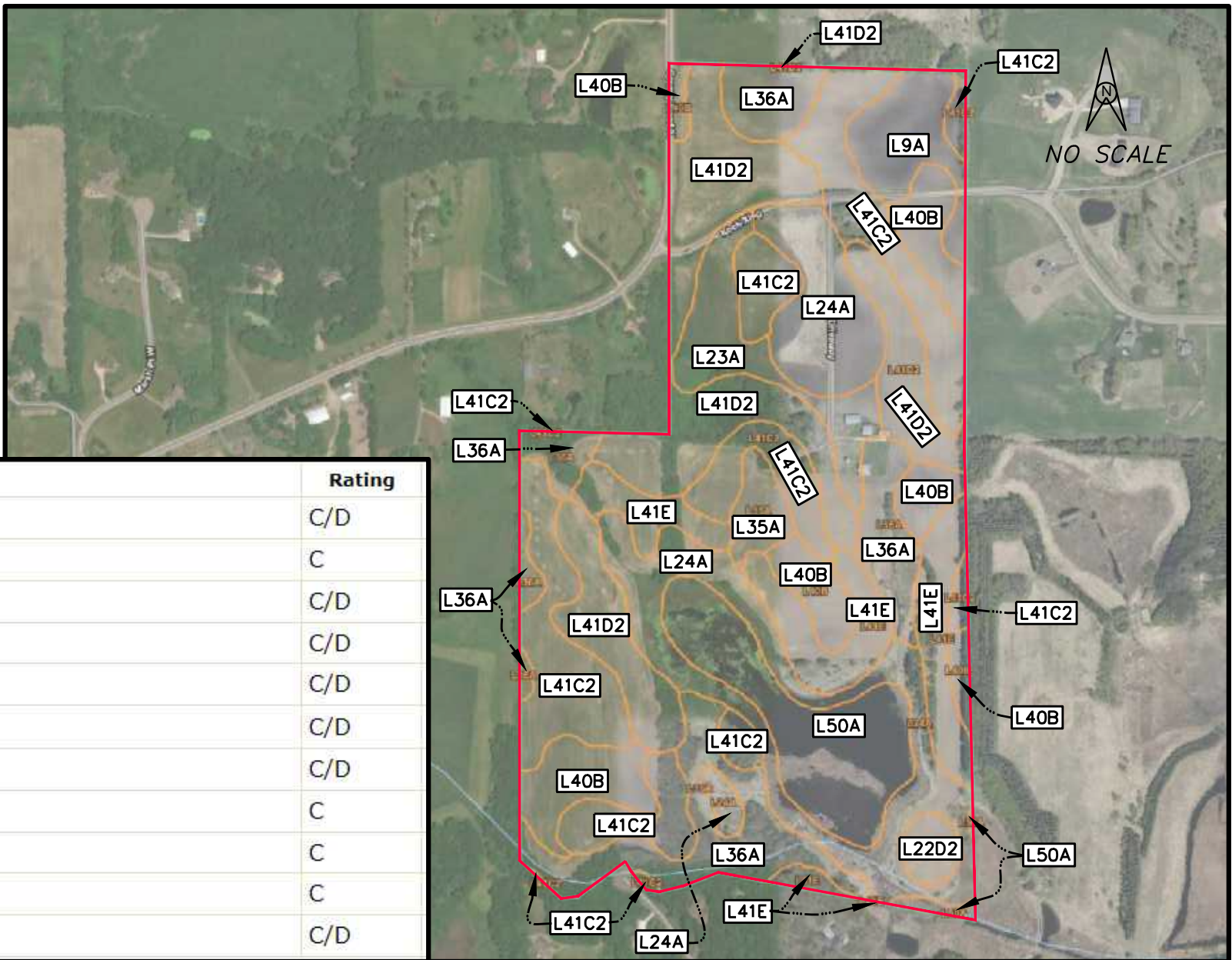


RECEIVING WATERS:
SURFACE WATERS AND WETLANDS THAT WILL RECEIVE STORM WATER RUNOFF FROM THE SITE AND ARE WITHIN ONE (1) MILE OF THE SITE ARE INDICATED ON THE MAP ABOVE.

NAME OF WATER BODY	TYPE (DITCH, POND, WETLAND, LAKE, ETC.)	SPECIAL, PROHIBITED, RESTRICTED WATER ¹	IMPAIRED WATER ²
UNNAMED WETLAND	WETLAND	NO	NO
CREEK (NORTH)	CREEK	NO	NO
CREEK (SOUTH)	CREEK	NO	NO
POND	POND/WETLAND	NO	NO
LAKE INDEPENDENCE	LAKE	NO	YES

¹ SPECIAL, PROHIBITED AND RESTRICTED WATERS ARE LISTED IN SECTION 23 OF THE MN CONSTRUCTION STORMWATER GENERAL PERMIT (MNR100001).

² IDENTIFIED AS IMPAIRED UNDER SECTION 303 (d) OF THE FEDERAL CLEAN WATER ACT FOR PHOSPHORUS, TURBIDITY, TSS, DISSOLVED OXYGEN, AND/OR AQUATIC BIOTA.



CONSTRUCTION SEQUENCING:

- 1) PRECONSTRUCTION MEETING.
- 2) CLEARING & GRUBBING ACTIVITIES.
- 3) INSTALL PERIMETER SILT FENCE & ROCK CONSTRUCTION ENTRANCE.
- 4) STRIP TOPSOIL & STOCKPILE.
- 5) ROUGH GRADE SITE.
- 6) INSTALL CULVERTS AND POND OUTLET CONTROL STRUCTURES.
- 7) TEMPORARY STABILIZE SITE AS INDICATED ON THE PLANS.
- 8) STREET CONSTRUCTION.
- 9) TOPSOIL RESPREAD.
- 10) PRIVATE UTILITY INSTALLATION.
- 11) RESTORE SITE WITH PERMANENT RESTORATION.
- 12) REMOVE SEDIMENT CONTROL DEVICES & SUBMIT NOTICE OF TERMINATION (NOT) TO MPCA ONCE ALL DISTURBED AREAS HAVE 70% VEGETATIVE DENSITY.

EROSION & SEDIMENT CONTROL BMP ESTIMATED QUANTITIES:

QUANTITIES LISTED ARE APPROXIMATE. REFER TO CONTRACT DOCUMENTS FOR EXACT QUANTITIES.

BMP	UNIT	QUANTITY
SILT FENCE	LF	8,754
ROCK CONST. ENTRANCE	EACH	2
TEMPORARY SEED & MULCH	AC	10.0
PERMANENT SEED	AC	20.0
BIOROLL INLET PROTECTION	EACH	7
MNDOT CAT 25 EROSION CONTROL BLANKET	SY	26,880
MNDOT CAT. 50 TRM	SF	2,336
CL. III RIP RAP	CY	142
CL. IV RIP RAP	CY	62

DEWATERING:

- 1) PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR SCOUR IN THE IMMEDIATE VICINITY.
- 2) PRIOR TO DISCHARGE PERMITTEES MUST TREAT STORMWATER WITH APPROPRIATE BMPS SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT DOWNSTREAM SURFACE WATERS OR PROPERTIES. PERMITTEES MUST VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED.

REV. NO.	DATE	BY	DESCRIPTION
1	6-8-22	T.J.B.	CLEARING LIMITS, BERM, OCS
2	9-23-22	T.J.B.	COUNTY ROAD NO. 90 PROPOSED RIGHT TURN LANE GRADING

DESIGNED	DRAWN
P.E.O.	T.J.B.
CHECKED	
P.E.O.	

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Paul E. Otto
Paul E. Otto
License # 40062
Date: 9-23-22



www.ottoassociates.com
9 West Division Street
Buffalo, MN 55313
(763)682-4727
Fax: (763)682-3522

KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

SWPPP - PROJECT INFORMATION

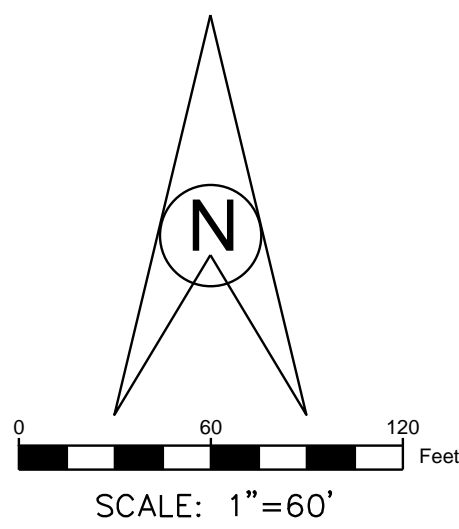
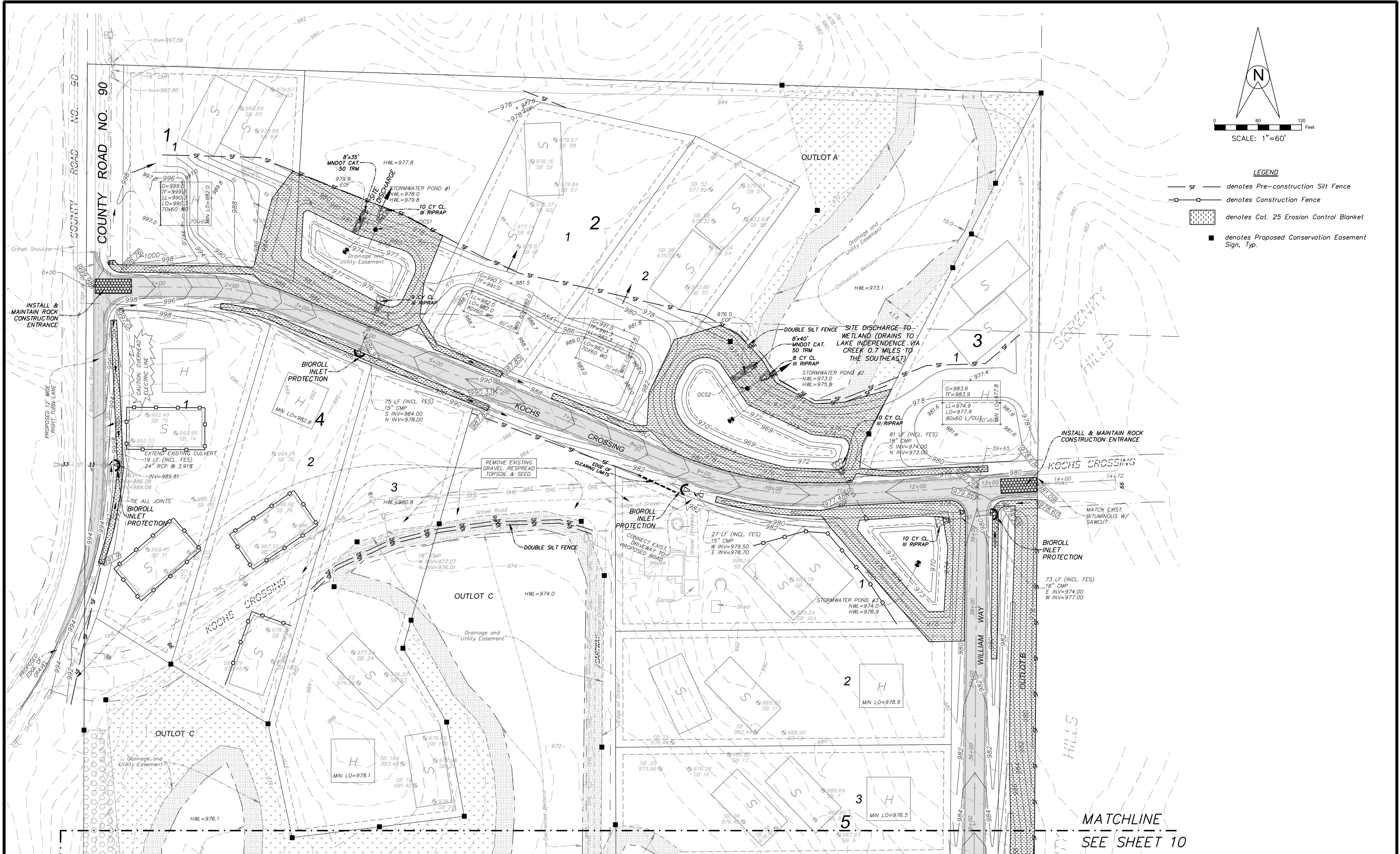
SHEET NO. 7 OF 20 SHEETS

PROJECT NO:

18-0199

DATE:

6-3-22



- LEGEND**
- SF denotes Pre-construction Silt Fence
 - denotes Construction Fence
 - ▨ denotes Cat. 25 Erosion Control Blanket
 - denotes Proposed Conservation Easement Sign, Typ.

REV. NO.	DATE	BY	DESCRIPTION
1	6-8-22	T.J.B.	CLEARING LIMITS, BERM, OCS
2	9-23-22	T.J.B.	COUNTY ROAD NO. 90 PROPOSED RIGHT TURN LANE GRADING

DESIGNED DRAWN
P.E.O. T.J.B.

CHECKED
P.E.O.

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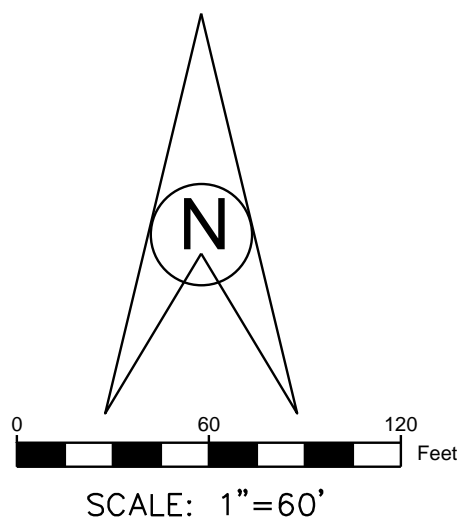
Paul E. Otto
License # 40062 Date: 9-23-22

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Buffalo, MN 55313
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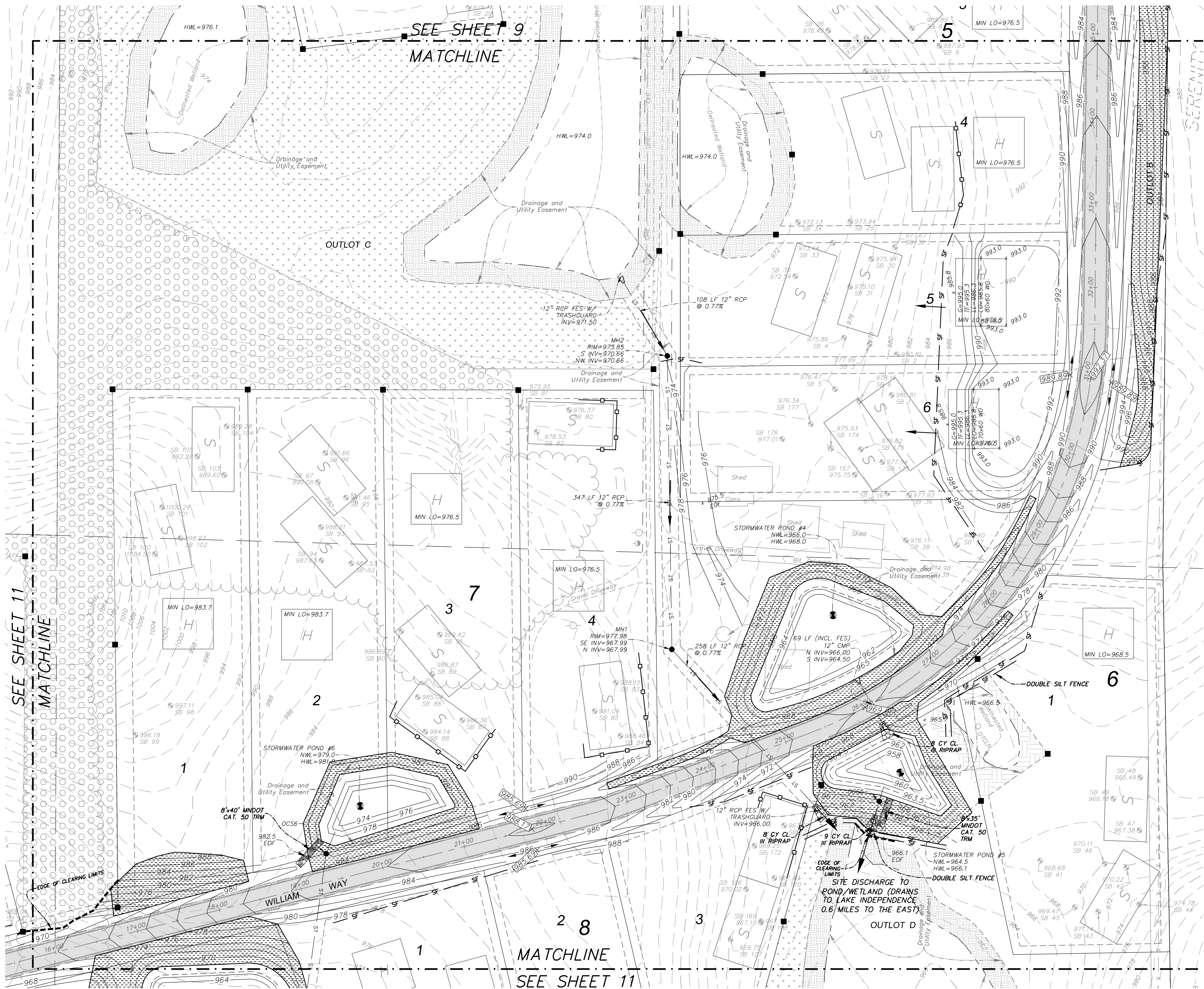
KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

STORMWATER POLLUTION PREVENTION PLAN (NORTH)	PROJECT NO: 18-0199
SHEET NO. 9 OF 20 SHEETS	DATE: 6-3-22



LEGEND

- sf — denotes Pre-construction Silt Fence
- □ — denotes Construction Fence
- ▨ denotes Cat. 25 Erosion Control Blanket
- denotes Proposed Conservation Easement Sign, Typ.



REV. NO.	DATE	BY	DESCRIPTION
1	6-8-22	T.J.B.	CLEARING LIMITS, BERM, OCS

DESIGNED	DRAWN
P.E.O.	T.J.B.
CHECKED	
P.E.O.	

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Paul E. Otto
Paul E. Otto
License # 40062 Date: 6-8-22

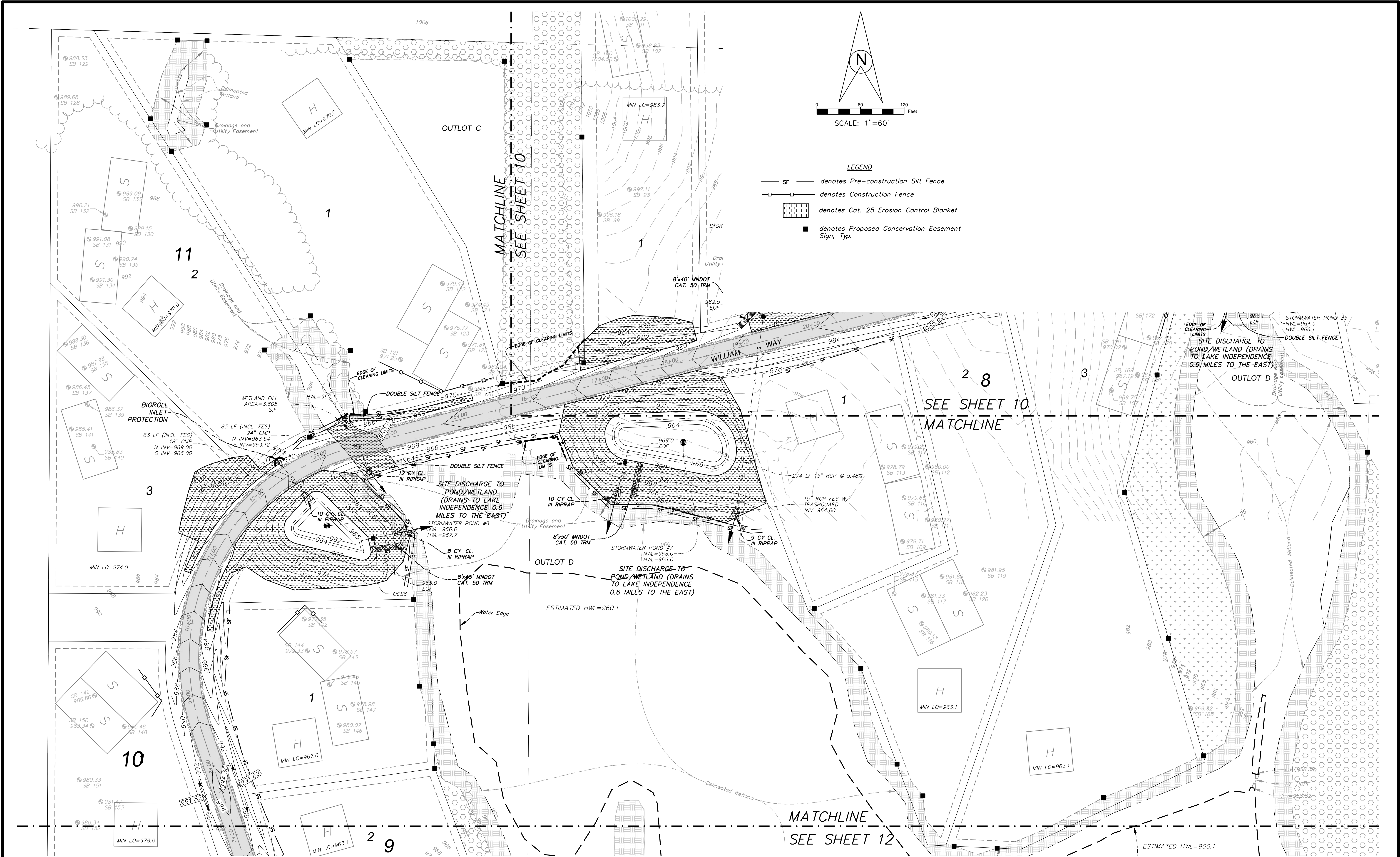


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KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

STORMWATER POLLUTION
PREVENTION PLAN (EAST CENTRAL)
SHEET NO. 10 OF 20 SHEETS

PROJECT NO:
18-0199
DATE: 6-3-22



REV. NO.	DATE	BY	DESCRIPTION
1	6-8-22	T.J.B.	CLEARING LIMITS, BERM, OCS
2	12-14-22	T.J.B.	LOT NUMBERS

DESIGNED	DRAWN
P.E.O.	T.J.B.
CHECKED	
P.E.O.	

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Paul E. Otto
Paul E. Otto
License # 40062 Date: 12-14-22

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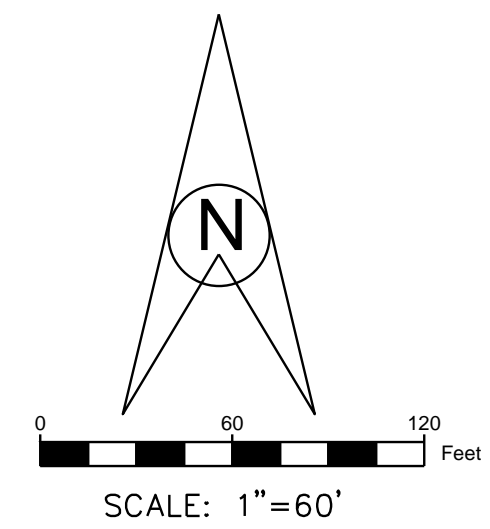
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(763) 682-4727
Fax: (763) 682-3522

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TOM KOCH
INDEPENDENCE, MN

**STORMWATER POLLUTION
PREVENTION PLAN (WEST CENTRAL)**
SHEET NO. 11 OF 20 SHEETS

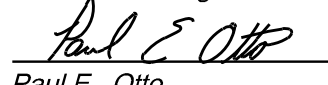
PROJECT NO:
18-0199
DATE:
6-3-22

SEE SHEET 11
MATCHLINE



- LEGEND**
- SF denotes Pre-construction Silt Fence
 - denotes Construction Fence
 - denotes Cat. 25 Erosion Control Blanket
 - denotes Proposed Conservation Easement Sign, Typ.

REV. NO.	DATE	BY	DESCRIPTION
1	6-8-22	T.J.B.	CLEARING LIMITS, BERM, OCS

DESIGNED P.E.O.	DRAWN T.J.B.
CHECKED P.E.O.	
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Paul E. Otto License # 40062 Date: 6-8-22	



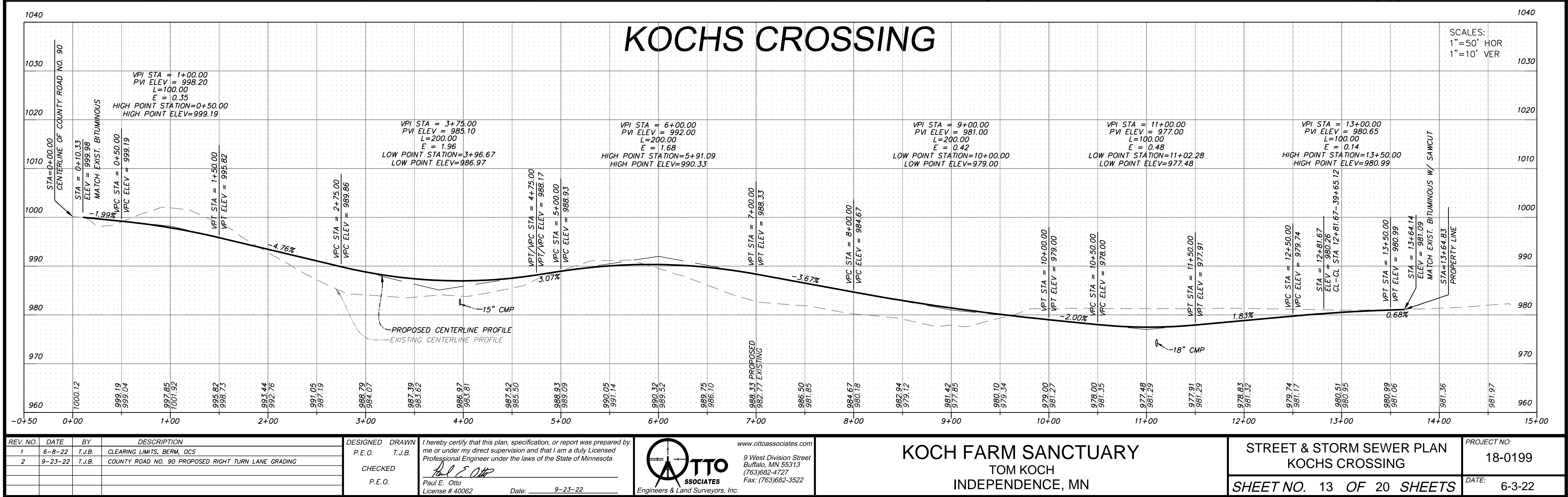
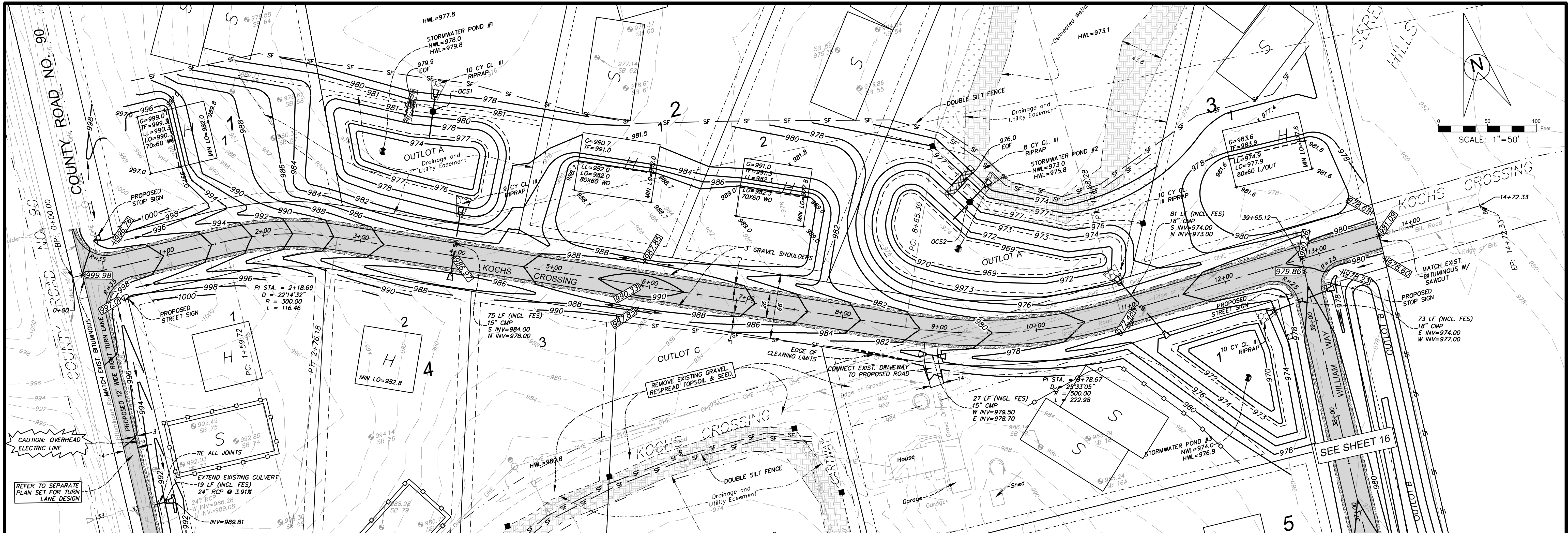
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(763)682-4727
Fax: (763)682-3522

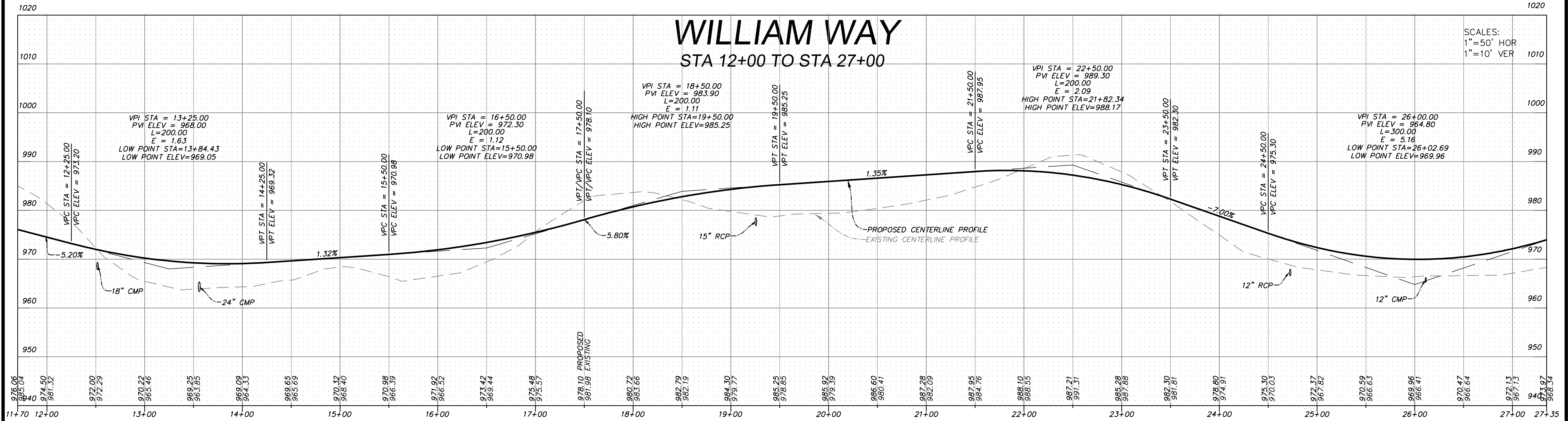
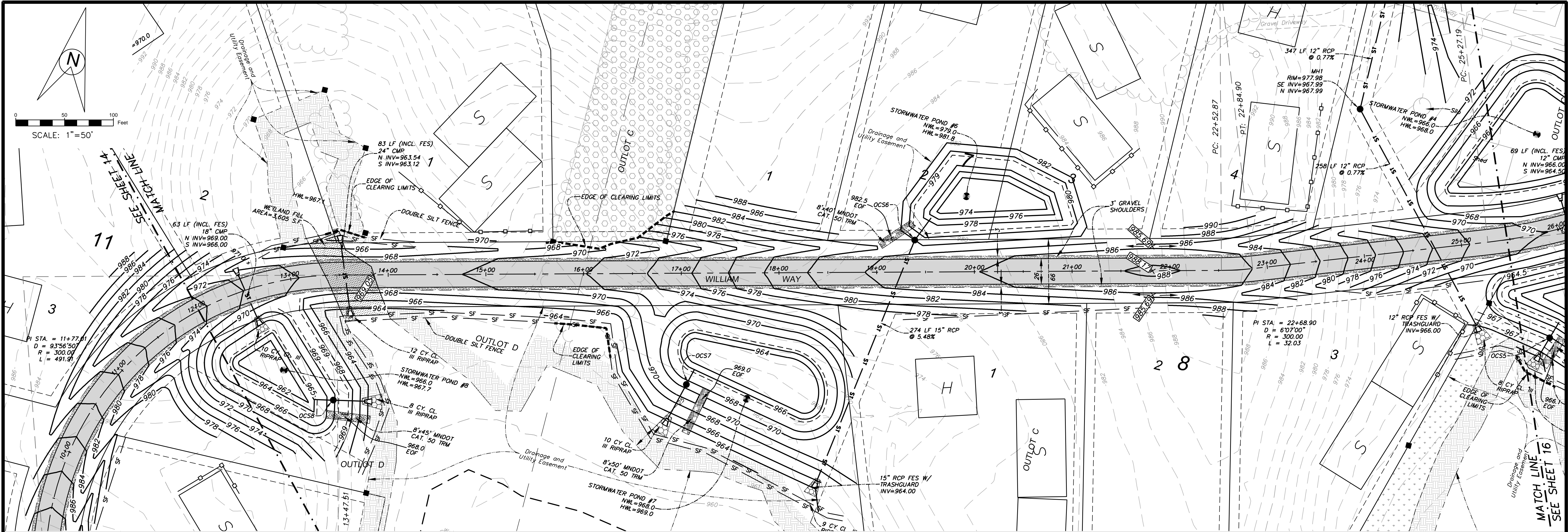
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TOM KOCH
INDEPENDENCE, MN

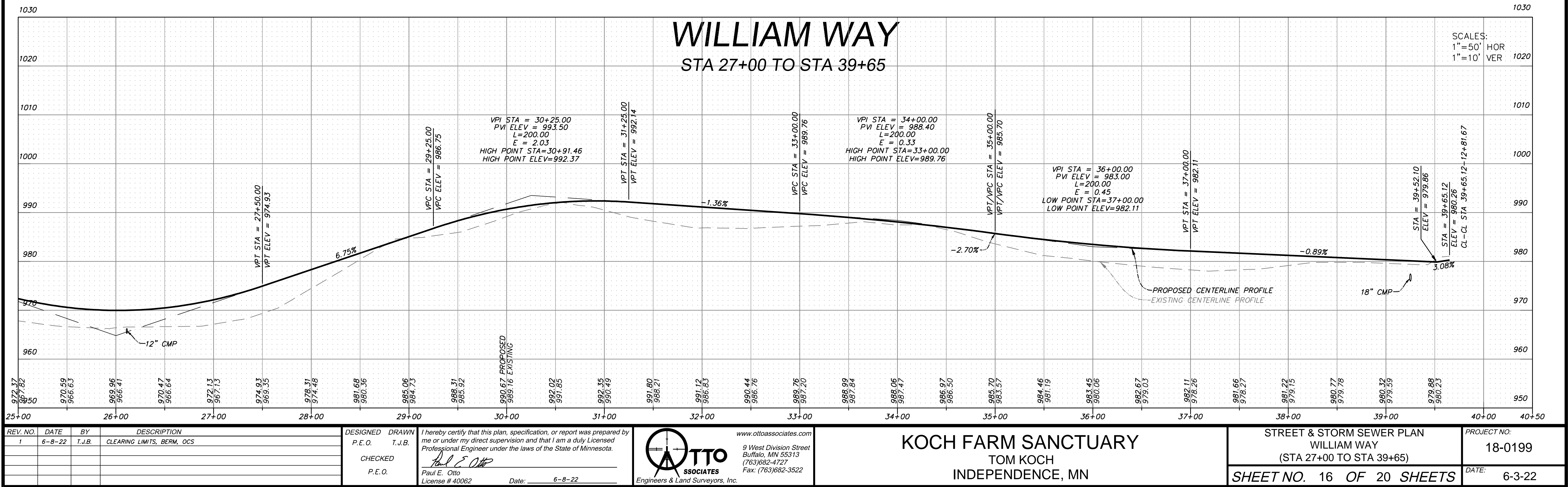
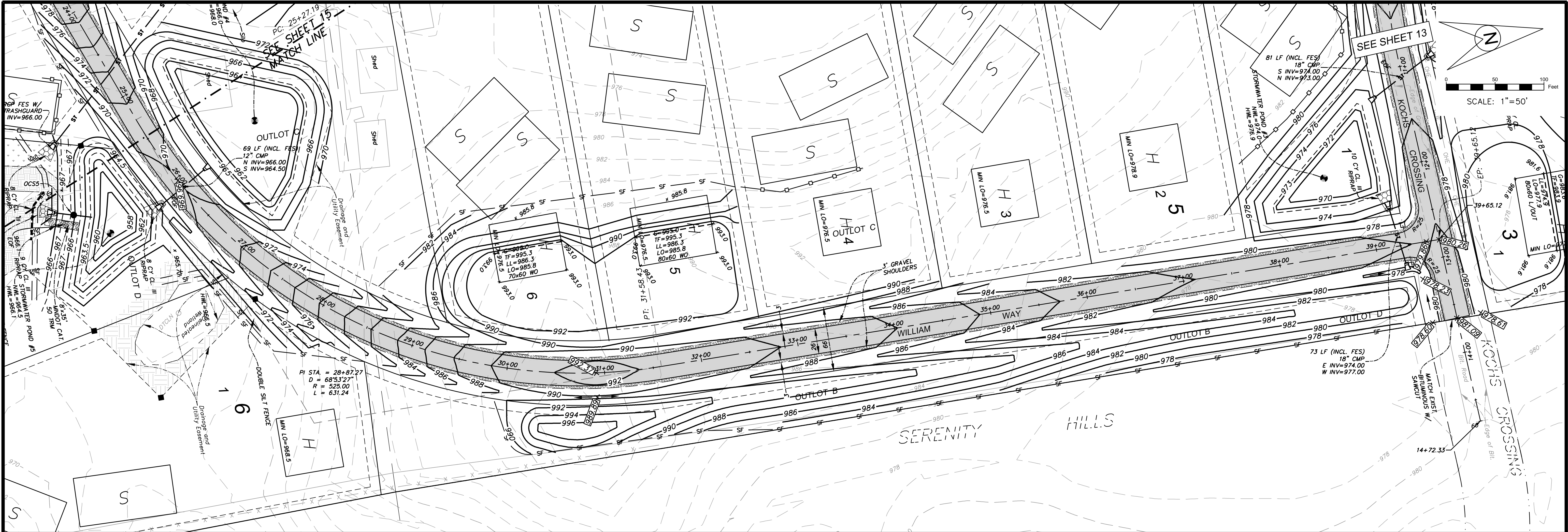
STORMWATER POLLUTION
PREVENTION PLAN (SOUTH)
SHEET NO. 12 OF 20 SHEETS

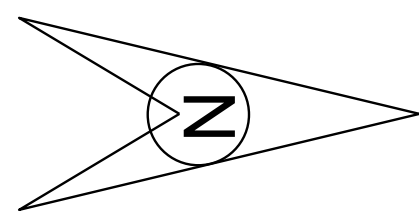
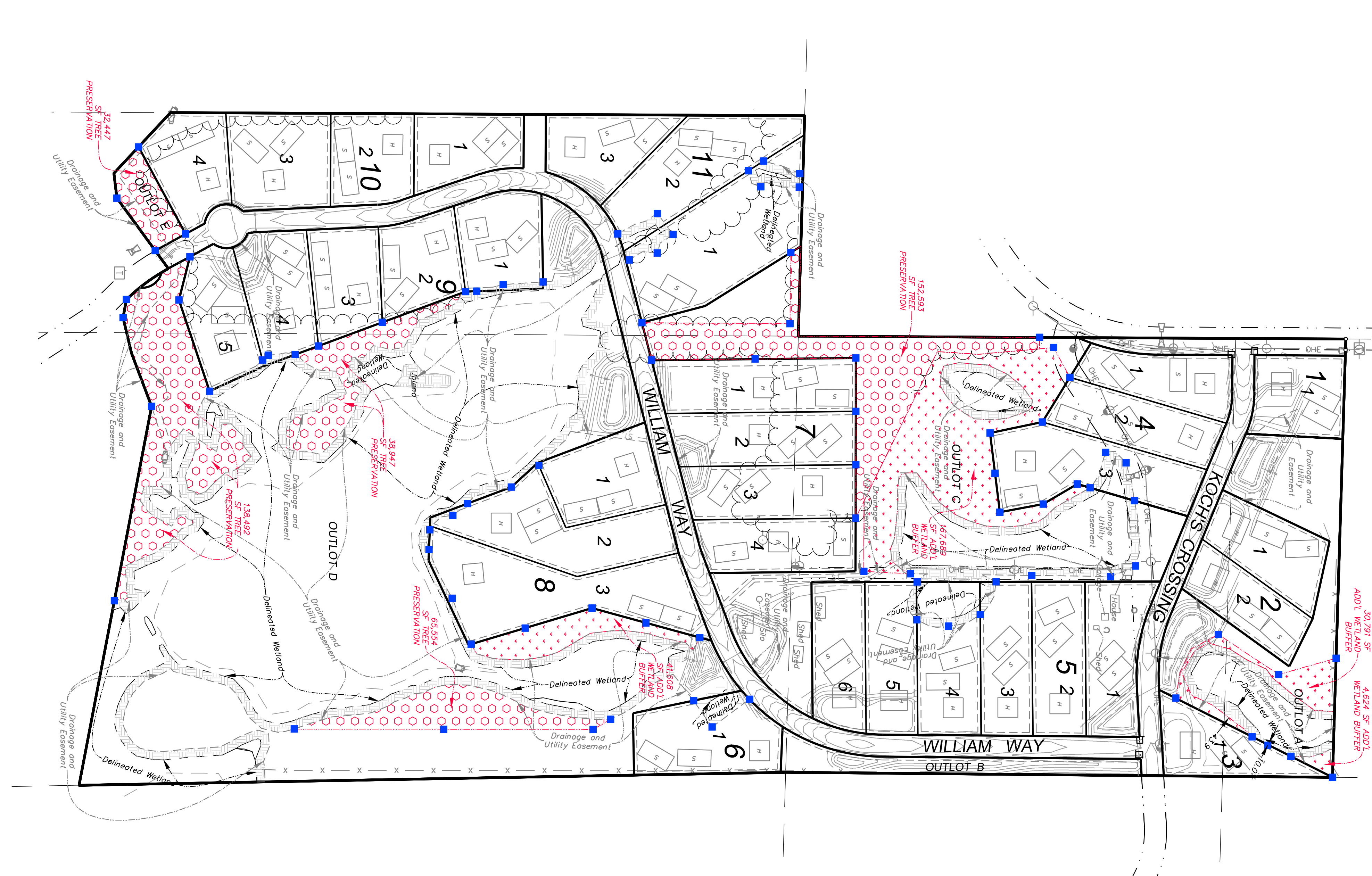
PROJECT NO:
18-0199
DATE:
6-3-22





REV. NO.	DATE	BY	DESCRIPTION	DESIGNED	DRAWN	I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. Paul E. Otto License # 40062 Date: 12-14-22	 Engineers & Land Surveyors, Inc.	www.ottoassociates.com 9 West Division Street Buffalo, MN 55313 (763) 682-4727 Fax: (763) 682-3522	KOCH FARM SANCTUARY TOM KOCH INDEPENDENCE, MN	STREET & STORM SEWER PLAN WILLIAM WAY (STA 12+00 TO STA 27+00)	PROJECT NO:
1	6-8-22	T.J.B.	CLEARING LIMITS, BERM, OCS	P.E.O.	T.J.B.						18-0199
2	12-14-22	T.J.B.	LOT NUMBERS	CHECKED							DATE:
				P.E.O.							6-3-22



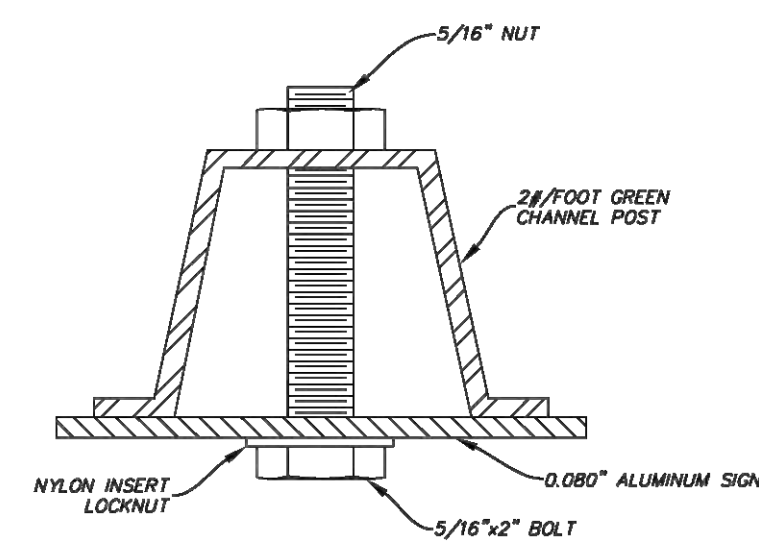
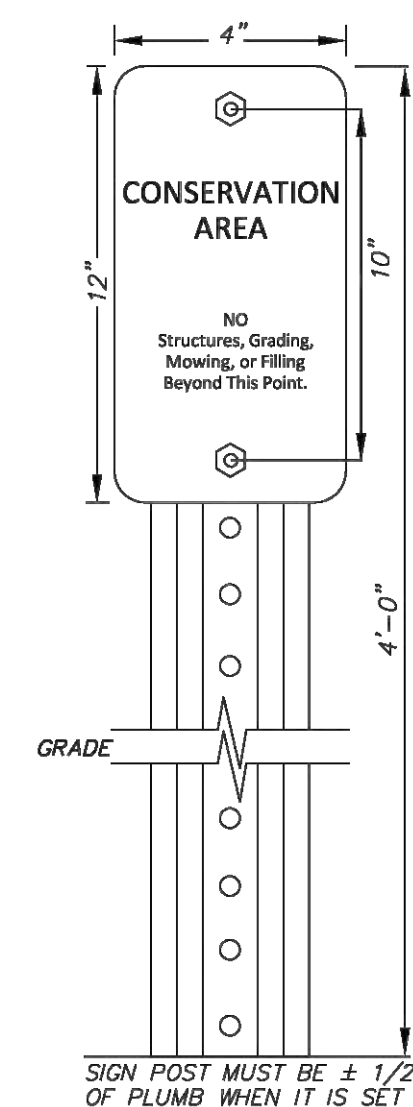


0 200 400
Feet
SCALE: 1"=200'

NOTE: WETLANDS DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES

LEGEND

- denotes Existing Telephone Pedestal
- denotes Existing Power Pole
- denotes Existing Overhead Electric Line
- denotes Existing Fence Line
- denotes Wetland
- denotes Possible Septic Area
- denotes Possible House Pad Location
- denotes Additional Wetland Buffer
Total = 244,712 SF
- denotes 25' Wetland Buffer
- denotes Existing Edge of Woods
- denotes Tree Preservation Area
Total = 428,033 SF
- denotes Proposed Conservation Easement Sign, Typ.



- NOTES:
- MATERIALS:
 - (1) 4"x12"x0.080" ALUMINUM CONSERVATION EASEMENT SIGNS
 - (2) 5/16"x2" CAD PLATED BOLTS
 - (2) 5/16" CAD PLATED NUTS
 - (2) NYLON INSERT LOCKNUT
 - (1) 4" (2#/FOOT) GREEN CHANNEL POST
 - SIGNS SHALL BE INSTALLED TO FACE PRIVATE PROPERTY.
 - SIGN PANELS SHALL CONSIST OF GREEN BACKGROUND WITH WHITE LETTERING, VMP SHEETING.

CONSERVATION EASEMENT
MONUMENTATION SIGN DETAIL

REV. NO.	DATE	BY	DESCRIPTION
1	6-8-22	T.J.B.	CLEARING LIMITS, BERM, OCS
2	9-23-22	T.J.B.	COUNTY ROAD NO. 90 PROPOSED RIGHT TURN LANE GRADING
3	12-14-22	T.J.B.	LOT NUMBERS

DESIGNED DRAWN
P.E.O. T.R.K.
CHECKED
P.E.O.

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Paul E. Otto
License # 40062 Date: 12-14-22

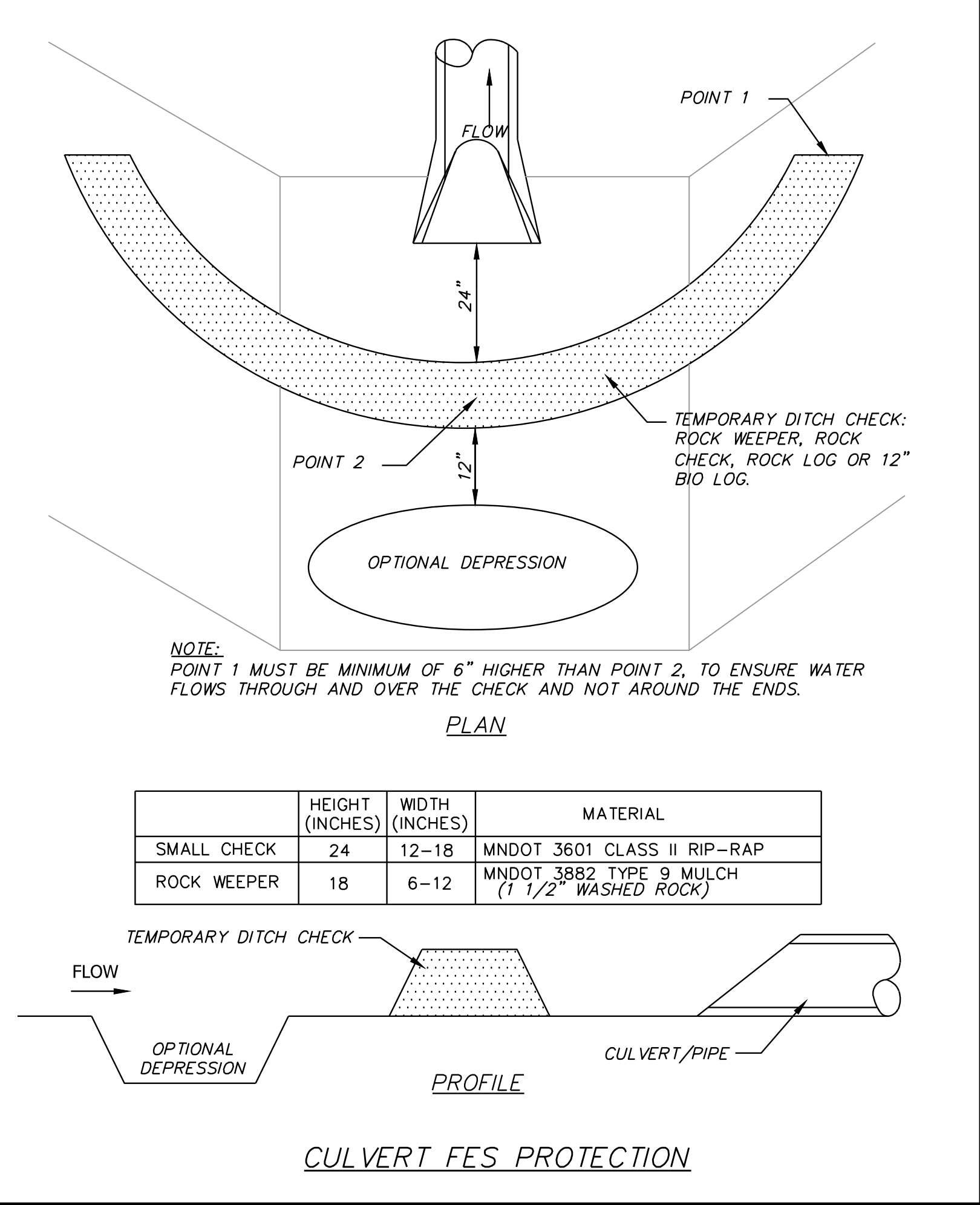
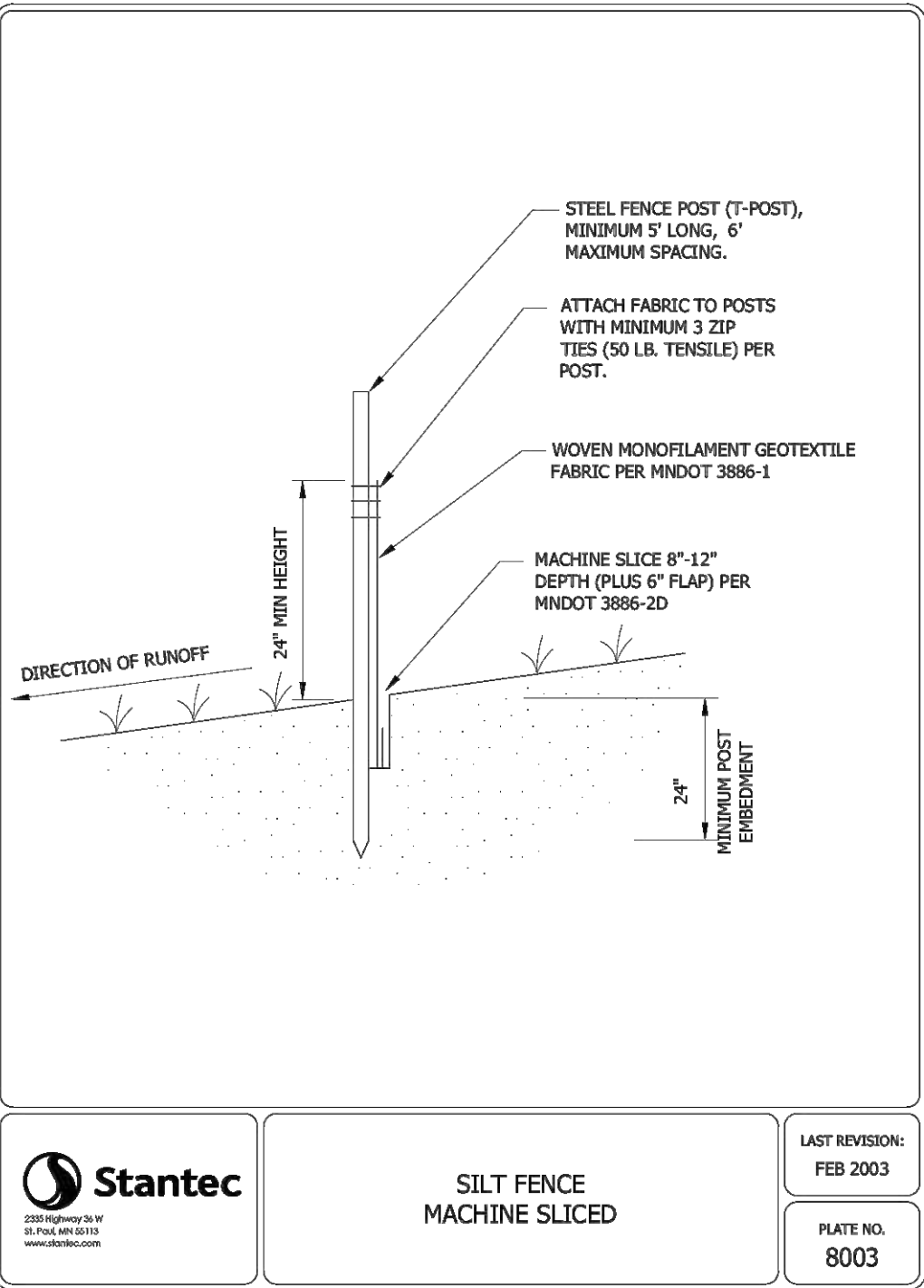
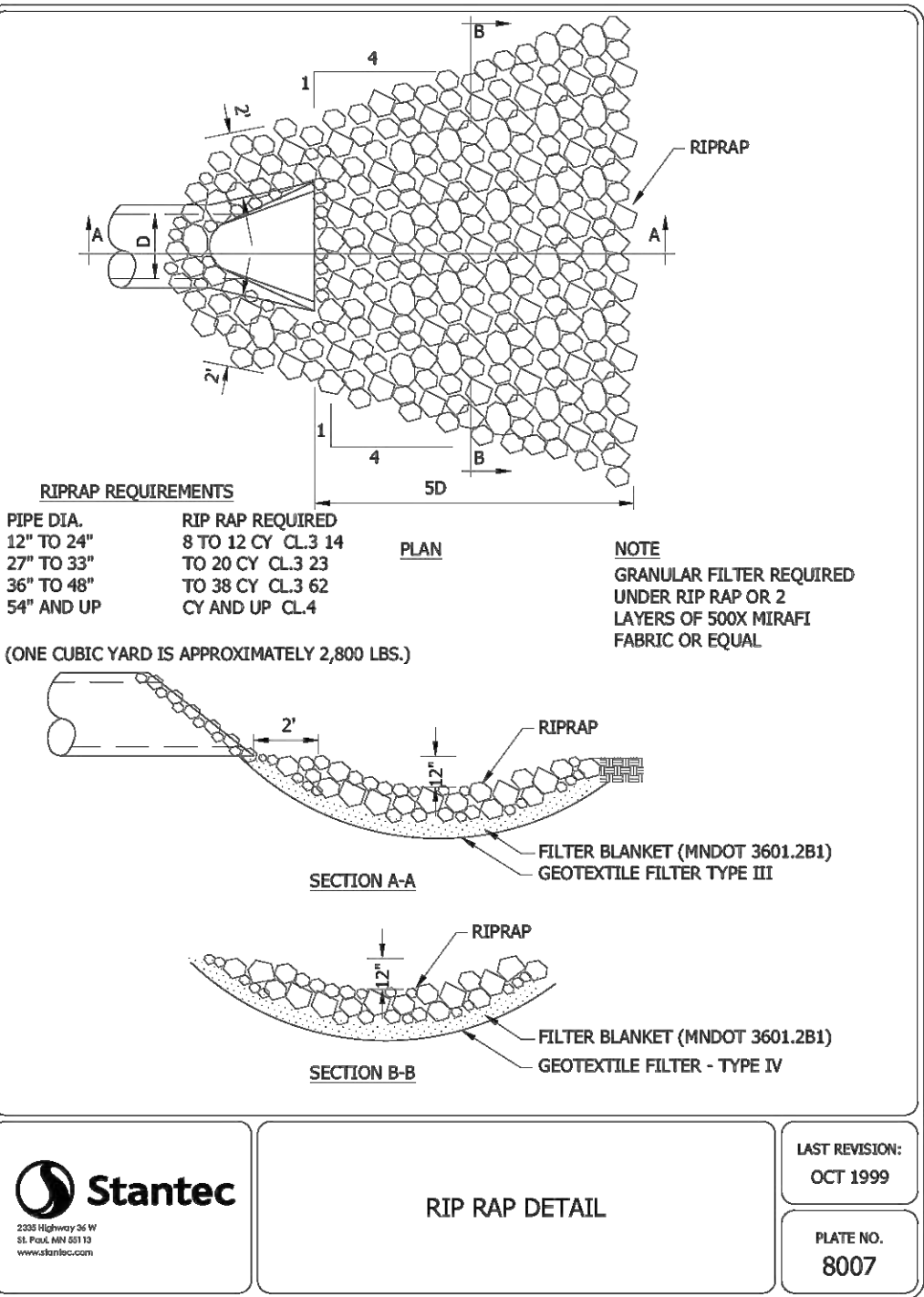
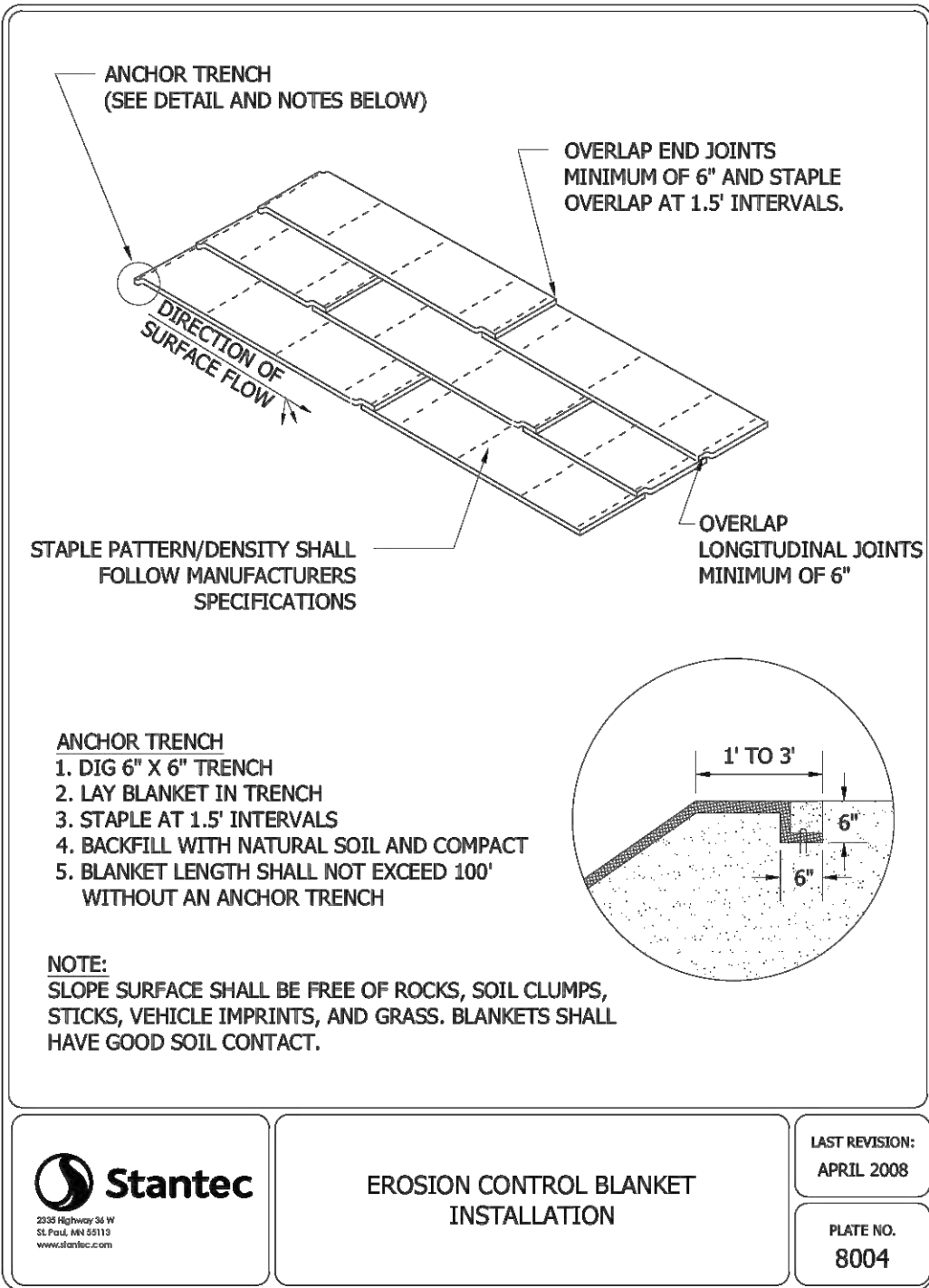
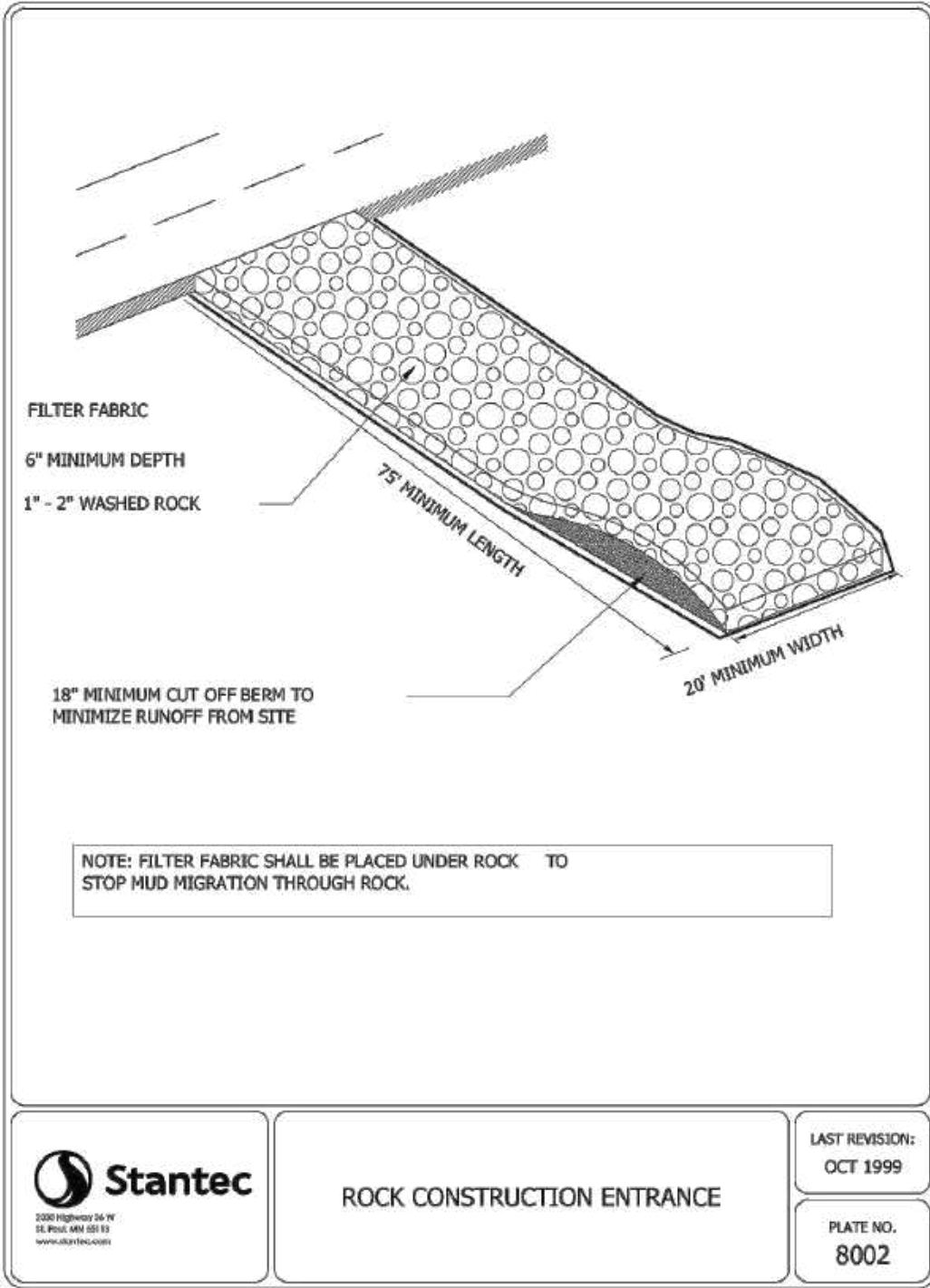
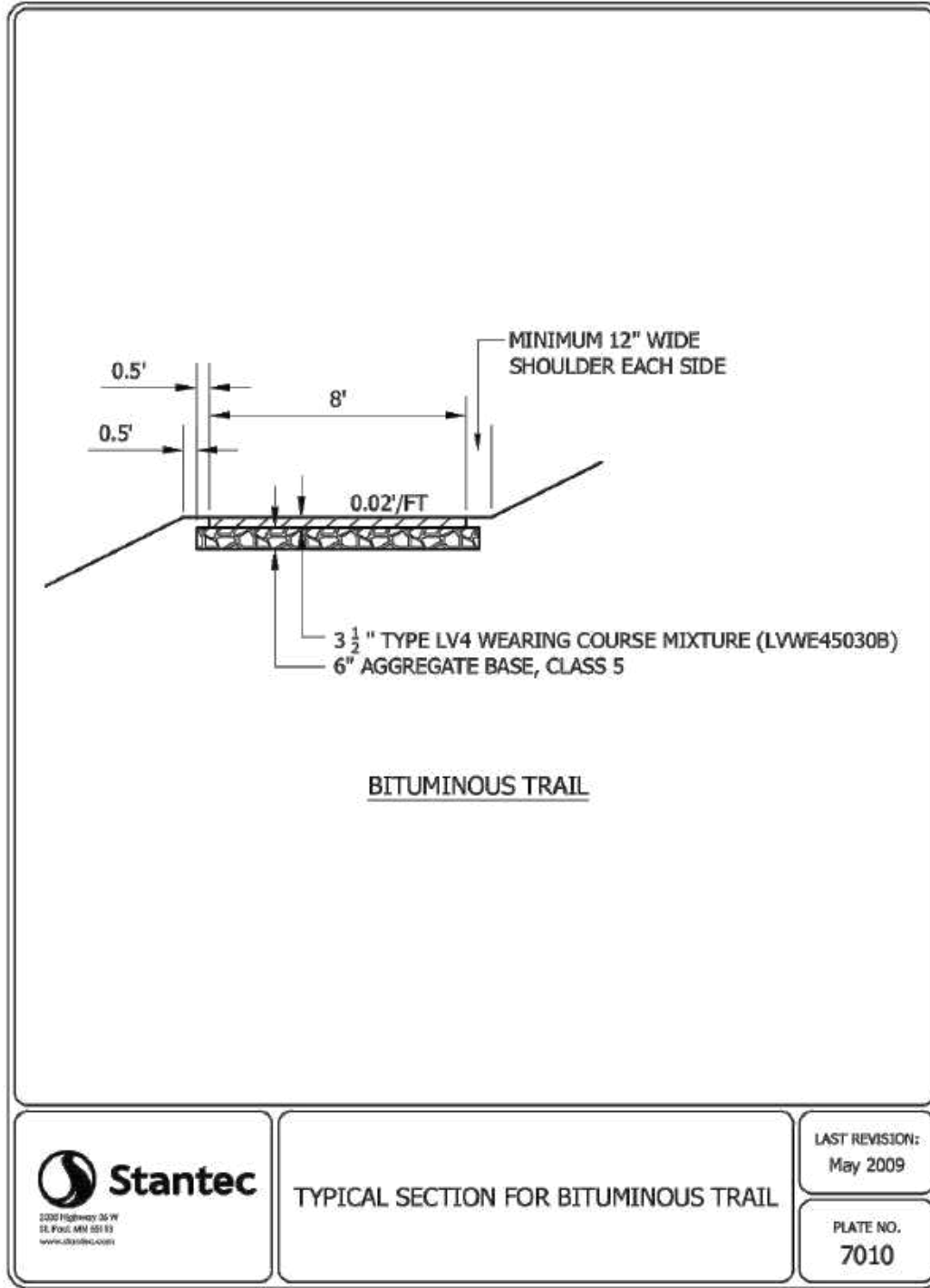
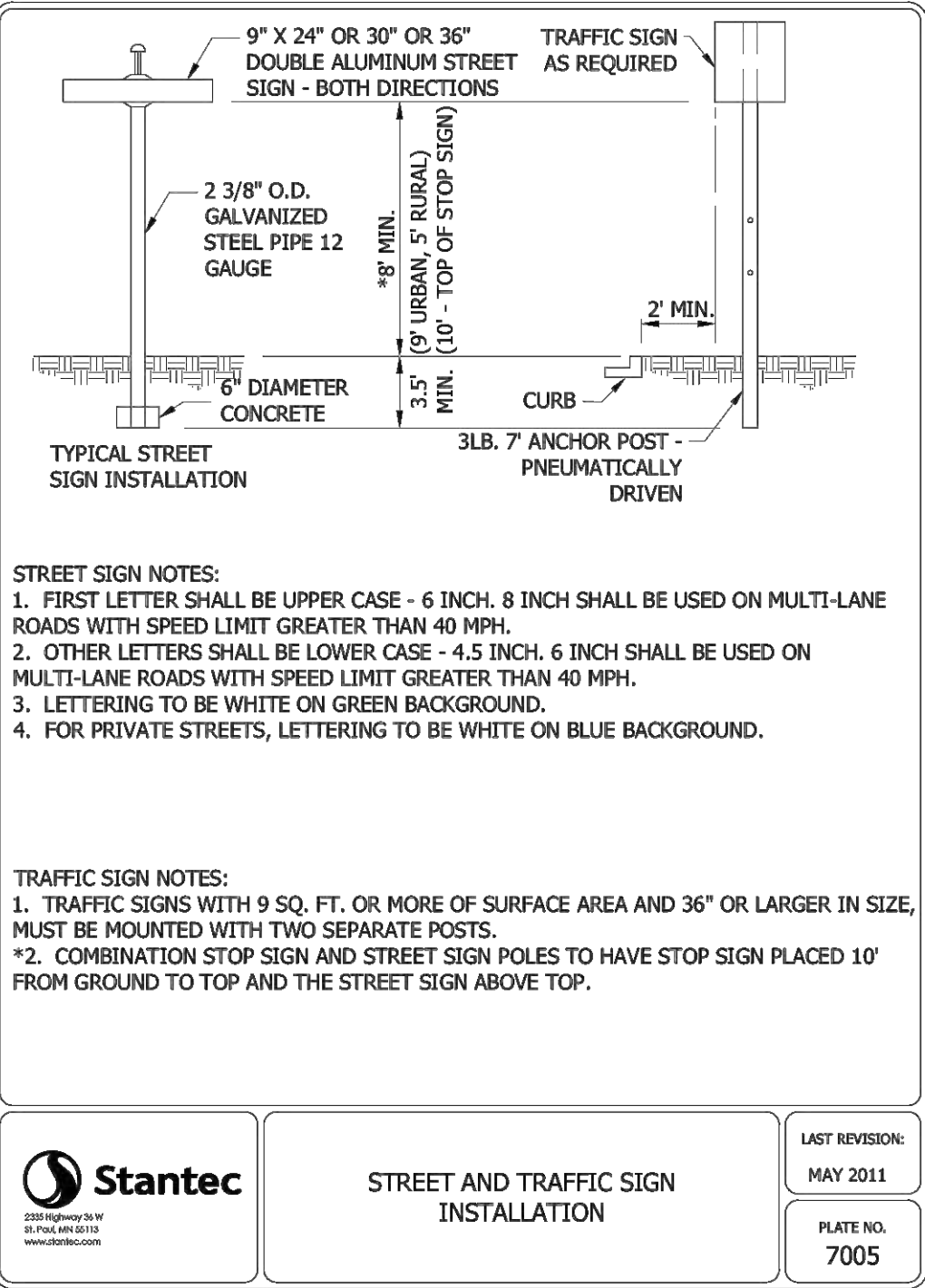
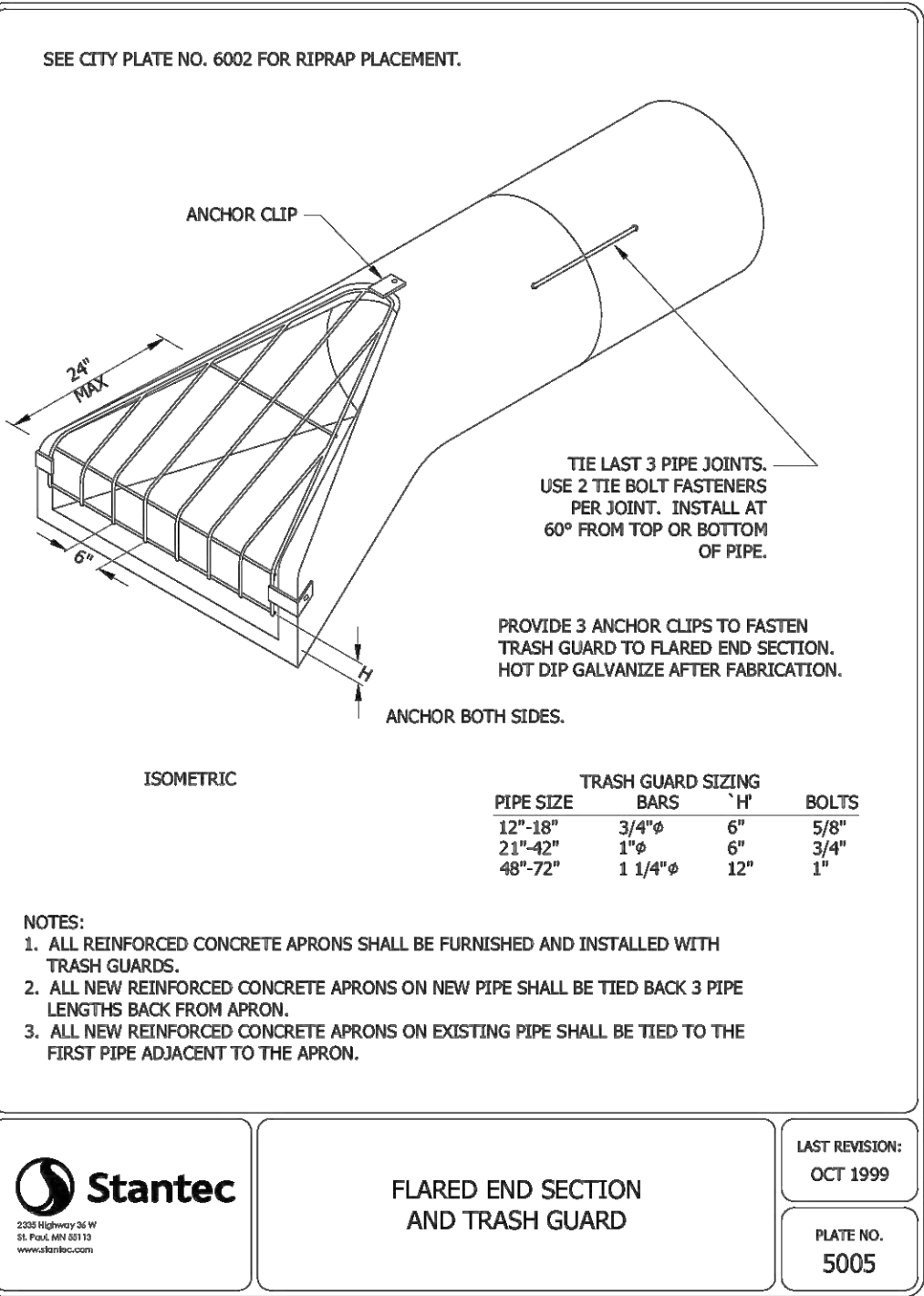
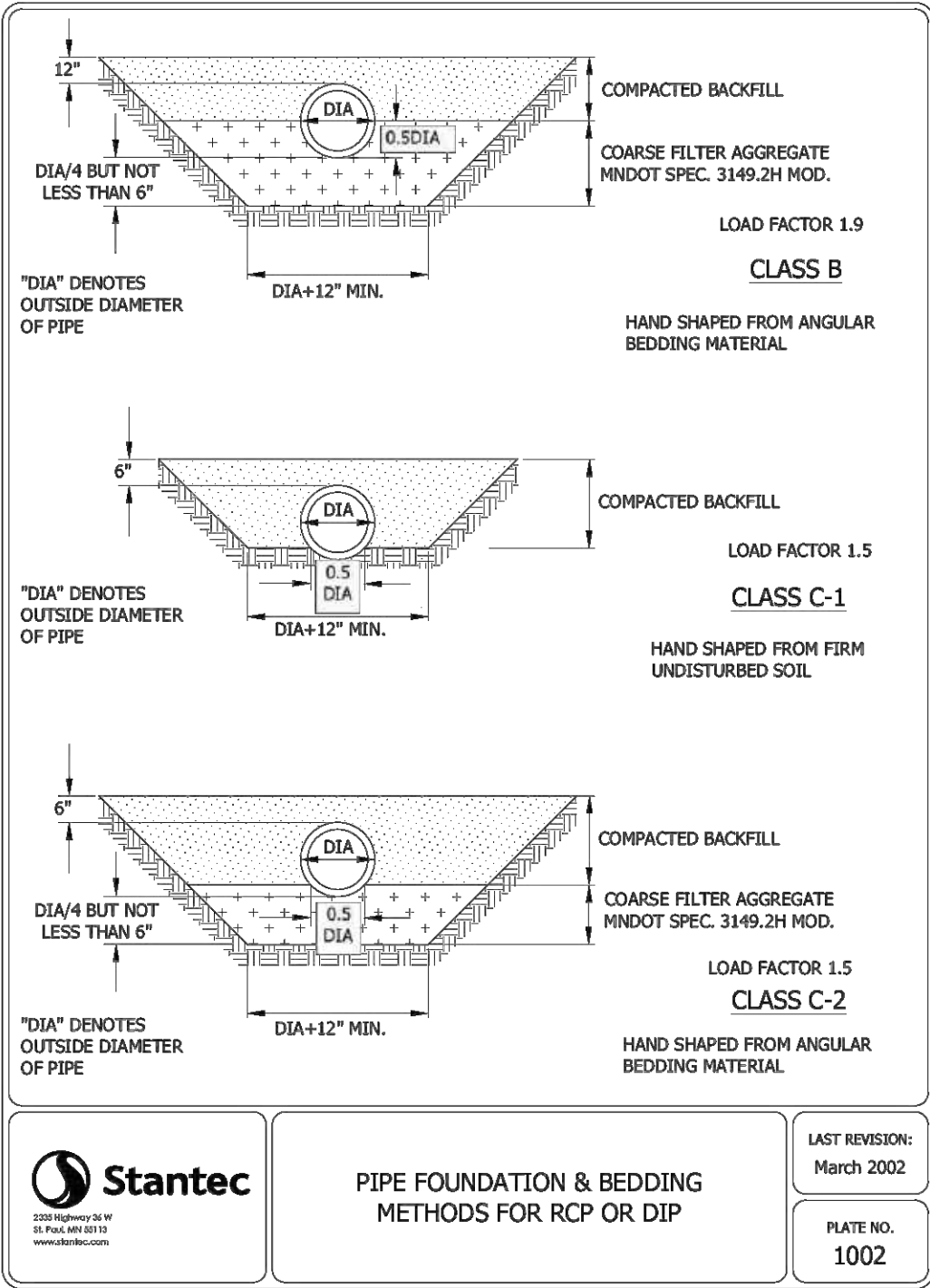


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KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

WETLAND BUFFER & TREE
PRESERVATION PLAN
SHEET NO. 17 OF 20 SHEETS

PROJECT NO:
18-0199
DATE:
6-3-22



REV. NO.	DATE	BY	DESCRIPTION

DESIGNED	DRAWN
P.E.O.	T.J.B.
CHECKED	
P.E.O.	

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Paul E. Otto
License # 40062 Date: 6-3-22

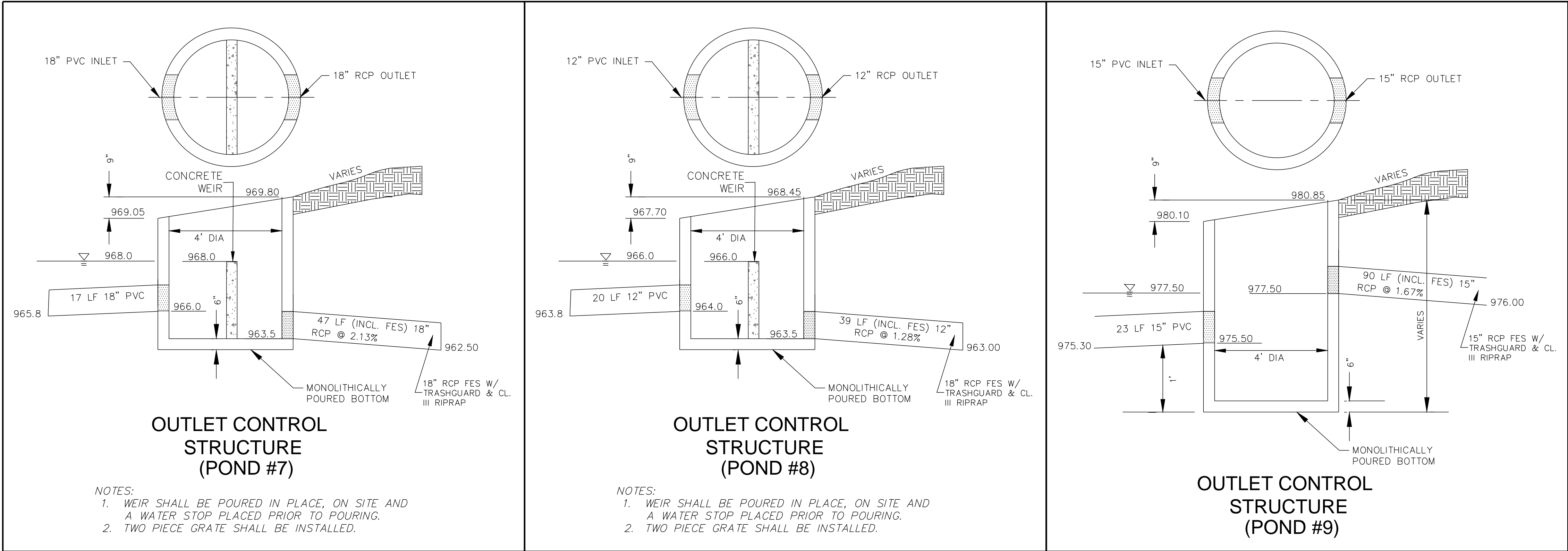
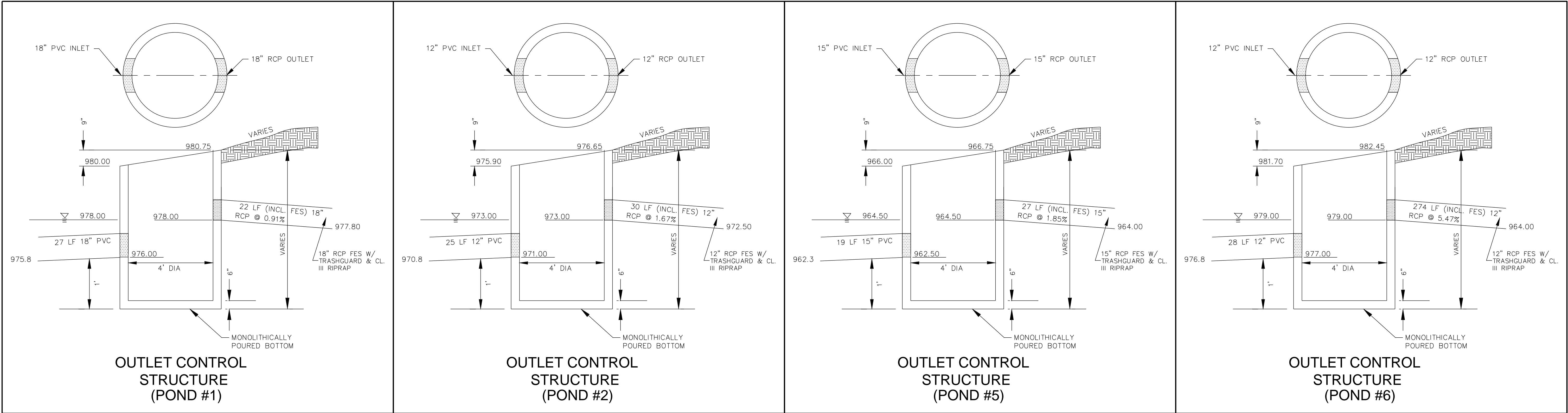
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TOM KOCH
INDEPENDENCE, MN

DETAILS
SHEET NO. 18 OF 20 SHEETS

PROJECT NO:	18-0199
DATE:	6-3-22



REV. NO.	DATE	BY	DESCRIPTION
1	6-8-22	T.J.B.	CLEARING LIMITS, BERM, OCS

DESIGNED	DRAWN
P.E.O.	T.J.B.
CHECKED	
P.E.O.	

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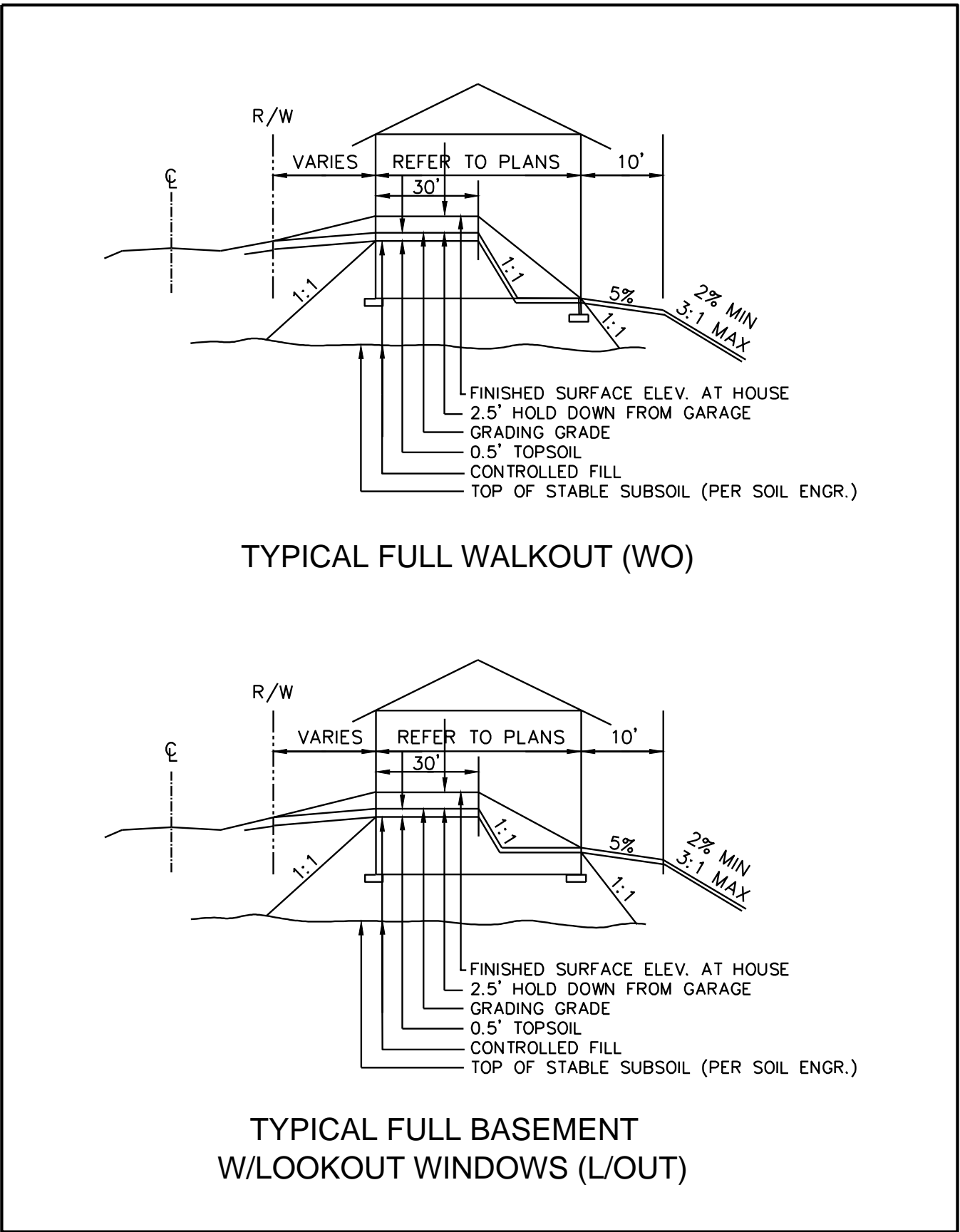
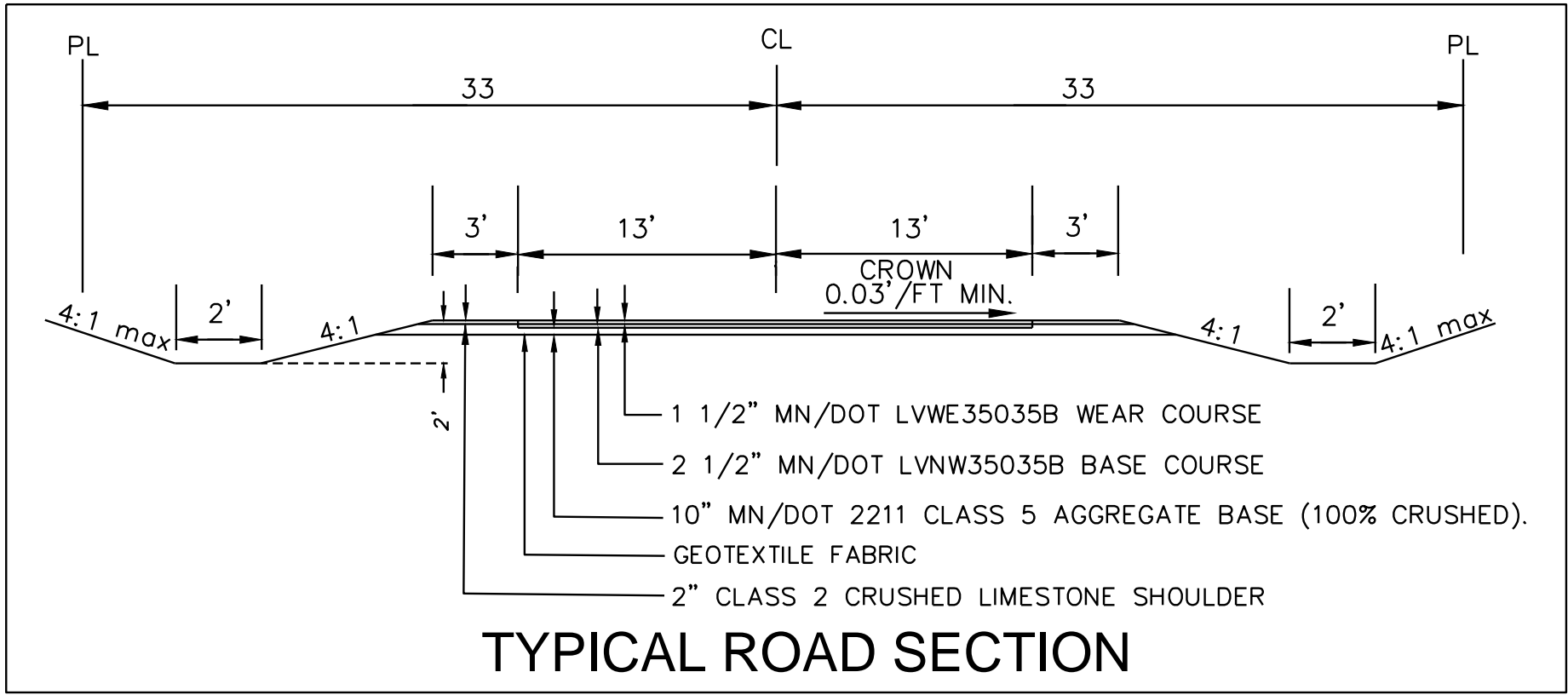
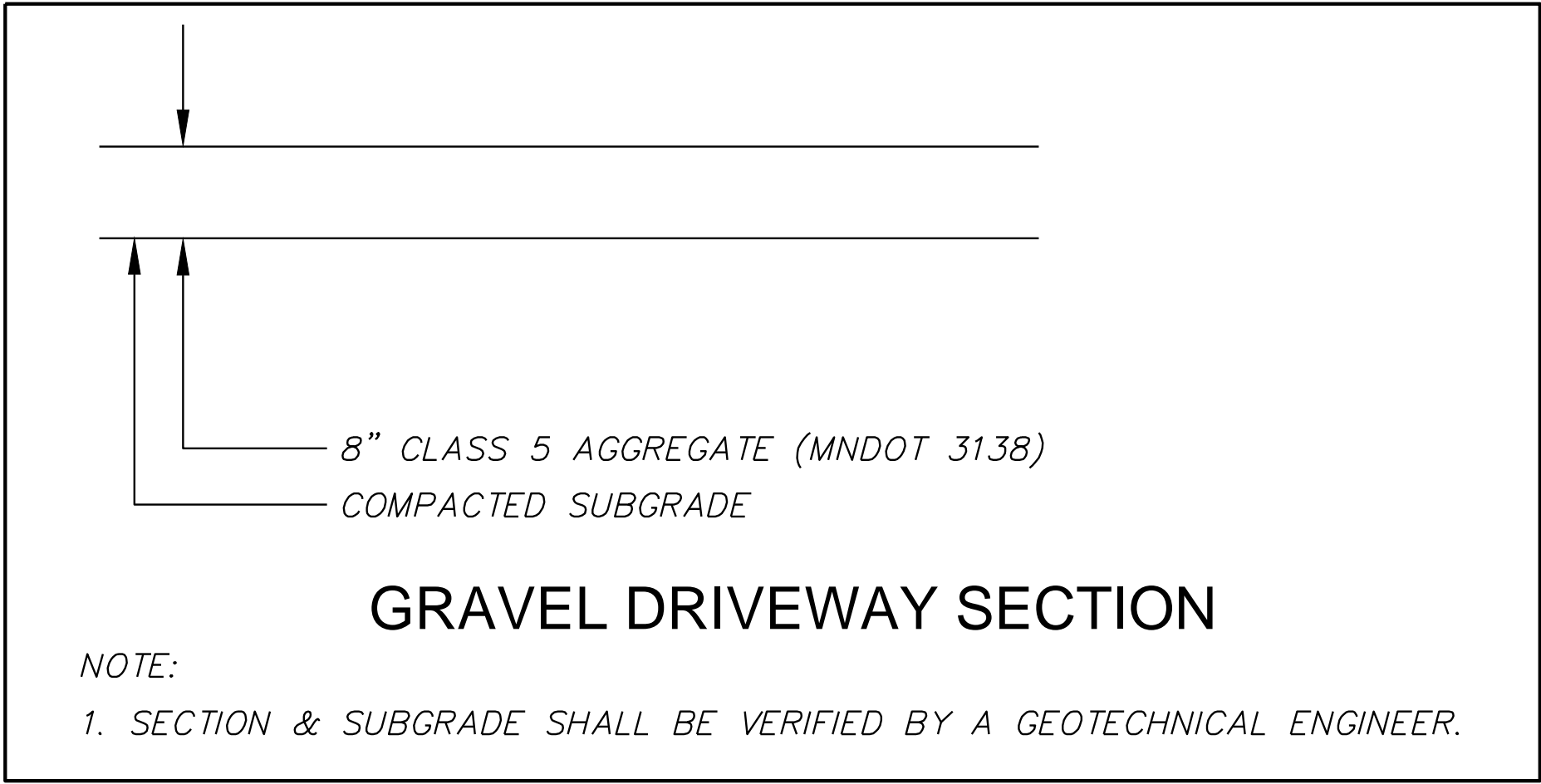
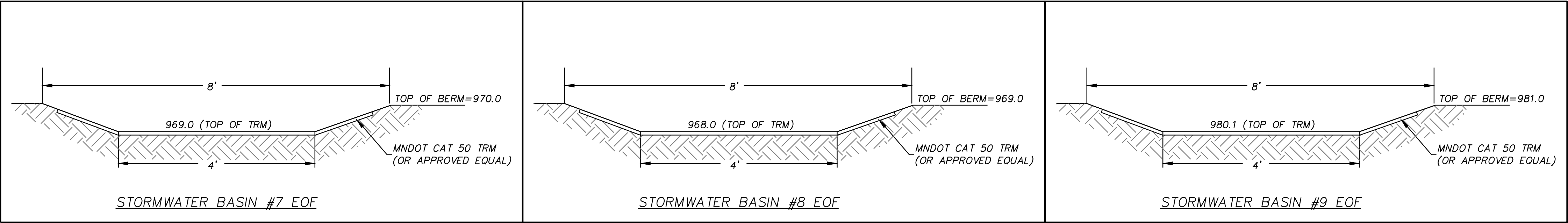
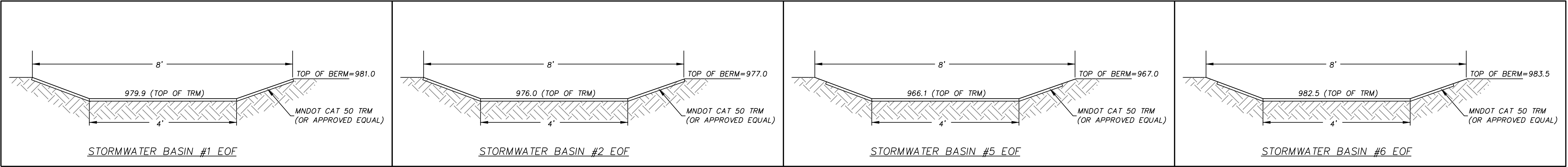


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KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

DETAILS
SHEET NO. 19 OF 20 SHEETS

PROJECT NO: 18-0199
DATE: 6-3-22



REV. NO.	DATE	BY	DESCRIPTION

DESIGNED	DRAWN
P.E.O.	T.J.B.
CHECKED	
P.E.O.	

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Paul E. Otto
Paul E. Otto
License # 40062
Date: 6-3-22

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KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

DETAILS
SHEET NO. 20 OF 20 SHEETS

PROJECT NO:	18-0199
DATE:	6-3-22

HENNEPIN COUNTY

CITY OF INDEPENDENCE

COUNTY ROAD NO. 90 TURN LANE PLAN

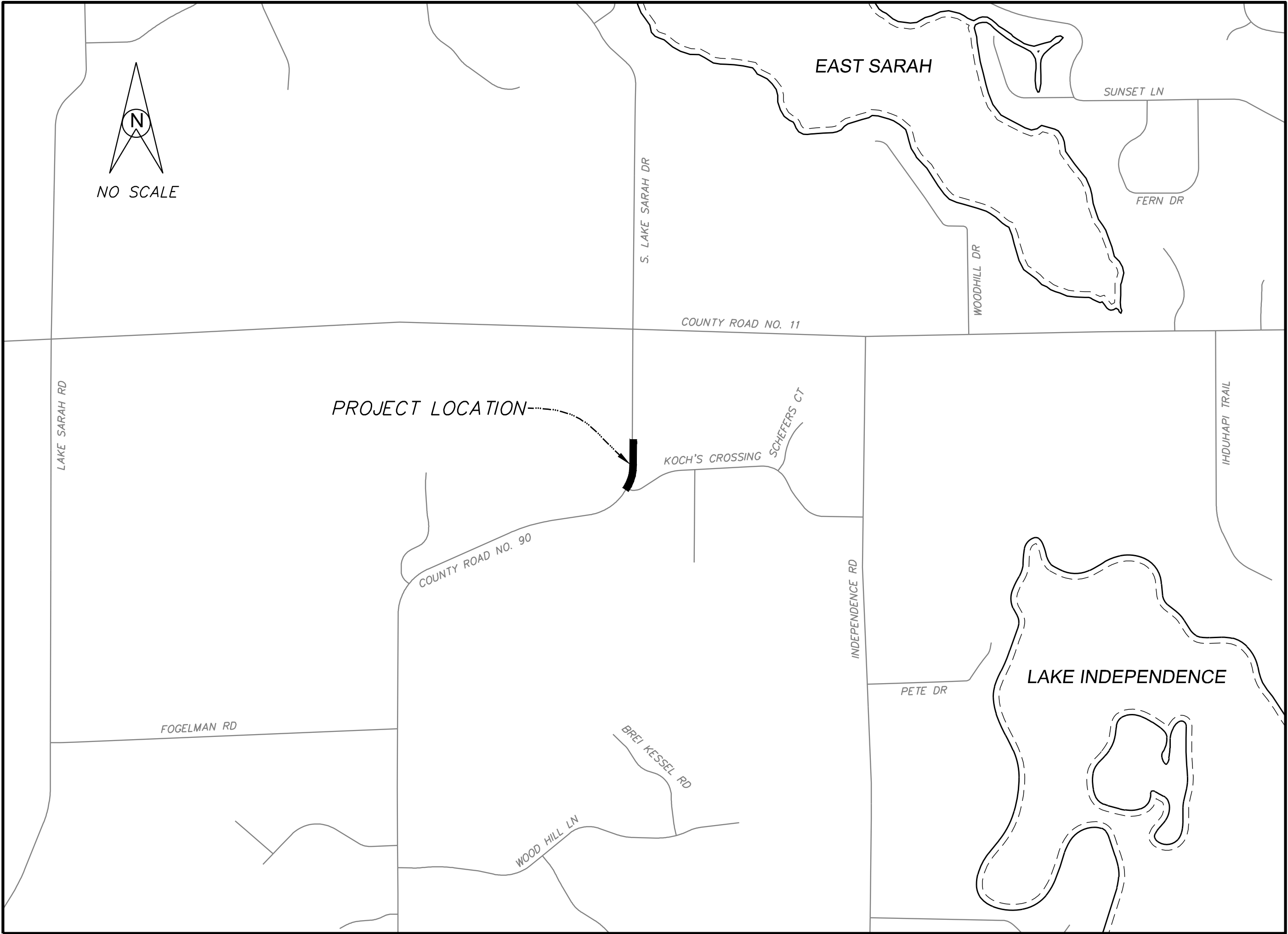
LOCATED AT: ON COUNTY ROAD NO. 90 BETWEEN KOCH'S CROSSING AND COUNTY ROAD NO. 11 (GEOGRAPHIC DESCRIPTION)

CONSTRUCTION PLAN FOR GRADING, AGGREGATE BASE, AND BITUMINOUS

APPROVED _____ 2022
CITY OF INDEPENDENCE ENGINEER

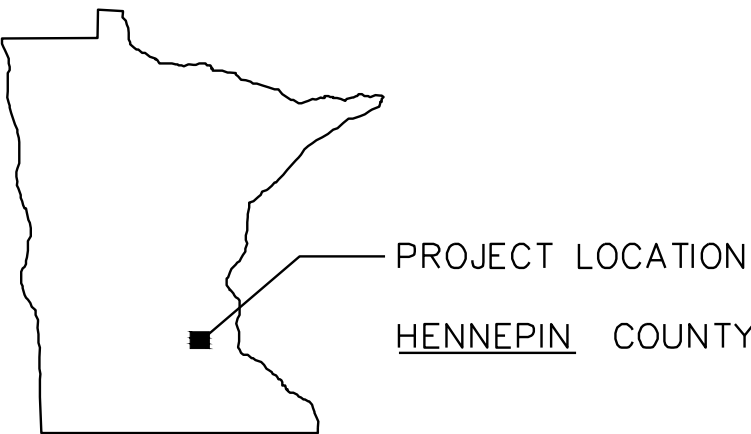
APPROVED _____ 2022
HENNEPIN COUNTY ENGINEER

RECOMMENDED FOR APPROVAL _____ 2022
HENNEPIN COUNTY DESIGN DIVISION ENGINEER



GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN. ALL TRAFFIC CONTROL SIGNING AND DEVICES SHALL CONFORM TO THE MMUTCD, INCLUDING THE FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.



SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	TYPICAL SECTION & CONSTRUCTION NOTES
3	REMOVAL, EROSION CONTROL, & TURF ESTABLISHMENT PLAN – COUNTY ROAD NO. 90
4	TURNING LANE – GRADING PLAN
5	CONSTRUCTION PLAN & PROFILE – COUNTY ROAD NO. 90
6	CROSS SECTIONS
7	CROSS SECTIONS
8	CROSS SECTIONS

REV. NO.	DATE	BY	DESCRIPTION
1	7-19-22	T.J.B.	REVISED PER COUNTY REVIEW
2	8-11-22	T.J.B.	REVISED PER COUNTY REVIEW

DESIGNED DRAWN
P.E.O. T.J.B.

CHECKED
P.E.O.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Paul E. Otto
Paul E. Otto
License # 40062 Date: 8-11-22



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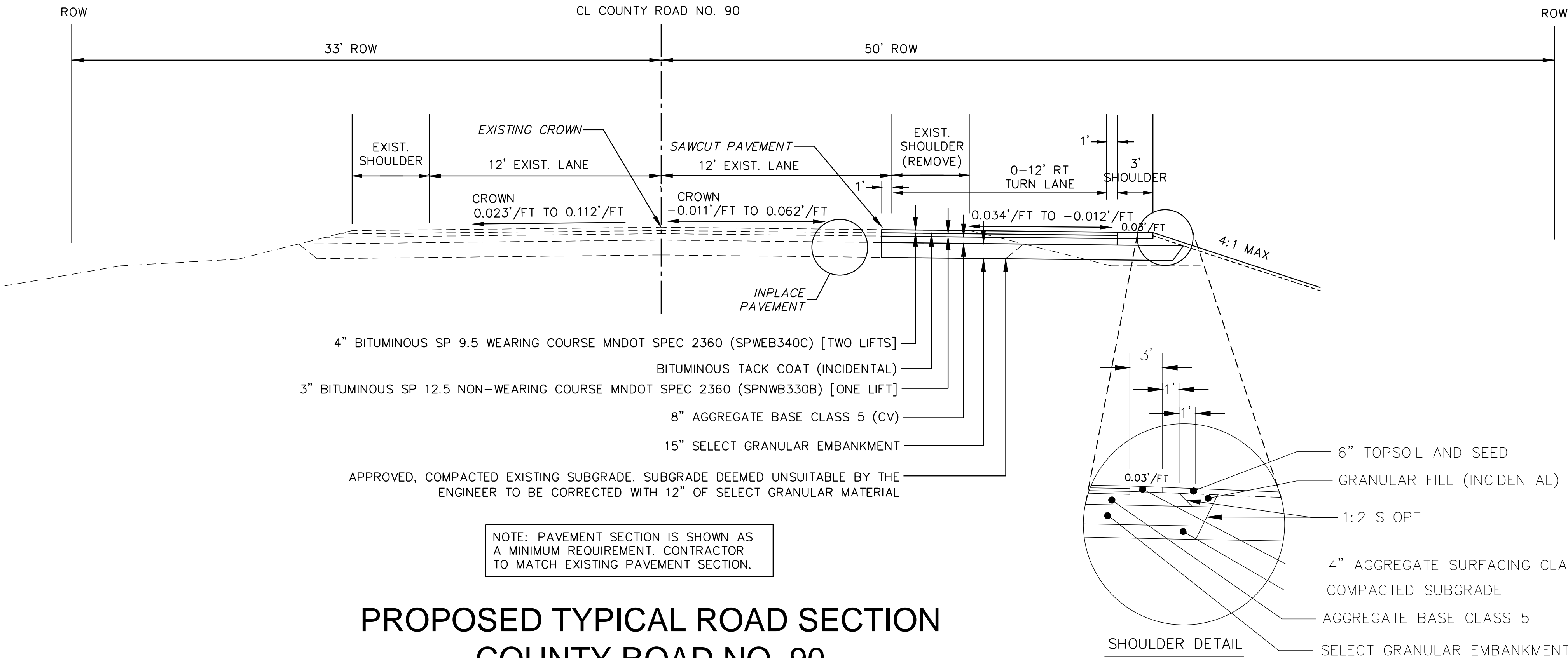
KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

COVER SHEET

SHEET NO. 1 OF 8 SHEETS

PROJECT NO:
18-0199

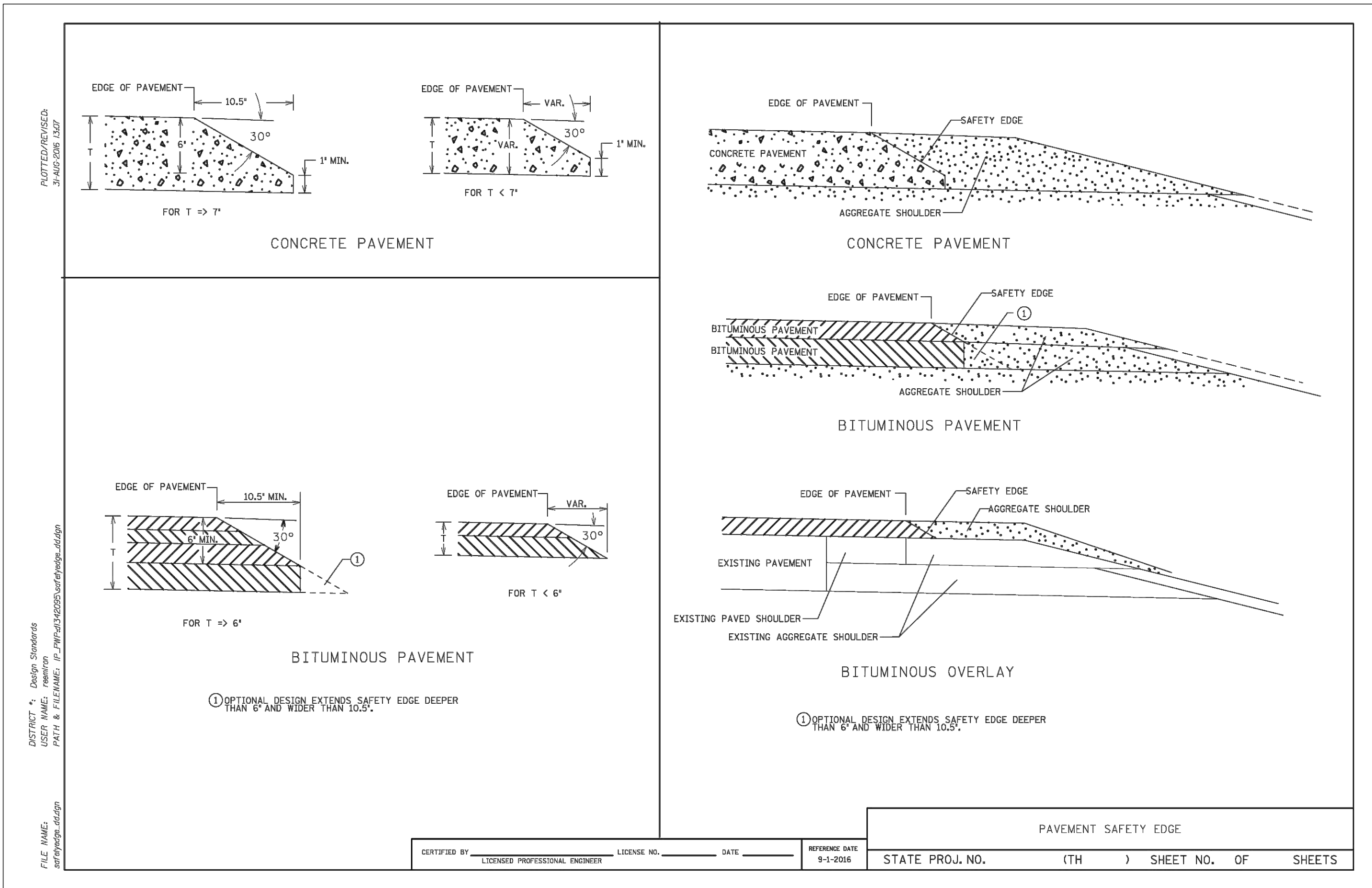
DATE:
6-3-22



PROPOSED TYPICAL ROAD SECTION COUNTY ROAD NO. 90

GENERAL CONSTRUCTION NOTES

- WORK SHALL BE PERFORMED IN ACCORDANCE WITH:
 - THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE MN DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" (2020) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
 - THE LATEST EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, (MNDOT SPECIFICATIONS) AND ANY SUPPLEMENTS OR AMENDMENTS THERETO ISSUED PRIOR TO THE DATE OF THE CONTRACT DOCUMENTS, INCLUDING THE CURRENT MndOT 2360 PLANT MIXED ASPHALT PAVEMENT SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE ROAD AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES AND SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL WITHIN THE PROJECT LIMITS.
- UNDERGROUND UTILITIES EXIST WITHIN THE PROJECT AREA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO THE START OF CONSTRUCTION AND COORDINATE THE WORK SCHEDULE WITH UTILITY COMPANY CREWS PERFORMING RELOCATION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF MN PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LADEN SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER.
- SUITABLE GRADING MATERIAL ON THIS PROJECT SHALL CONSIST OF ALL SOILS ENCOUNTERED WITH THE EXCEPTION OF TOPSOIL, DEBRIS, ORGANIC MATERIAL, MUCK AND OTHER UNSTABLE MATERIAL.
- SUITABLE GRADING MATERIAL FROM ALL PORTIONS OF THE PROJECT SHALL BE USED IN FILL AREAS, AS REQUIRED, THROUGHOUT THE PROJECT.
- GRADING SHALL BE COMPLETED TO THE EXTENT POSSIBLE WITH ON-SITE SUITABLE MATERIAL. NO IMPORT OF SUITABLE GRADING MATERIAL WILL BE ALLOWED UNTIL ON-SITE, REUSABLE MATERIAL IS USED.
- GRADING: WHERE A PROPOSED ROADWAY BEGINS AT OR TERMINATES AT AN EXISTING ROADWAY, PROVIDE A VERTICAL NOTCH TO THE BOTTOM OF THE AGGREGATE OR BITUMINOUS BASE AND A 1:20 TAPER.
- PROVIDE 1:20 TAPERS BETWEEN LONGITUDINAL CHANGES IN SUBCUT DEPTHS.
- A NUCLEAR GAUGE SHALL NOT BE USED TO DETERMINE DENSITY OR MOISTURE CONTENT FOR QUALITY ASSURANCE OR VERIFICATION TESTING FOR ANY MATERIAL MEETING MNDOT SPEC. 2106, 2112, 2211, 2215, 2118, 2221, 2331, 2451, 2502, OR 2511. USE OF A NUCLEAR GAUGE FOR QUALITY CONTROL TESTING IS ALLOWED ACCORDING TO THE GRADING & BASE MANUAL.
- PROVIDE A UNIFORM TACK COAT (INCIDENTAL) BETWEEN ALL BITUMINOUS LAYERS AND PRIOR TO PLACING ANY BITUMINOUS MIXTURES ON EXISTING PAVEMENT IN ACCORDANCE WITH SPECIFICATION 2357.
- STRIP AND REUSE AS SLOPE DRESSING ALL TOPSOIL AND EXISTING SLOPE DRESSING WHERE PRESENT IN AREAS TO BE DISTURBED BY CONSTRUCTION. ALL SLOPE DRESSING SHALL MEET THE REQUIREMENTS OF "TOPSOIL BORROW" (SPEC. 3877).
- COMPACTION OF AGGREGATE ITEMS SHALL BE BY THE "PENETRATION INDEX METHOD" AS DESCRIBED IN MNDOT SPEC. 2211.30.2.C. FOR RECYCLED AGGREGATE. SPECIFIED DENSITY METHOD SHALL BE USED FOR VIRGIN AGGREGATE ONLY.
- PROVIDE FOR A SAWCUT WHERE PLACING NEW PAVEMENT NEXT TO INPLACE PAVEMENT.
- PLACE A MINIMUM OF 6" TOPSOIL OR SLOPE DRESSING ON ALL AREAS DISTURBED BY CONSTRUCTION AND SCHEDULED FOR PERMANENT TURF ESTABLISHMENT UNLESS SPECIFIED OTHERWISE.
- USE MNDOT 2331 PAVEMENT JOINT ADHESIVE FOR ALL COLD JOINTS IN THE FINAL WEARING COURSE.



REV. NO.	DATE	BY	DESCRIPTION
1	7-19-22	T.J.B.	REVISED PER COUNTY REVIEW
2	8-11-22	T.J.B.	REVISED PER COUNTY REVIEW

DESIGNED	DRAWN
P.E.O.	T.J.B.
CHECKED	
P.E.O.	

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Paul E. Otto

Paul E. Otto
License # 40062

Date: 8-11-22

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Fax: (763)682-3522

KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

**TYPICAL SECTION &
CONSTRUCTION NOTES**

SHEET NO. 2 OF 8 SHEETS

PROJECT NO:	18-0199
DATE:	6-3-22








GENERAL REMOVAL NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
2. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITY STRUCTURES THAT ARE NOT BEING REMOVED OR RELOCATED.
3. CONTRACTOR TO VERIFY REMOVAL LIMITS WITH THE ENGINEER PRIOR TO SAWCUTTING.
4. ALL EXISTING ROADWAY AND STREET SIGNS WITHIN THE CONSTRUCTION ZONE SHALL BE SALVAGED BY THE CONTRACTOR FOR REINSTALLATION UPON COMPLETION OF CONSTRUCTION.

EROSION CONTROL NOTES:


1. ALL STREETS IN AND ADJACENT TO THE PROJECT SHALL REMAIN CLEAN AND PASSABLE AT ALL TIMES. ALL SEDIMENT AND DEBRIS SHALL BE REMOVED WITHIN 24 HOURS, OR AS OFTEN AS NEEDED TO ENSURE PUBLIC SAFETY.
2. ALL AREAS TEMPORARILY DISTURBED WILL BE MULCHED WITHIN THE FOLLOWING TIME FRAME UNLESS OTHERWISE NOTED.
 - WITHIN 7 DAYS ON ALL 3:1 SIDE SLOPES
 - WITHIN 14 DAYS ON ALL SLOPES BETWEEN 10:1 AND 3:1
3. DITCHES ARE TO BE STABILIZED WITHIN 24 HOURS.
4. EXCAVATING POND DEBRIS SHALL BE REMOVED STOCKPILES, DITCHES AND OTHER AREAS DRAINING TO WATERS OF THE STATE SHALL ALSO BE STABILIZED WITHIN 24 HOURS.
5. THE CONTRACTOR SHALL PROVIDE APPROPRIATE EROSION AND SEDIMENT CONTROL DEVICES FOR STOCKPILES.
6. SILT FENCE SET FOLLOW, AS CLOSE AS POSSIBLE, TO A SINGLE CONTOUR LINE.
7. WHEN SEDIMENT DEPOSITS IN A WATER OF THE STATE THE MATERIAL MUST BE REMOVED WITHIN 24 HOURS.
8. CONSTRUCTION OF THE PROJECT SHALL BE APPROVED BY THE FIELD ENGINEER PRIOR TO REMOVING EROSION CONTROL MEASURES AT OUTFALLS. INTERMITTENT REMOVAL OF CAPTURED SEDIMENT AND DEBRIS IN OUTFALLS TO THE SATISFACTION OF THE FIELD ENGINEER MAY BE DEEMED NECESSARY AND IS INCIDENTAL.

LEGEND

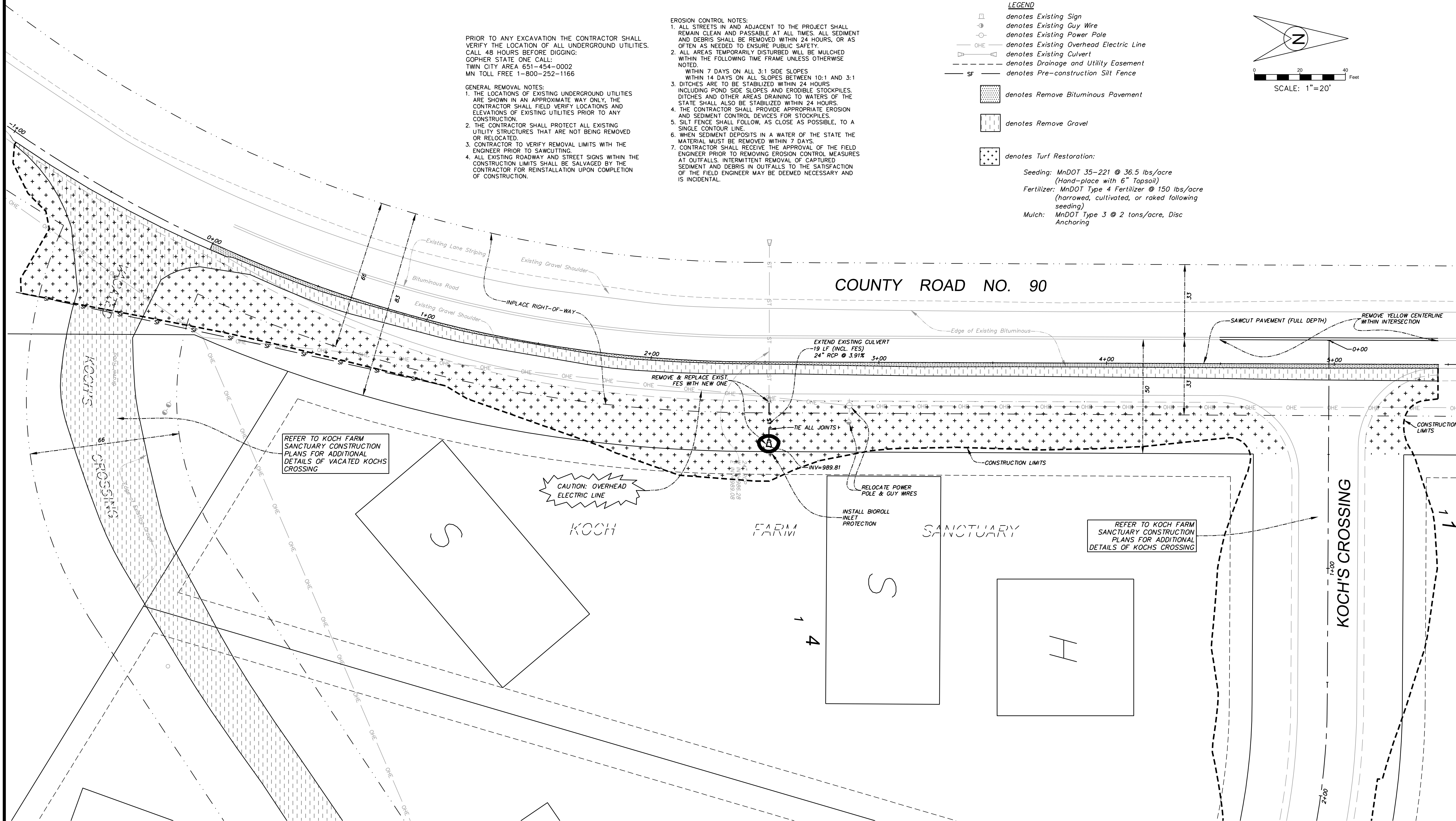
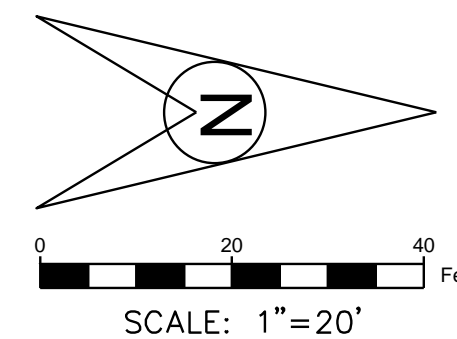
 denotes Existing Sign
 denotes Existing Guy Wire
 denotes Existing Power Pole
 denotes Existing Overhead Electric Line
 denotes Existing Culvert
 denotes Drainage and Utility Easement
 denotes Pre-construction Silt Fence

 denotes Remove Bituminous Pavement

 denotes Remove Gravel

 denotes Turf Restoration:


Seeding: MnDOT 35-221 @ 36.5 lbs/acre
(Hand-place with 6" Topsoil)
Fertilizer: MnDOT Type 4 Fertilizer @ 150 lbs/acre
(harrowed, cultivated, or raked following
seeding)
Mulch: MnDOT Type 3 @ 2 tons/acre, Disc
Anchoring



REV. NO.	DATE	BY	DESCRIPTION
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P.E.O. T.J.B.
CHECKED
P.E.O.

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Paul E. Otto
License # 40062 Date: 8-11-22



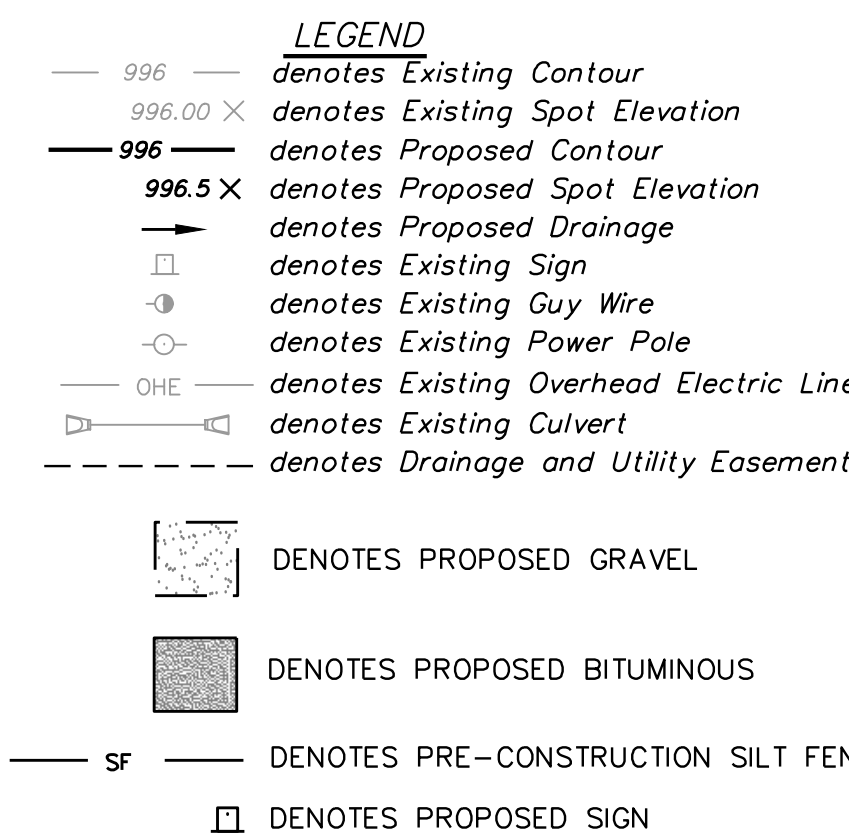
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KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

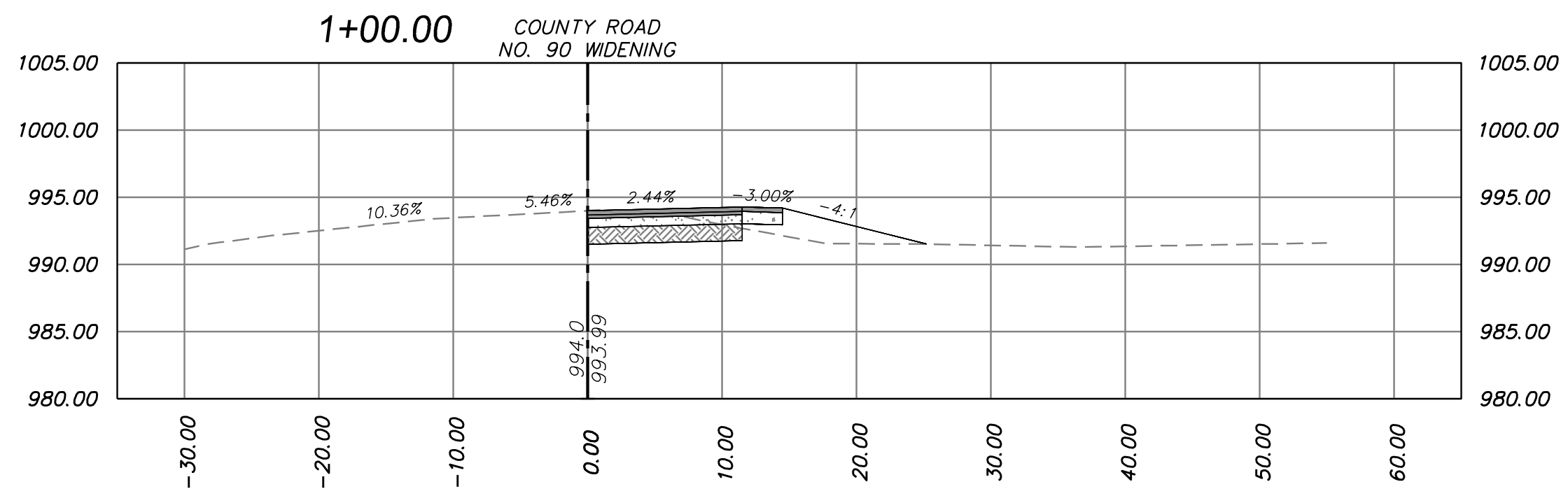
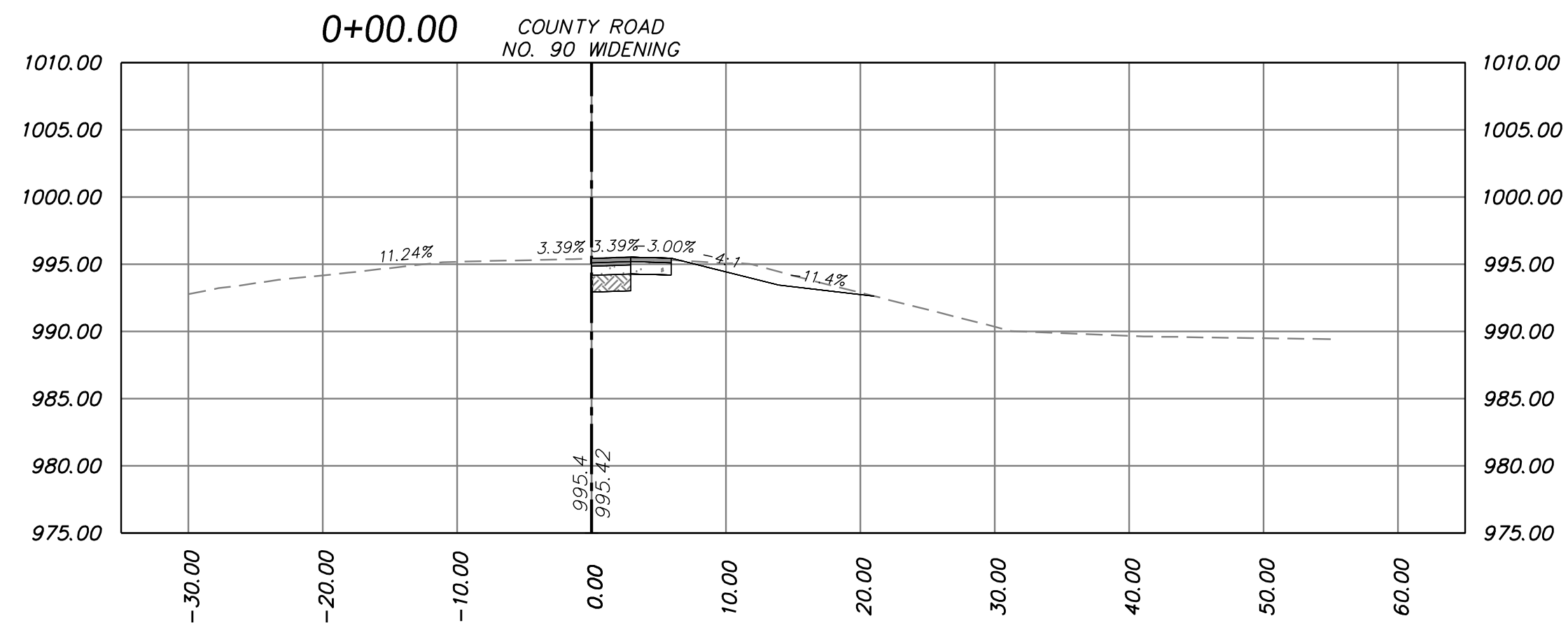
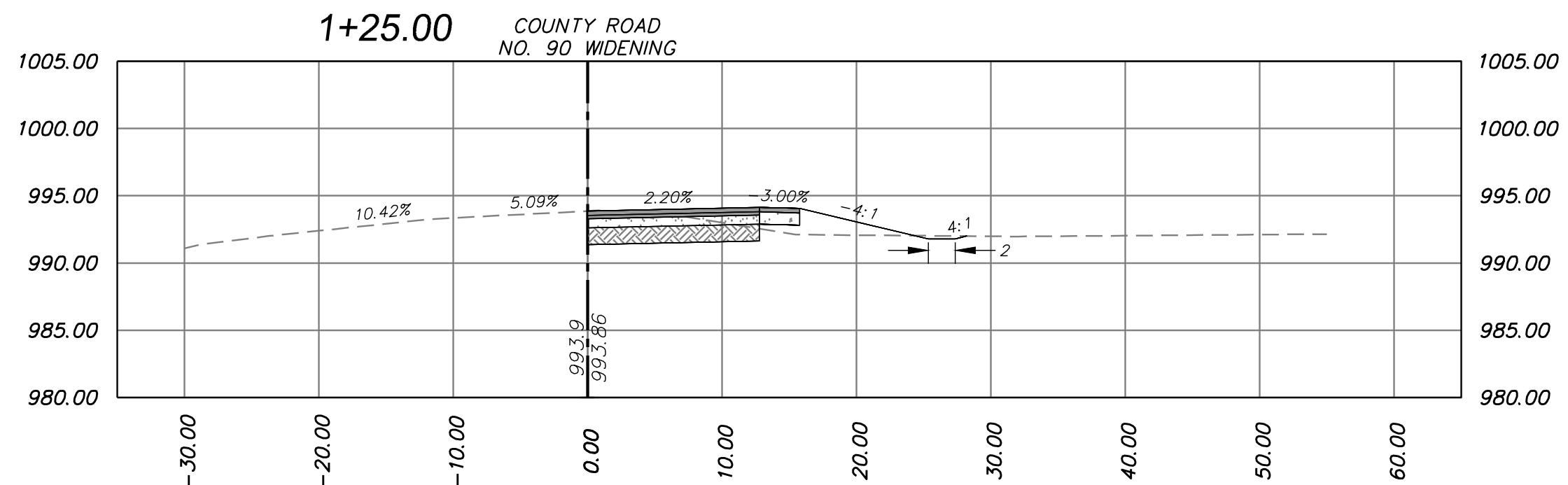
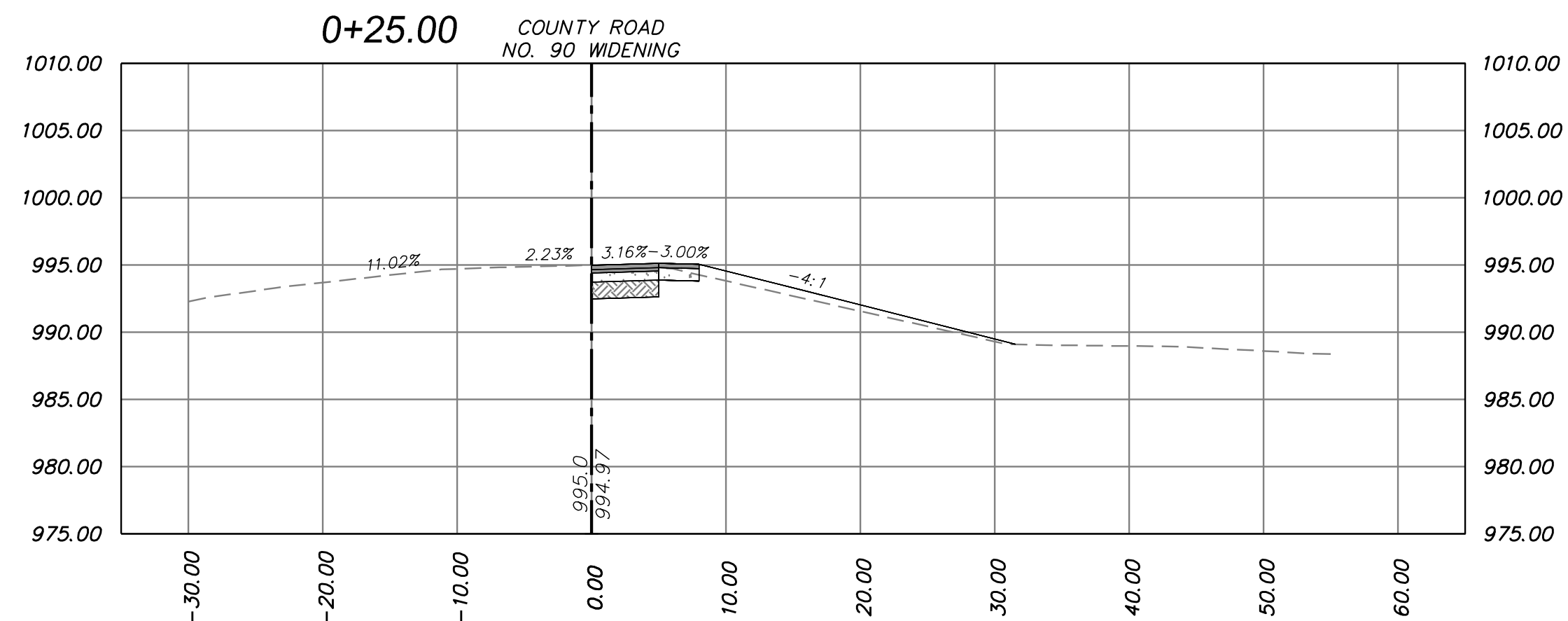
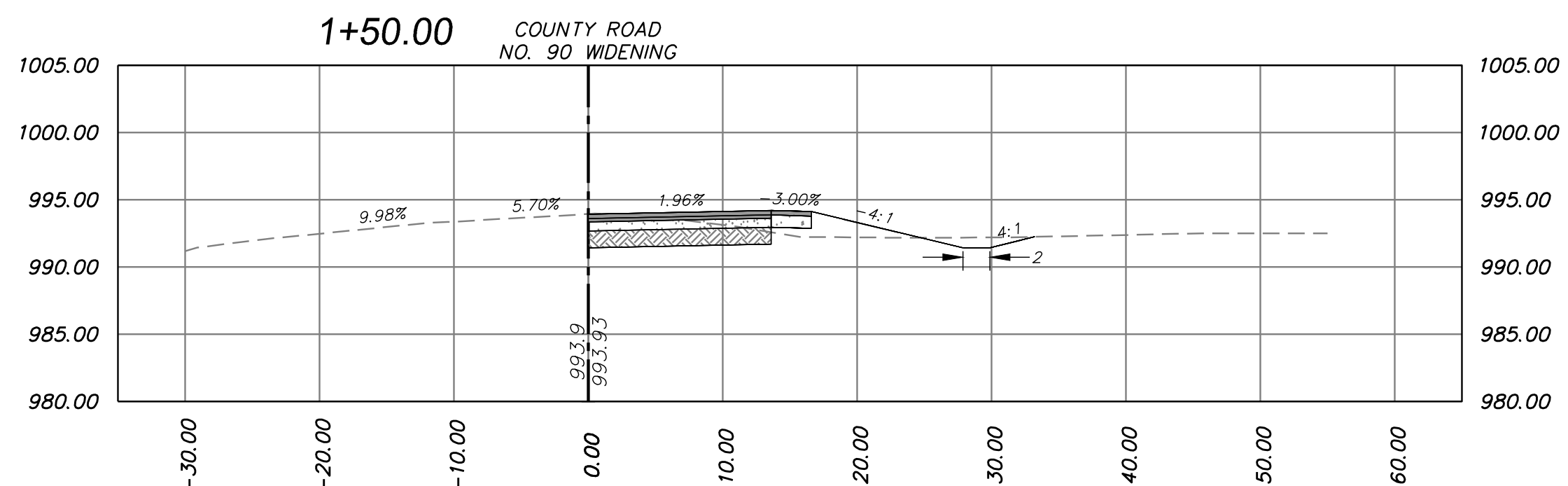
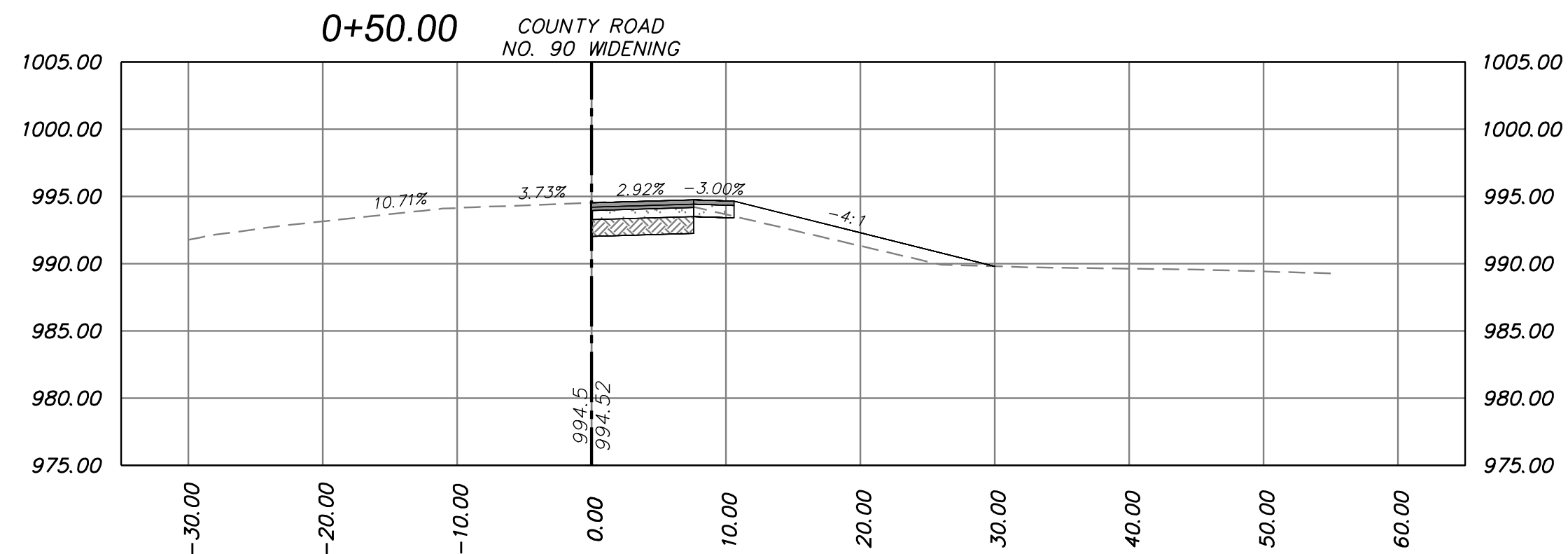
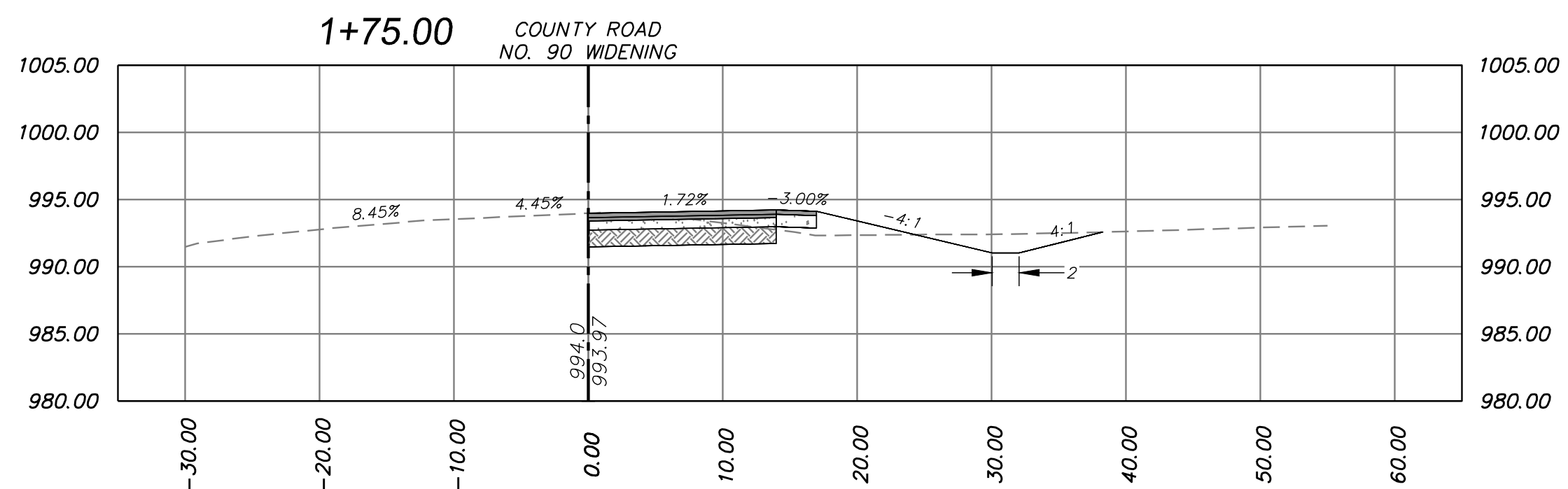
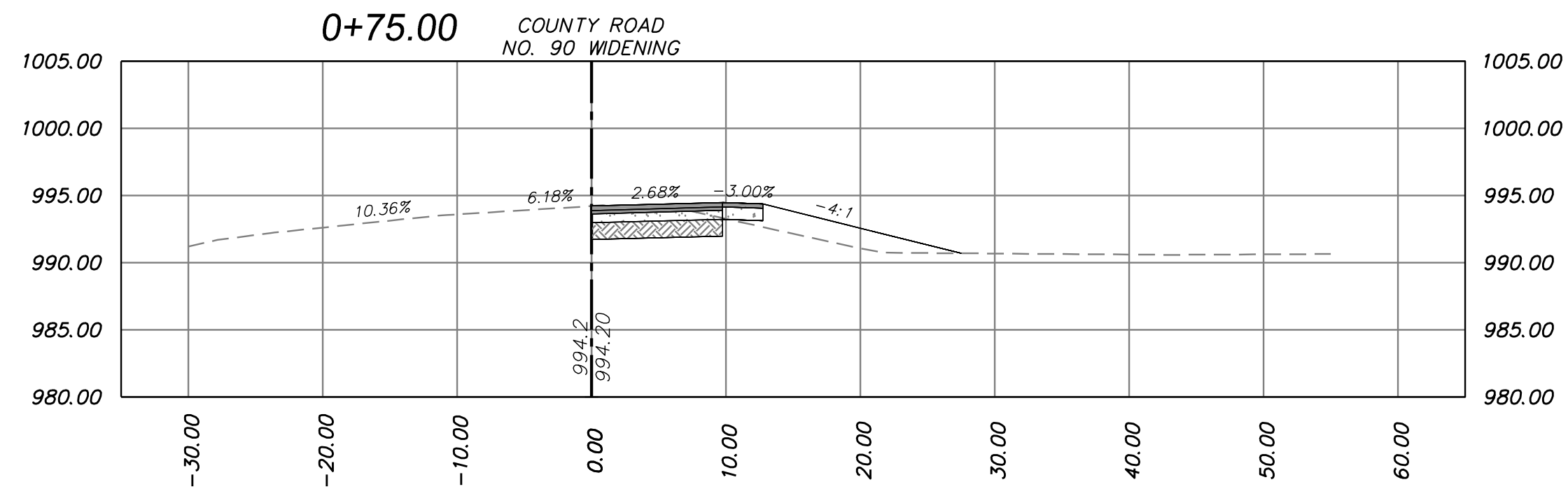
REMOVAL, EROSION CONTROL, &
TURF ESTABLISHMENT PLAN
COUNTY ROAD NO. 90

SHEET NO. 3 OF 8 SHEETS

PROJECT NO:	18-0199
DATE:	6-3-22



SCALES:
1"=10' HOR
1"=10' VER



REV. NO.	DATE	BY	DESCRIPTION
1	7-19-22	T.J.B.	REVISED PER COUNTY REVIEW
2	8-11-22	T.J.B.	REVISED PER COUNTY REVIEW

DESIGNED DRAWN
P.E. O. T.J.B.

CHECKED
P.E. O.

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Paul E. Otto
Paul E. Otto
License # 40062 Date: 8-11-22

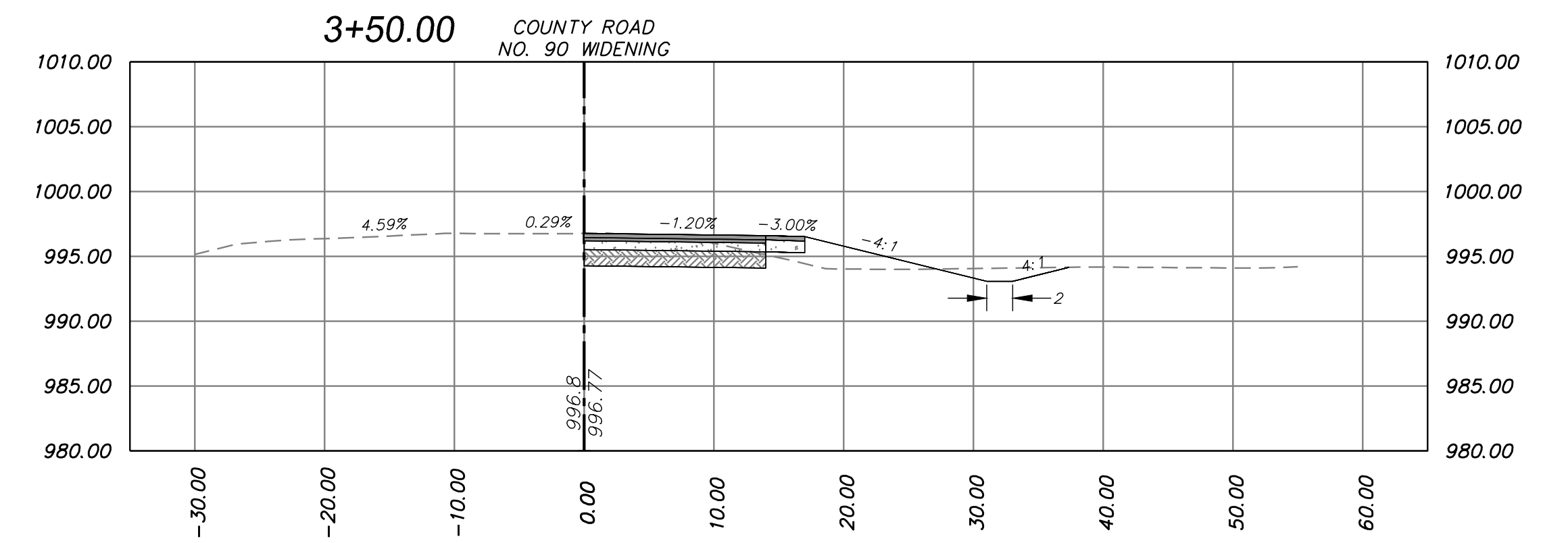
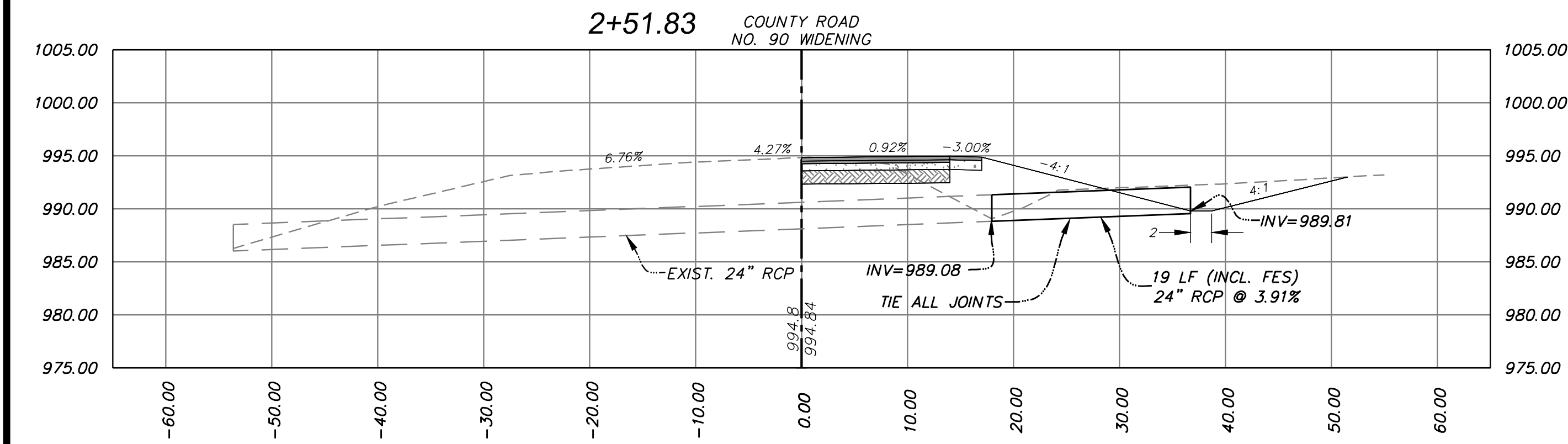


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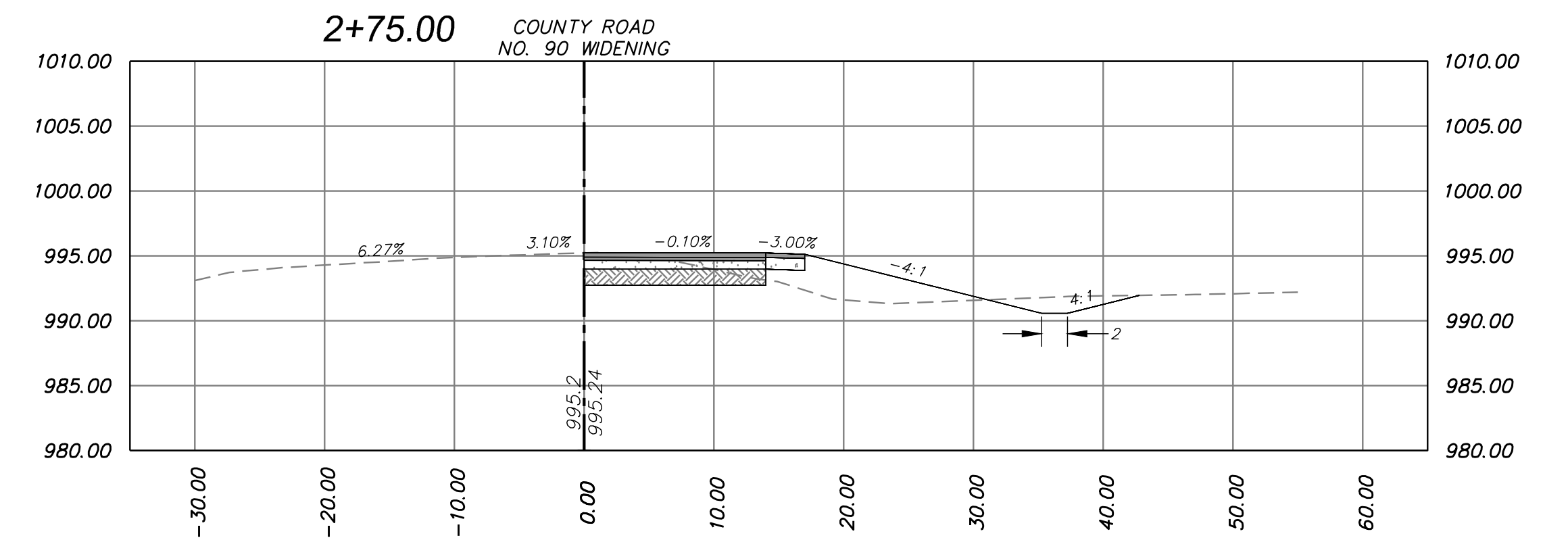
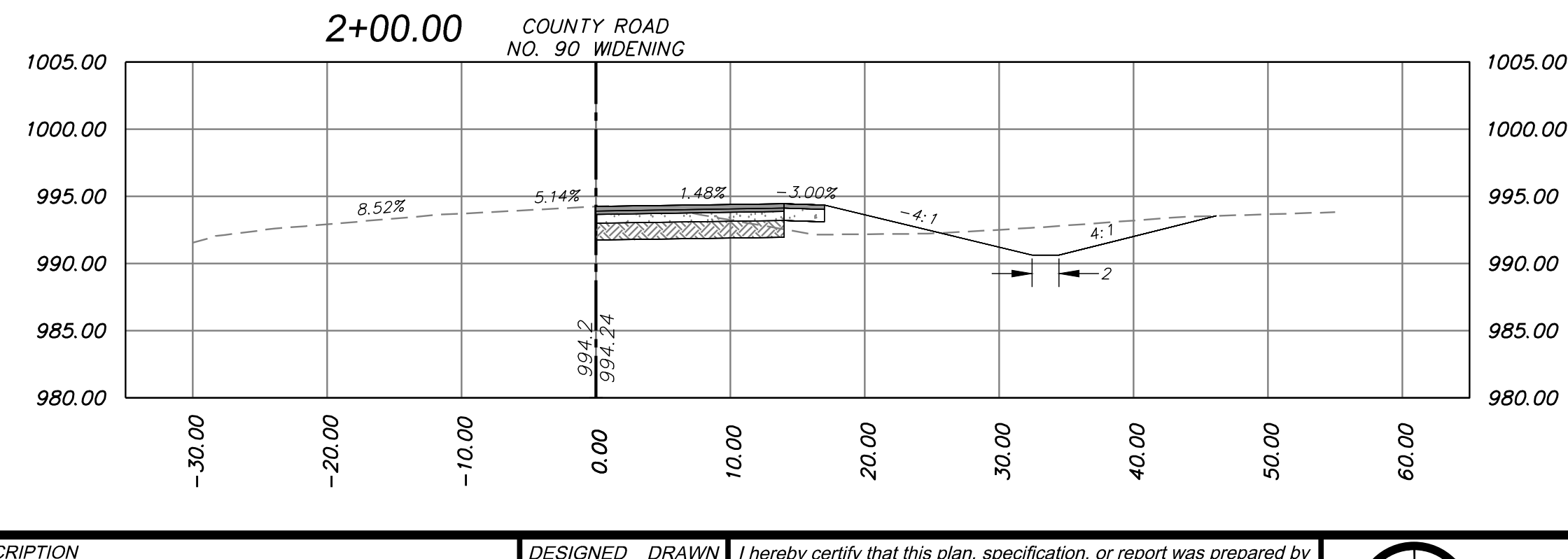
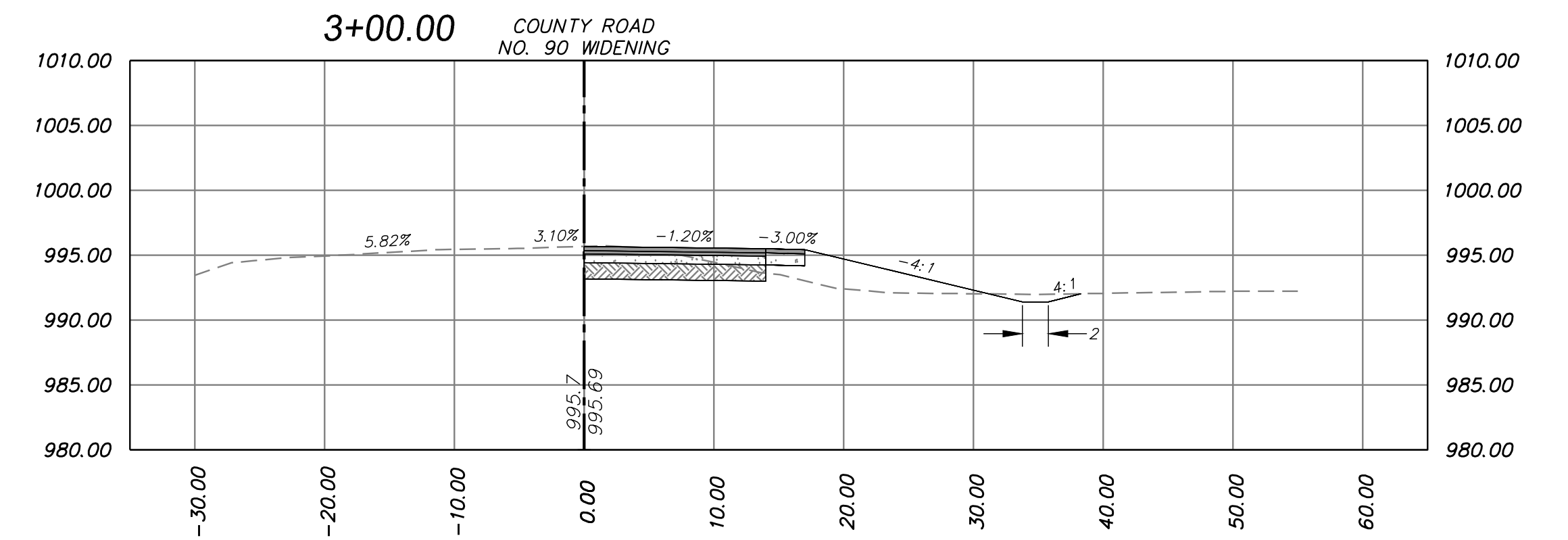
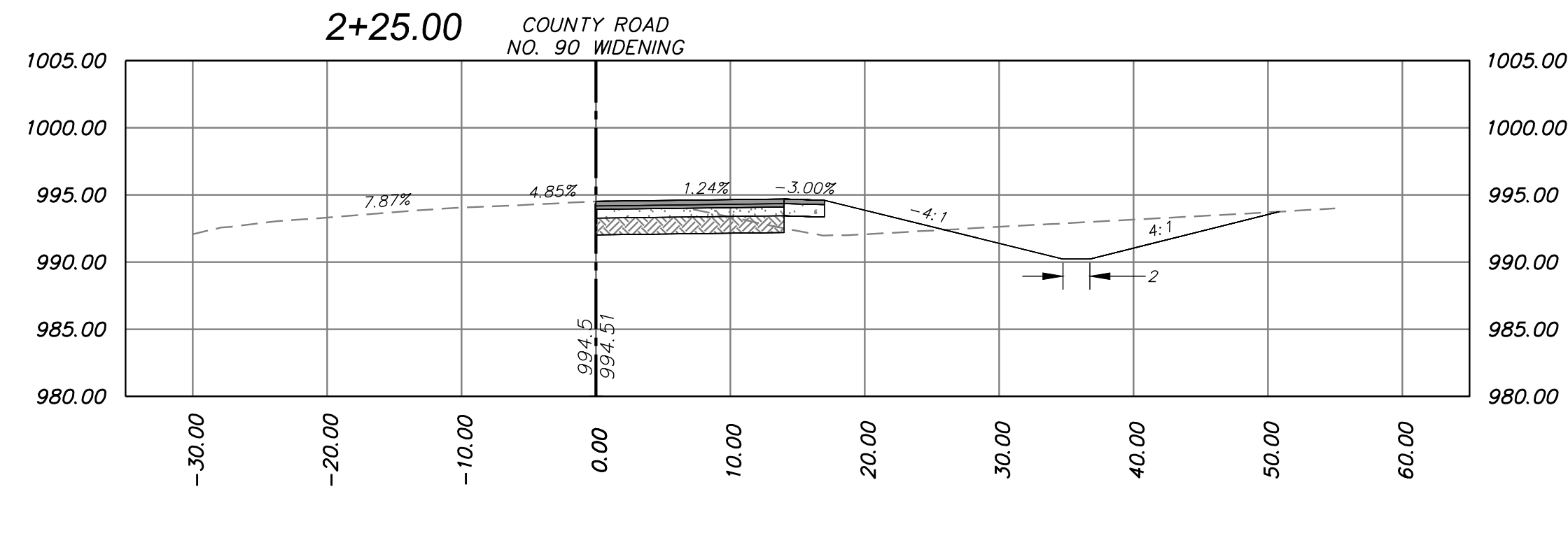
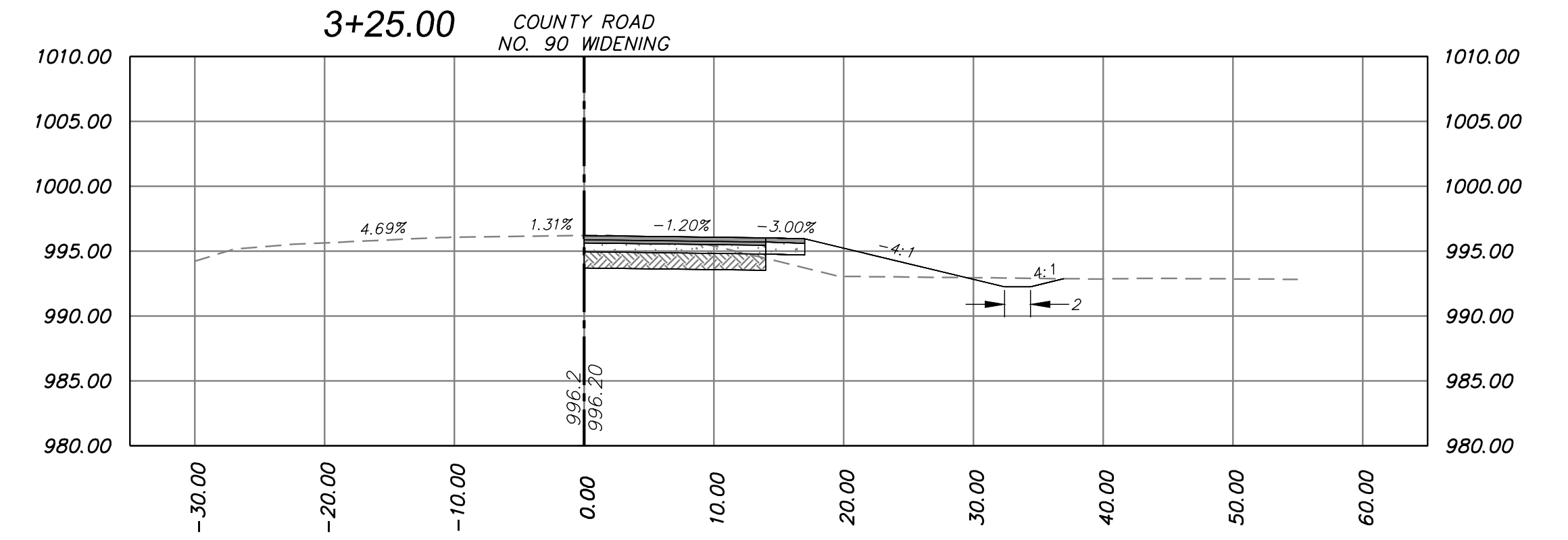
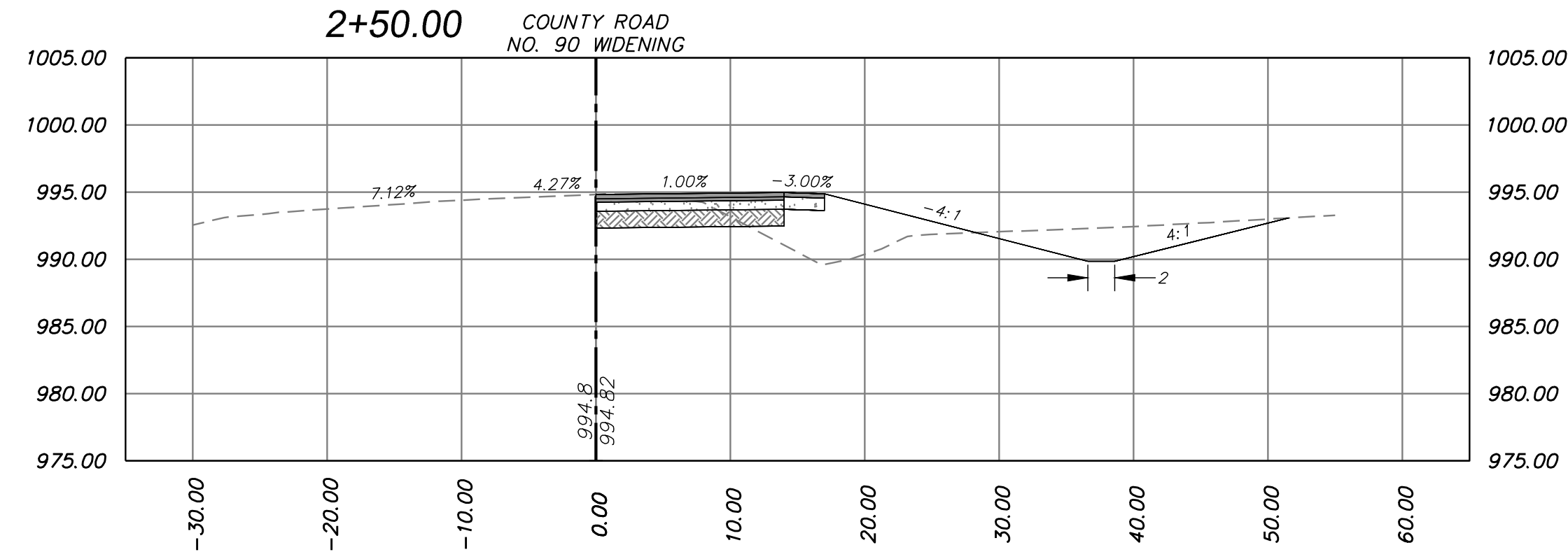
KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

CROSS SECTIONS
SHEET NO. 6 OF 8 SHEETS

PROJECT NO:
18-0199
DATE:
6-3-22



SCALES:
1"=10' HOR
1"=10' VER



REV. NO.	DATE	BY	DESCRIPTION
1	7-19-22	T.J.B.	REVISED PER COUNTY REVIEW
2	8-11-22	T.J.B.	REVISED PER COUNTY REVIEW

DESIGNED	DRAWN
P.E.O.	T.J.B.
CHECKED	
P.E.O.	

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Paul E. Otto
Paul E. Otto
License # 40062 Date: 8-11-22

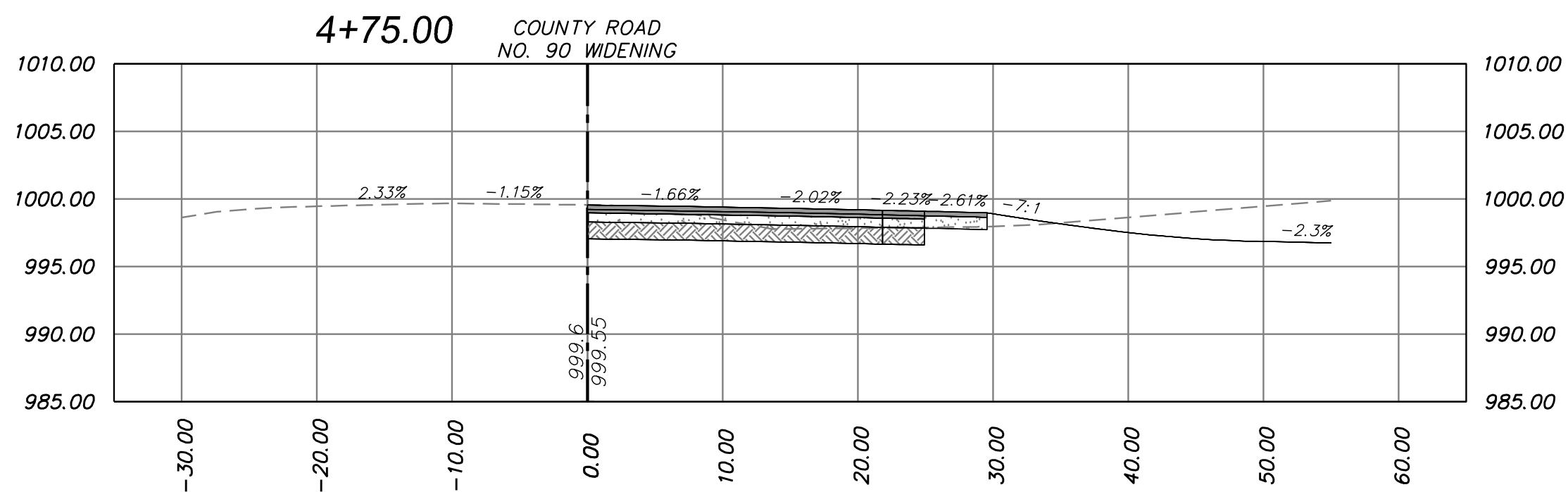
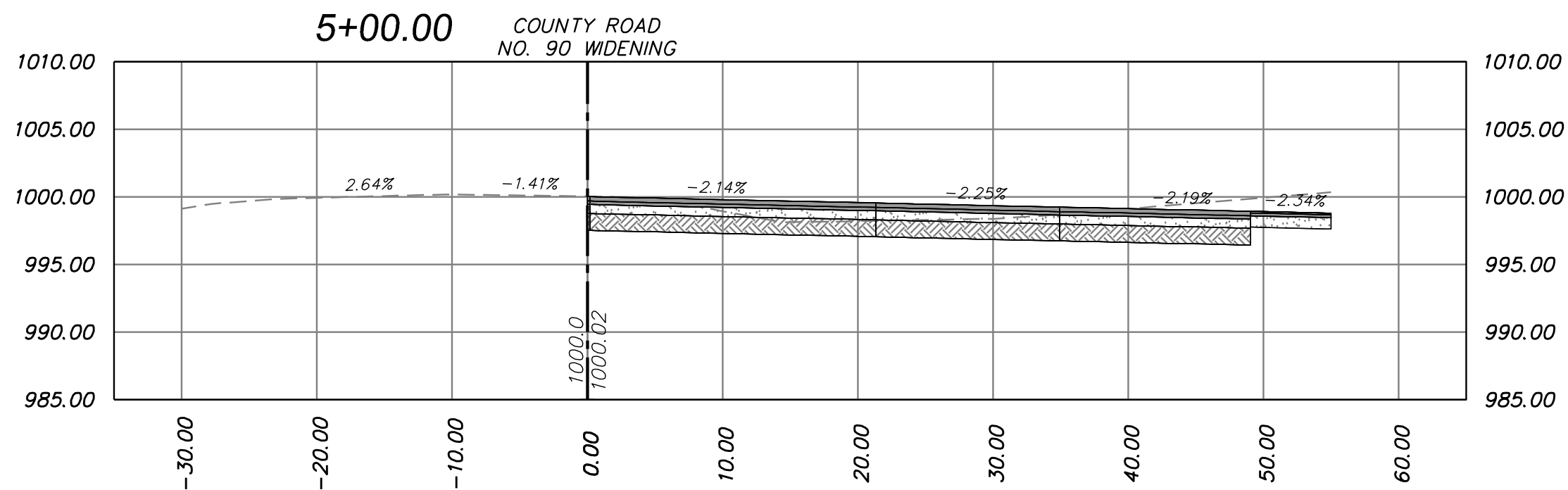
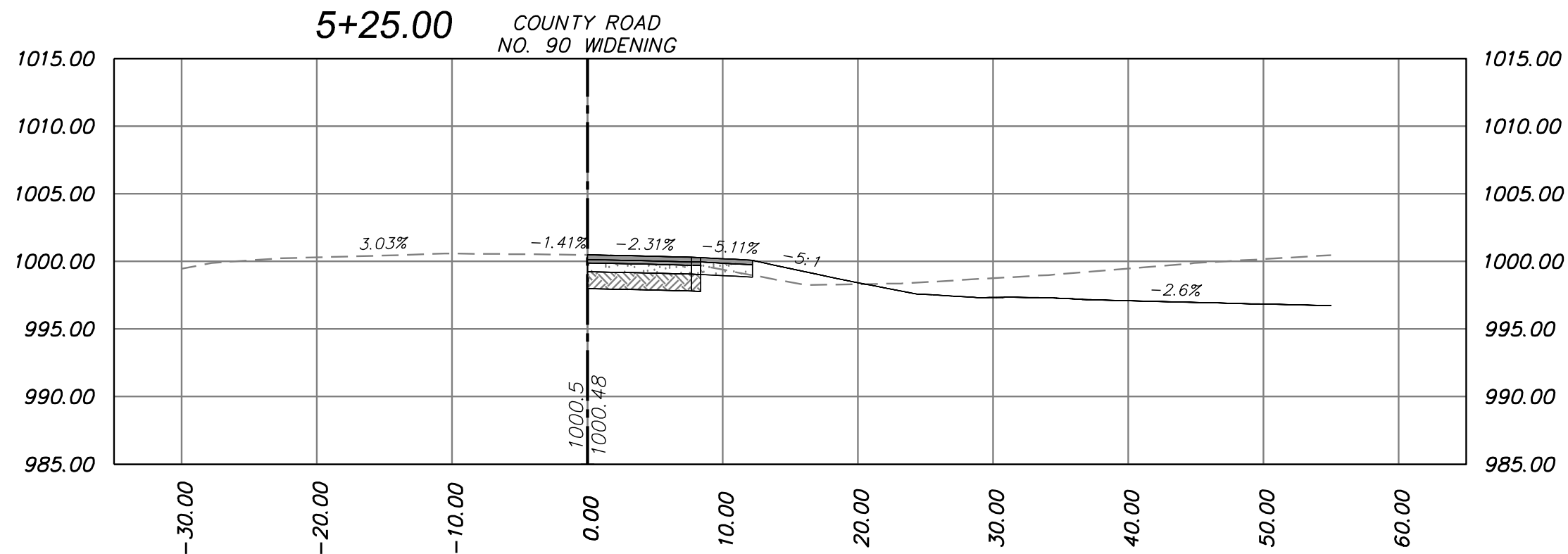
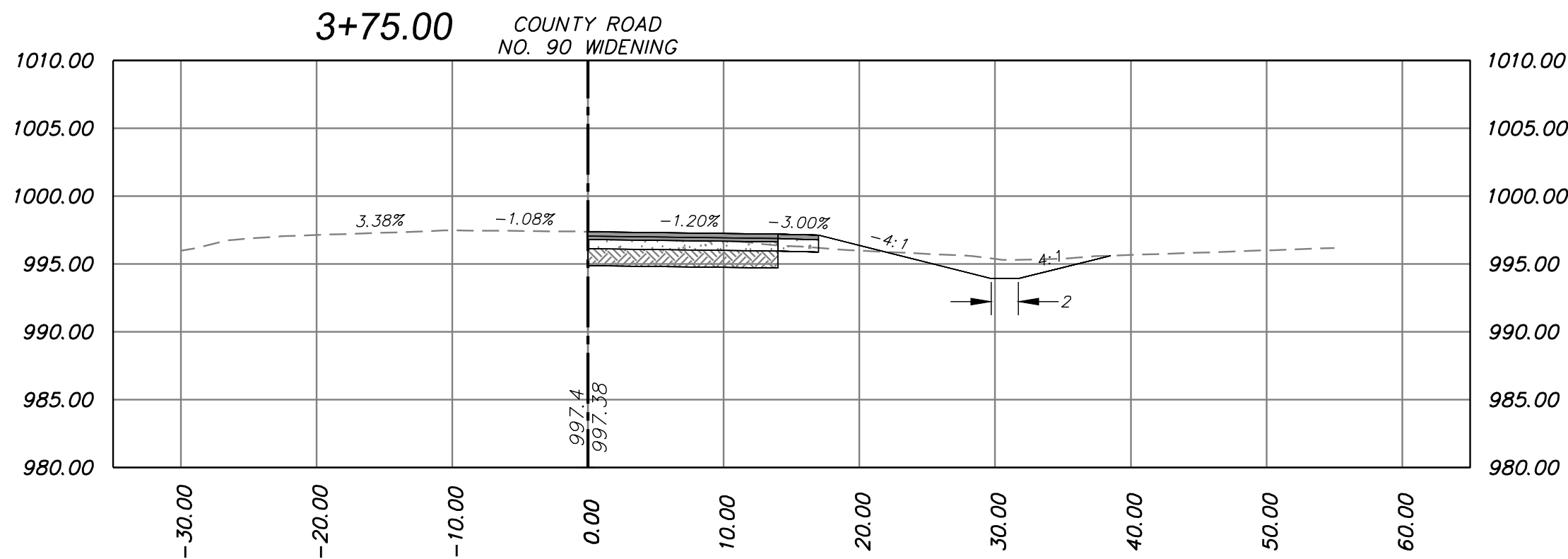
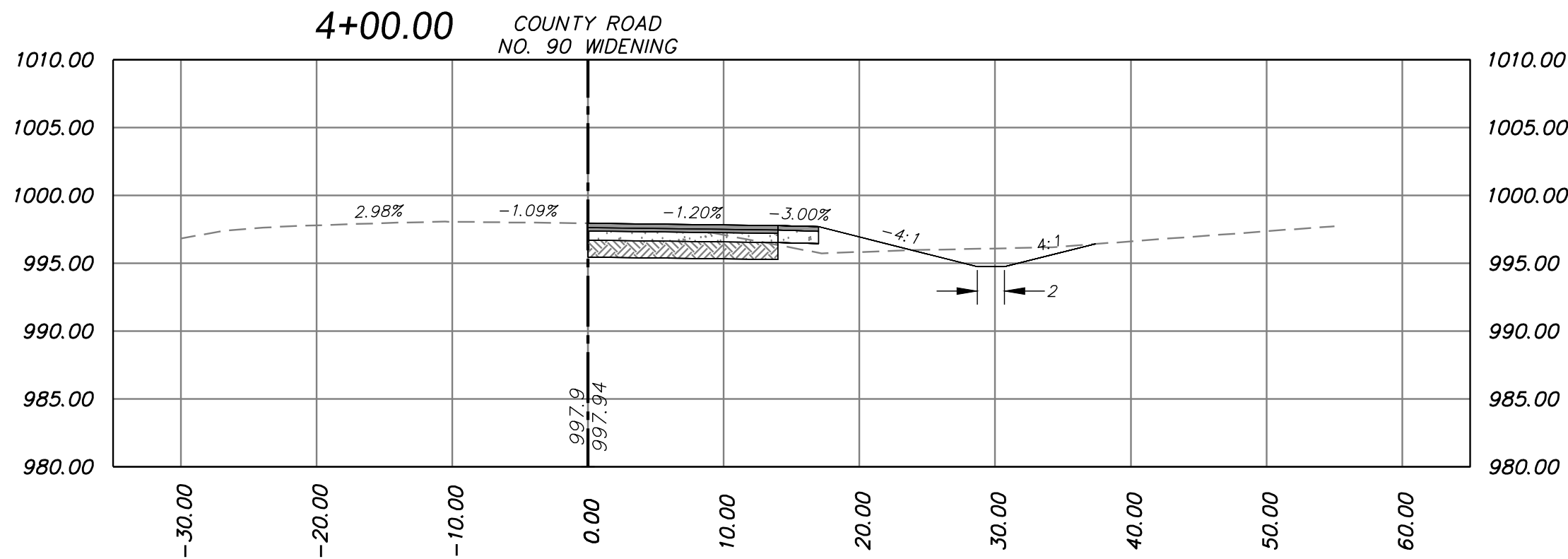
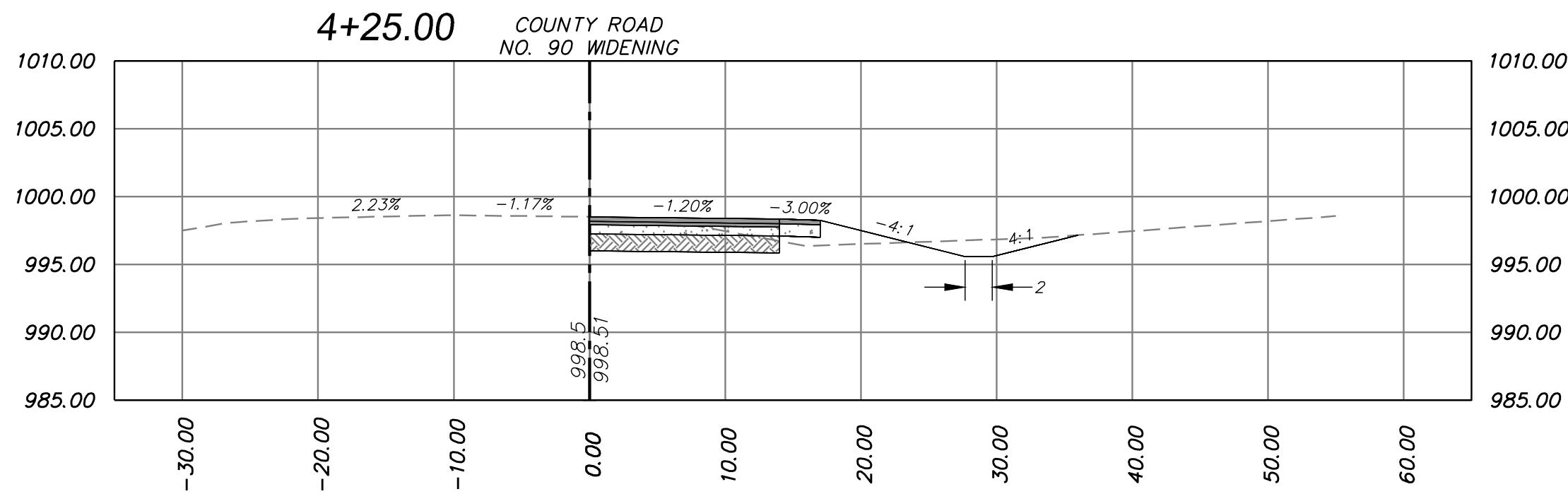
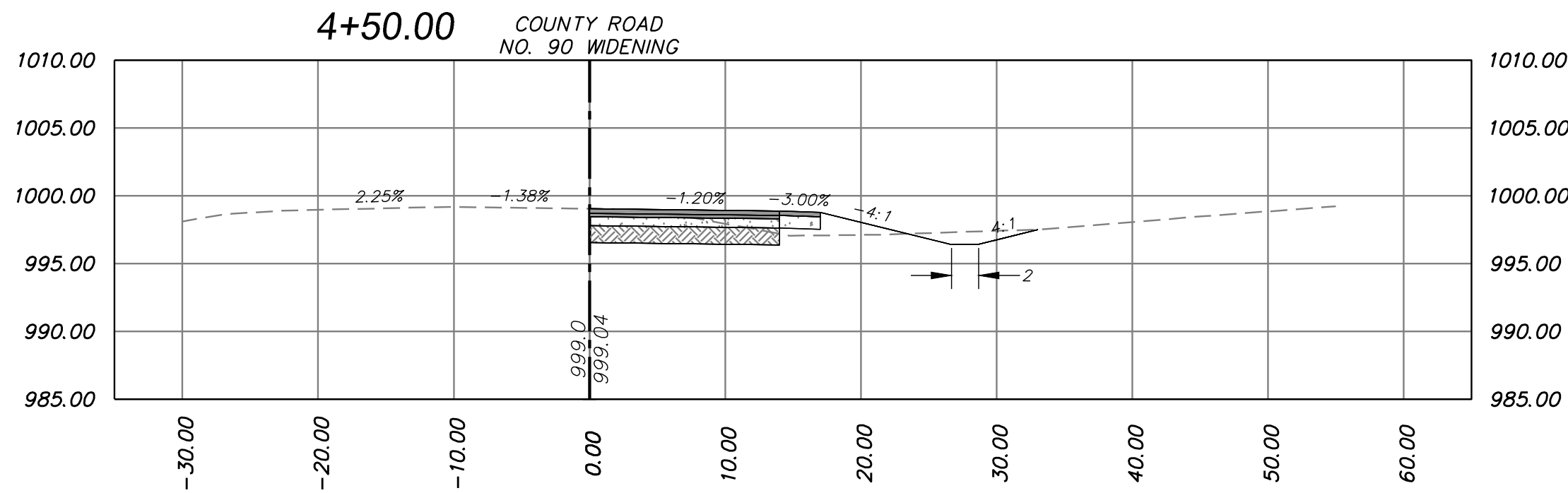


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KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

CROSS SECTIONS	PROJECT NO: 18-0199
SHEET NO. 7 OF 8 SHEETS	DATE: 6-3-22

SCALES:
1"=10' HOR
1"=10' VER



REV. NO.	DATE	BY	DESCRIPTION
1	7-19-22	T.J.B.	REVISED PER COUNTY REVIEW
2	8-11-22	T.J.B.	REVISED PER COUNTY REVIEW

DESIGNED DRAWN
P.E.O. T.J.B.
CHECKED
P.E.O.

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Paul E. Otto
Paul E. Otto
License # 40062 Date: 8-11-22



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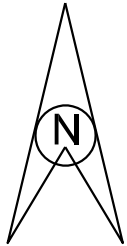
KOCH FARM SANCTUARY
TOM KOCH
INDEPENDENCE, MN

CROSS SECTIONS
SHEET NO. 8 OF 8 SHEETS

PROJECT NO:
18-0199
DATE:
6-3-22

Easement Exhibit

N05°34'31"W 42.23
S89°42'34"E 34.20



West line of
Outlot C

N00°17'26"E 723.47

NE corner of
Lot 1, Block 11

Corner of
Outlot C
North line of
Outlot C

S88°20'27"E 269.76

N89°17'54"W 213.18

NE line of Lot
1, Block 11

SE corner of
Lot 1, Block 11

N00°21'02"E 443.98

Southerly line of Outlot C

S00°37'44"E 612.59

West line of Lot 1, Block 7

SW corner of
Lot 1, Block 7

WILLIAM WAY

S75°31'27"W 116.41

Sheet 1 of 2 Sheets

Requested By:

Tom Koch

Date:

5-6-22

Drawn By:

J.J.A.

Scale:

1"=150'

Checked By:

P.E.O.

Revised:

Project No.

18-0199 A

Conservation
Easement A

Area =
7.34 ACRES

OUTLOT

N02°44'29"E

N32°22'36"E

N02°44'29"E

N32°22'36"E

N02°44'29"E

N32°22'36"E

N02°44'29"E

N32°22'36"E

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N32°22'36"E

N02°44'29"E

N32°22'36"E

N02°44'29"E

N32°22'36"E



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Engineers & Land Surveyors, Inc.

Easement Exhibit

CONSERVATION EASEMENT A:

A perpetual easement for conservation purposes over, under, and across that part of Outlot C, KOCH FARM SANCTUARY, Hennepin County, Minnesota, according to the recorded plat thereof, described as follows:

Beginning at the Northwest corner of Lot 1, Block 7, said KOCH FARM SANCTUARY; thence on an assumed bearing of South 00 degrees 37 minutes 44 seconds East, along the West line of said Lot 1, Block 7, a distance of 612.59 feet to the Southwest corner of said Lot 1, Block 7; thence South 75 degrees 31 minutes 27 seconds West, along the Southerly line of said Outlot C, a distance of 116.41 feet to the Southeast corner of Lot 1, Block 11, said KOCH FARM SANCTUARY; thence North 00 degrees 21 minutes 02 seconds East, a distance of 443.98 feet; thence North 89 degrees 17 minutes 54 seconds West, a distance of 213.18 feet to the Northeast line of said Lot 1, Block 11; thence North 31 degrees 56 minutes 51 seconds West, along said Northeast line of Lot 1, Block 11, a distance of 35.46 feet to the Northeast corner of said Lot 1, Block 11; thence South 88 degrees 20 minutes 27 seconds East, along the North line of said Outlot C, a distance of 269.76 feet to a corner of said Outlot C; thence North 00 degrees 17 minutes 26 seconds East, along the West line of said Outlot C, a distance of 723.47 feet; thence South 89 degrees 42 minutes 34 seconds East, a distance of 34.20 feet; thence North 05 degrees 34 minutes 31 seconds West, a distance of 42.23 feet; thence North 61 degrees 12 minutes 42 seconds East, a distance of 102.23 feet to the most Westerly corner of Lot 2, Block 4, said KOCH FARM SANCTUARY; thence Easterly, Southerly, Easterly and Northerly along the perimeter of said Block 4 to a point on the Easterly line of Lot 3, said Block 4, a distance of 304.97 feet Southerly of the Northeast corner of said Lot 3, Block 4; thence South 29 degrees 12 minutes 27 seconds East, a distance of 119.11 feet; thence South 40 degrees 37 minutes 02 seconds East, a distance of 61.29 feet; thence South 10 degrees 35 minutes 33 seconds East, a distance of 108.26 feet; thence South 03 degrees 27 minutes 36 seconds West, a distance of 55.34 feet; thence South 20 degrees 20 minutes 44 seconds West, a distance of 98.13 feet; thence South 39 degrees 39 minutes 26 seconds West, a distance of 71.53 feet; thence South 52 degrees 43 minutes 47 seconds West, a distance of 102.92 feet; thence South 04 degrees 15 minutes 01 seconds East, a distance of 51.84 feet; thence South 85 degrees 24 minutes 11 seconds East, a distance of 59.35 feet; thence South 86 degrees 10 minutes 48 seconds East, a distance of 137.10 feet; thence South 69 degrees 25 minutes 01 seconds East, a distance of 32.48 feet; thence North 83 degrees 01 minutes 08 seconds East, a distance of 38.82 feet; thence North 38 degrees 14 minutes 13 seconds East, a distance of 58.16 feet; thence South 03 degrees 01 minutes 15 seconds West, a distance of 72.50 feet; thence South 02 degrees 46 minutes 01 seconds West, a distance of 36.22 feet; thence South 30 degrees 45 minutes 05 seconds East, a distance of 10.44 feet; thence South 00 degrees 53 minutes 32 seconds East, a distance of 12.83 feet; thence North 89 degrees 53 minutes 40 seconds West, a distance of 217.77 feet; thence South 63 degrees 51 minutes 12 seconds East, a distance of 56.95 feet to the Northeast corner of Lot 3, said Block 7; thence North 89 degrees 53 minutes 40 seconds West, along the North line of said Block 7, a distance of 480.04 feet to the point of beginning.

EXCEPT:

That part of Outlot C, KOCH FARM SANCTUARY, Hennepin County, Minnesota, according to the recorded plat thereof, described as follows:

Commencing at the Southeast corner of Lot 2, Block 4, said KOCH FARM SANCTUARY; thence South 47 degrees 58 minutes 32 seconds West, assuming that the Southerly line of said Lot 2, Block 4 bears South 58 degrees 24 minutes 11 seconds East, a distance of 51.30 feet to the point of beginning; thence North 80 degrees 22 minutes 06 seconds West, a distance of 27.60 feet; thence South 53 degrees 43 minutes 44 seconds West, a distance of 50.15 feet; thence South 39 degrees 26 minutes 19 seconds West, a distance of 59.35 feet; thence South 25 degrees 02 minutes 05 seconds West, a distance of 64.70 feet; thence South 04 degrees 02 minutes 57 seconds West, a distance of 90.51 feet; thence South 12 degrees 57 minutes 06 seconds East, a distance of 43.68 feet; thence South 81 degrees 17 minutes 44 seconds East, a distance of 59.68 feet; thence North 55 degrees 55 minutes 35 seconds East, a distance of 72.60 feet; thence North 32 degrees 22 minutes 36 seconds East, a distance of 72.35 feet; thence North 02 degrees 44 minutes 29 seconds East, a distance of 61.11 feet; thence North 12 degrees 23 minutes 19 seconds West, a distance of 70.25 feet; thence North 22 degrees 18 minutes 28 seconds West, a distance of 43.20 feet to the point of beginning.

Sheet 1 of 2 Sheets



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(763)682-4727
Fax: (763)682-3522

Engineers & Land Surveyors, Inc.

- denotes iron monument found
- denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062

Requested By:

Tom Koch

Revised:

Date:

5-6-22

Drawn By:

J.J.A.

Scale:

1"=150'

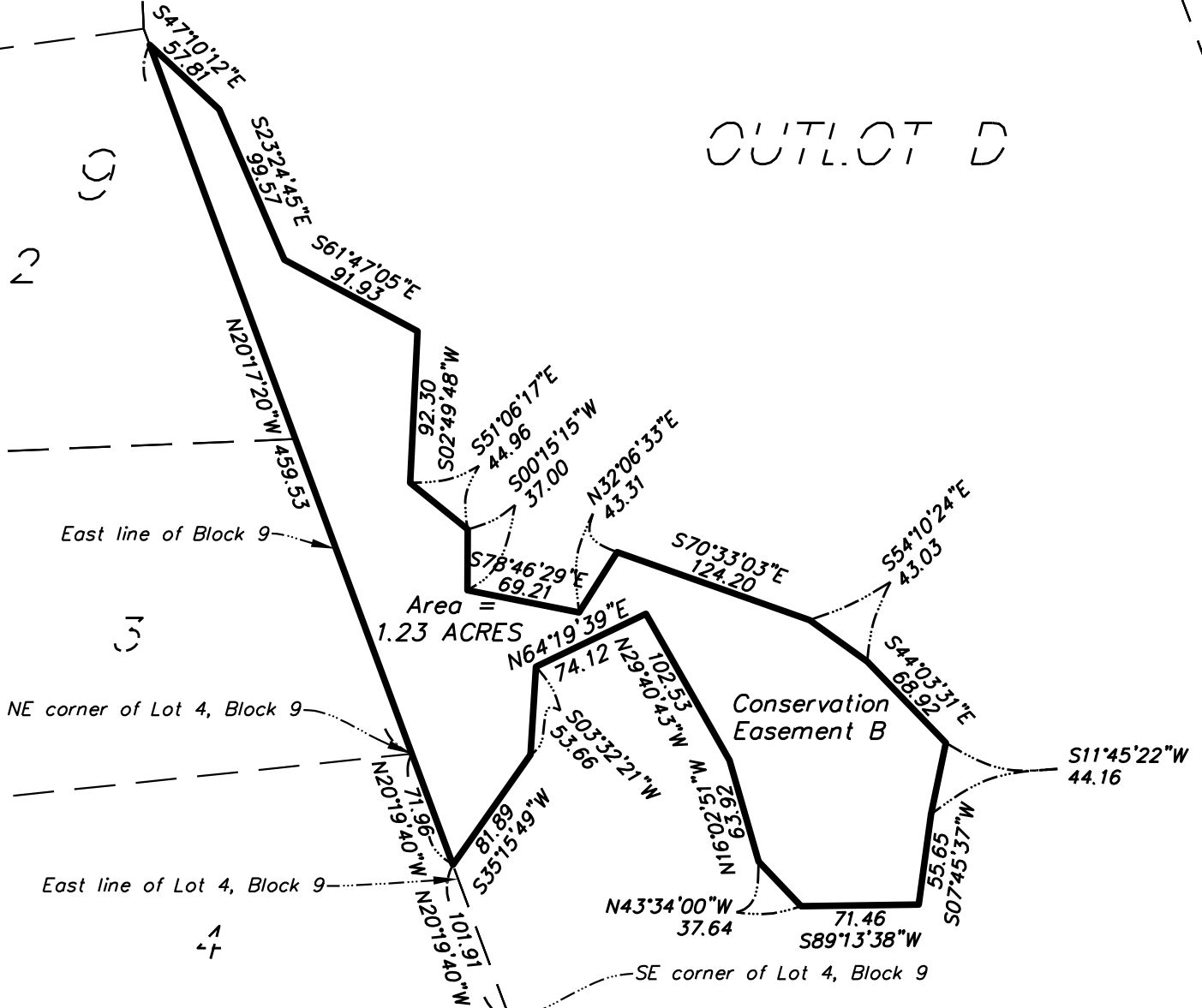
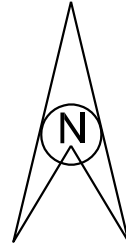
Checked By:

P.E.O.

Project No.

18-0199 A

Easement Exhibit



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Sheet 1 of 2 Sheets

Engineers & Land Surveyors, Inc.

- denotes iron monument found
- denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062

Requested By:

Tom Koch

Revised:

Date:

5-6-22

Drawn By:

J.J.A.

Scale:

1"=100'

Checked By:

P.E.O.

Project No.

18-0199 B

Easement Exhibit

CONSERVATION EASEMENT B:

A perpetual easement for conservation purposes over, under, and across that part of Outlot D, KOCH FARM SANCTUARY, Hennepin County, Minnesota, according to the recorded plat thereof, described as follows:

Commencing at the Southeast corner of Lot 4, Block 9, said KOCH FARM SANCTUARY, thence on an assumed bearing of North 20 degrees 19 minutes 40 seconds West, along the East line of said Lot 4, a distance of 101.91 feet to the point of beginning; thence continuing North 20 degrees 19 minutes 40 seconds West, along said East line of Lot 4, a distance of 71.96 feet to the Northeast corner of said Lot 4; thence North 20 degrees 17 minutes 20 seconds West, along the East line of said Block 9, a distance of 459.53 feet;
 thence South 47 degrees 10 minutes 12 seconds East, a distance of 57.81 feet;
 thence South 23 degrees 24 minutes 45 seconds East, a distance of 99.57 feet;
 thence South 61 degrees 47 minutes 05 seconds East, a distance of 91.93 feet;
 thence South 02 degrees 49 minutes 48 seconds West, a distance of 92.30 feet;
 thence South 51 degrees 06 minutes 17 seconds East, a distance of 44.96 feet;
 thence South 00 degrees 15 minutes 15 seconds West, a distance of 37.00 feet;
 thence South 78 degrees 46 minutes 29 seconds East, a distance of 69.21 feet;
 thence North 32 degrees 06 minutes 33 seconds East, a distance of 43.31 feet;
 thence South 70 degrees 33 minutes 03 seconds East, a distance of 124.20 feet;
 thence South 54 degrees 10 minutes 24 seconds East, a distance of 43.03 feet;
 thence South 44 degrees 03 minutes 31 seconds East, a distance of 68.92 feet;
 thence South 11 degrees 45 minutes 22 seconds West, a distance of 44.16 feet;
 thence South 07 degrees 45 minutes 37 seconds West, a distance of 55.65 feet;
 thence South 89 degrees 13 minutes 38 seconds West, a distance of 71.46 feet;
 thence North 43 degrees 34 minutes 00 seconds West, a distance of 37.64 feet;
 thence North 16 degrees 02 minutes 51 seconds West, a distance of 63.92 feet;
 thence North 29 degrees 40 minutes 43 seconds West, a distance of 102.53 feet;
 thence South 64 degrees 19 minutes 39 seconds West, a distance of 74.12 feet;
 thence South 03 degrees 32 minutes 21 seconds West, a distance of 53.66 feet;
 thence South 35 degrees 15 minutes 49 seconds West, a distance of 81.89 feet to the point of beginning.



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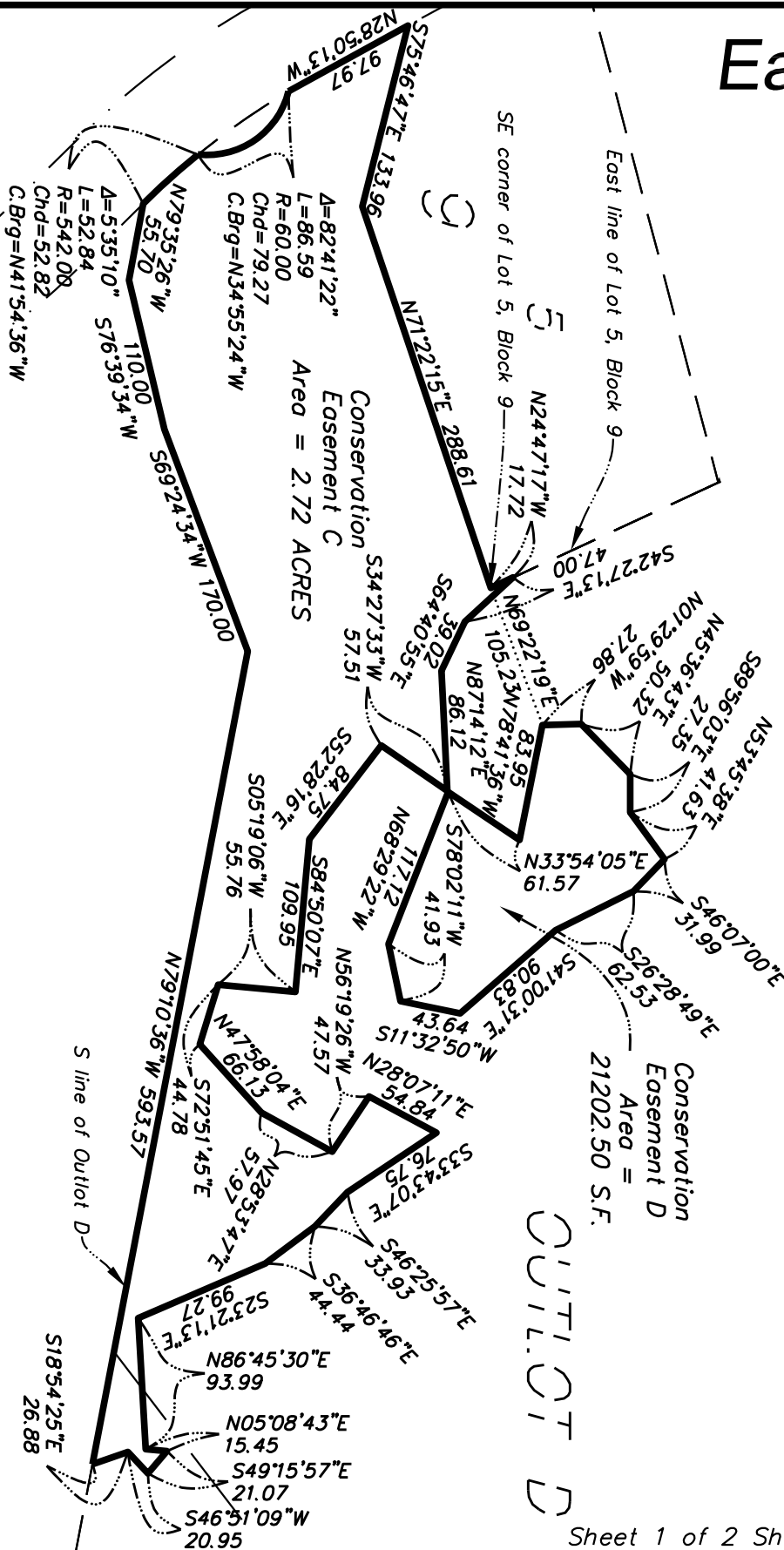
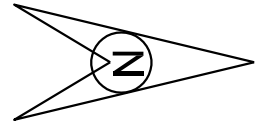
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 Fax: (763)682-3522

Sheet 2 of 2 Sheets

Engineers & Land Surveyors, Inc.

● denotes iron monument found ○ denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062	Requested By:				Revised:
	Tom Koch				
	Date:	Drawn By:	Scale:	Checked By:	Project No.
	5-6-22	J.J.A.	1"=100'	P.E.O.	18-0199 B

Easement Exhibit



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Sheet 1 of 2 Sheets

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- denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062

Requested By:

Tom Koch

Revised:

Date:

5-6-22

Drawn By:

J.J.A.

Scale:

1"=120'

Checked By:

P.E.O.

Project No.

18-0199 C/D

CONSERVATION EASEMENT C:

Easement Exhibit

A perpetual easement for conservation purposes over, under, and across that part of Outlot D, KOCH FARM SANCTUARY, Hennepin County, Minnesota, according to the recorded plat thereof, lying Southwesterly of the following described line:

Commencing at the Southeast corner of Lot 5, Block 9, said KOCH FARM SANCTUARY; thence on an assumed bearing of North 24 degrees 47 minutes 17 seconds West, along the East line of said Lot 5, a distance of 17.12 feet to the point of beginning of said line;
 thence South 42 degrees 27 minutes 13 seconds East, a distance of 47.00 feet;
 thence South 64 degrees 40 minutes 55 seconds East, a distance of 39.02 feet;
 thence North 87 degrees 14 minutes 12 seconds East, a distance of 86.12 feet;
 thence South 34 degrees 27 minutes 33 seconds West, a distance of 57.51 feet;
 thence South 52 degrees 28 minutes 16 seconds East, a distance of 84.75 feet;
 thence South 84 degrees 50 minutes 07 seconds East, a distance of 109.95 feet;
 thence South 05 degrees 19 minutes 06 seconds West, a distance of 55.76 feet;
 thence South 72 degrees 51 minutes 45 seconds East, a distance of 44.78 feet;
 thence North 47 degrees 58 minutes 04 seconds East, a distance of 66.13 feet;
 thence North 28 degrees 53 minutes 47 seconds East, a distance of 57.97 feet;
 thence North 56 degrees 19 minutes 26 seconds West, a distance of 47.57 feet;
 thence North 28 degrees 07 minutes 11 seconds East, a distance of 54.84 feet;
 thence South 33 degrees 43 minutes 07 seconds East, a distance of 76.75 feet;
 thence South 46 degrees 25 minutes 57 seconds East, a distance of 33.93 feet;
 thence South 36 degrees 46 minutes 46 seconds East, a distance of 44.44 feet;
 thence South 23 degrees 21 minutes 13 seconds East, a distance of 99.27 feet;
 thence North 86 degrees 45 minutes 30 seconds East, a distance of 93.99 feet;
 thence North 05 degrees 08 minutes 43 seconds East, a distance of 15.45 feet;
 thence South 49 degrees 15 minutes 57 seconds East, a distance of 21.07 feet;
 thence South 46 degrees 51 minutes 09 seconds West, a distance of 20.95 feet;
 thence South 18 degrees 54 minutes 25 seconds East, a distance of 26.88 feet;
 to the South line of said Outlot D and said line there terminating.

CONSERVATION EASEMENT D:

A perpetual easement for conservation purposes over, under, and across that part of Outlot D, KOCH FARM SANCTUARY, Hennepin County, Minnesota, according to the recorded plat thereof, described as follows:

Commencing at the Southeast corner of Lot 5, Block 9, said KOCH FARM SANCTUARY; thence North 69 degrees 22 minutes 19 seconds East, assuming that the East line of said Lot 5 bears North 24 degrees 47 minutes 17 seconds West, a distance of 105.23 feet to the point of beginning;
 thence North 01 degrees 29 minutes 59 seconds West, a distance of 27.86 feet;
 thence North 45 degrees 36 minutes 43 seconds East, a distance of 50.32 feet;
 thence South 89 degrees 56 minutes 03 seconds East, a distance of 27.35 feet;
 thence North 53 degrees 45 minutes 38 seconds East, a distance of 41.63 feet;
 thence South 46 degrees 07 minutes 00 seconds East, a distance of 31.99 feet;
 thence South 26 degrees 28 minutes 49 seconds East, a distance of 62.53 feet;
 thence South 41 degrees 00 minutes 31 seconds East, a distance of 90.83 feet;
 thence South 11 degrees 32 minutes 50 seconds West, a distance of 43.64 feet;
 thence South 78 degrees 02 minutes 11 seconds West, a distance of 41.93 feet;
 thence North 68 degrees 29 minutes 22 seconds West, a distance of 117.12 feet;
 thence North 33 degrees 54 minutes 05 seconds East, a distance of 61.57 feet;
 thence North 78 degrees 41 minutes 36 seconds West, a distance of 83.95 feet
 to the point of beginning.



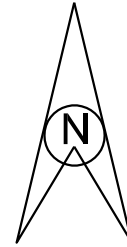
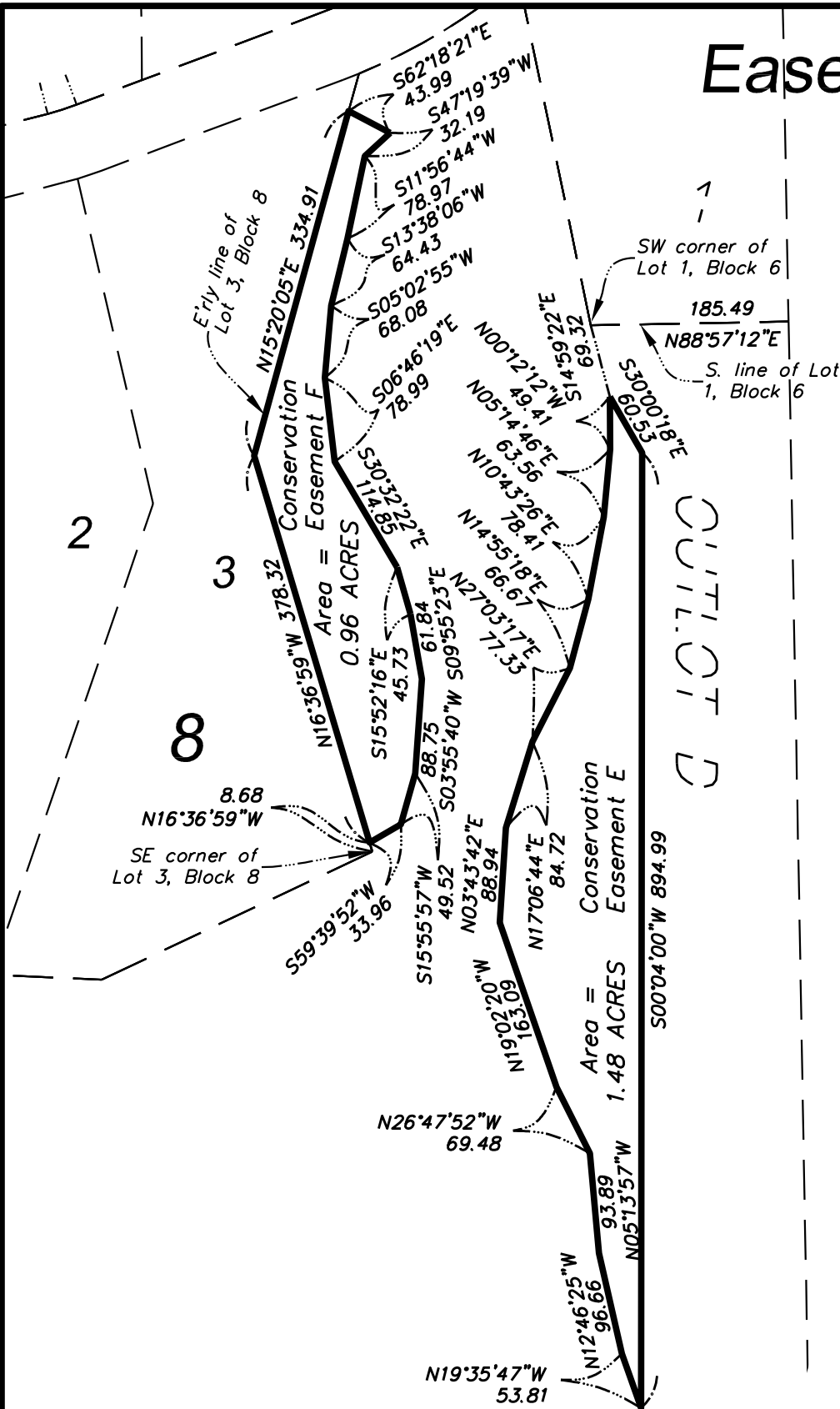
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Sheet 2 of 2 Sheets Engineers & Land Surveyors, Inc.

<ul style="list-style-type: none"> ● denotes iron monument found ○ denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062 	Requested By:				Revised:
	Tom Koch				
	Date:	Drawn By:	Scale:	Checked By:	Project No.
	5-6-22	J.J.A.	1"=120'	P.E.O.	18-0199 C/D

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Requested By:

Tom Koch

Revised:

Date:

5-6-22

Drawn By:

J.J.A.

Scale:

1"=150'

Checked By:

P.E.O.

Project No.

18-0199 E/F

Easement Exhibit

CONSERVATION EASEMENT E:

A perpetual easement for conservation purposes over, under, and across that part of Outlot D, KOCH FARM SANCTUARY, Hennepin County, Minnesota, according to the recorded plat thereof, described as follows:

Commencing at the Southwest corner of Lot 1, Block 6, said KOCH FARM SANCTUARY; thence South 14 degrees 59 minutes 22 seconds East, assuming the South line of said Lot 1 bears North 88 degrees 57 minutes 12 seconds East, a distance of 69.32 feet to the point of beginning; thence South 30 degrees 00 minutes 18 seconds East, a distance of 60.53 feet; thence South 00 degrees 04 minutes 00 seconds West, a distance of 894.99 feet; thence North 19 degrees 35 minutes 47 seconds West, a distance of 53.81 feet; thence North 12 degrees 46 minutes 25 seconds West, a distance of 96.66 feet; thence North 05 degrees 13 minutes 57 seconds West, a distance of 93.89 feet; thence North 26 degrees 47 minutes 52 seconds West, a distance of 69.48 feet; thence North 19 degrees 02 minutes 20 seconds West, a distance of 163.09 feet; thence North 03 degrees 43 minutes 42 seconds East, a distance of 88.94 feet; thence North 17 degrees 06 minutes 44 seconds East, a distance of 84.72 feet; thence North 27 degrees 03 minutes 17 seconds East, a distance of 77.33 feet; thence North 14 degrees 55 minutes 18 seconds East, a distance of 66.67 feet; thence North 10 degrees 43 minutes 26 seconds East, a distance of 78.41 feet; thence North 05 degrees 14 minutes 46 seconds East, a distance of 63.56 feet; thence North 00 degrees 12 minutes 12 seconds West, a distance of 49.41 feet to the point of beginning.

CONSERVATION EASEMENT F:

A perpetual easement for conservation purposes over, under, and across that part of Outlot D, KOCH FARM SANCTUARY, Hennepin County, Minnesota, according to the recorded plat thereof, described as follows:

Commencing at the Southeast corner of Lot 3, Block 8, said KOCH FARM SANCTUARY; thence on an assumed bearing of North 16 degrees 36 minutes 59 seconds West, along the Easterly line of said Lot 3, a distance of 8.68 feet to the point of beginning; thence continue North 16 degrees 36 minutes 59 seconds West, along said Easterly line, a distance of 378.32 feet; thence North 15 degrees 20 minutes 05 seconds East, along said Easterly line of Lot 3, a distance of 334.91 feet; thence South 62 degrees 18 minutes 21 seconds East, a distance of 43.99 feet; thence South 47 degrees 19 minutes 39 seconds West, a distance of 32.19 feet; thence South 11 degrees 56 minutes 44 seconds West, a distance of 78.97 feet; thence South 13 degrees 38 minutes 06 seconds West, a distance of 64.43 feet; thence South 05 degrees 02 minutes 55 seconds West, a distance of 68.08 feet; thence South 06 degrees 46 minutes 19 seconds East, a distance of 78.99 feet; thence South 30 degrees 32 minutes 22 seconds East, a distance of 114.85 feet; thence South 15 degrees 52 minutes 16 seconds East, a distance of 45.73 feet; thence South 09 degrees 55 minutes 23 seconds East, a distance of 61.84 feet; thence South 03 degrees 55 minutes 40 seconds West, a distance of 88.75 feet; thence South 15 degrees 55 minutes 57 seconds West, a distance of 49.52 feet; thence South 59 degrees 39 minutes 52 seconds West, a distance of 33.96 feet to the point of beginning.



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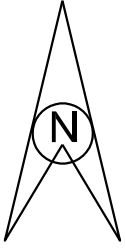
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<ul style="list-style-type: none">● denotes iron monument found○ denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062	Requested By: Tom Koch				Revised:
	Date: 5-6-22	Drawn By: J.J.A.	Scale: 1"=150'	Checked By: P.E.O.	Project No. 18-0199 E/F

Easement Exhibit



5

1

OUTLOT E

Conservation
Easement G
Area =
32447.34 S.F.

BREI

KESSEL

CONSERVATION EASEMENT G:

A perpetual easement for conservation purposes over, under, and across all of Outlot E, KOCH FARM SANCTUARY, Hennepin County, Minnesota, according to the recorded plat thereof.



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Tom Koch

Revised:

Date:

5-6-22

Drawn By:

J.J.A.

Scale:

1"=120'

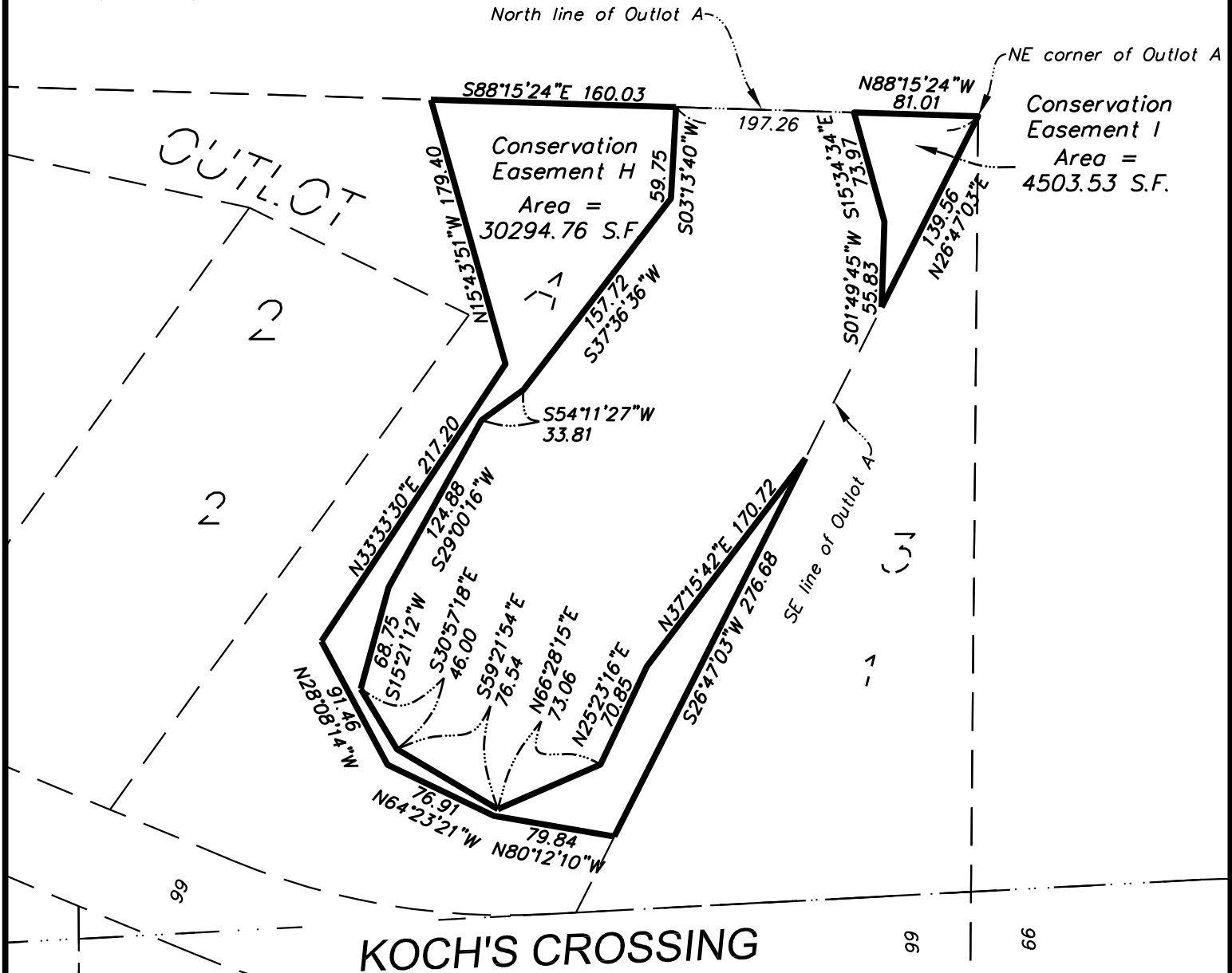
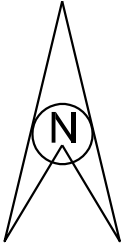
Checked By:

P.E.O.

Project No.

18-0199 G

Easement Exhibit



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Requested By:

Tom Koch

Revised:

Date:

5-6-22

Drawn By:

J.J.A.

Scale:

1"=100'

Checked By:

P.E.O.

Project No.

18-0199 H/I

Easement Exhibit

CONSERVATION EASEMENT H:

A perpetual easement for conservation purposes over, under, and across that part of Outlot A, KOCH FARM SANCTUARY, Hennepin County, Minnesota, according to the recorded plat thereof, described as follows:

Commencing at the Northeast corner of said Outlot A; thence on an assumed bearing of North 88 degrees 15 minutes 24 seconds West, along the North line of said Outlot A, a distance of 197.26 feet to the point of beginning; thence South 03 degrees 13 minutes 40 seconds West, a distance of 59.75 feet; thence South 37 degrees 36 minutes 36 seconds West, a distance of 157.72 feet; thence South 54 degrees 11 minutes 27 seconds West, a distance of 33.81 feet; thence South 29 degrees 00 minutes 16 seconds West, a distance of 124.88 feet; thence South 15 degrees 21 minutes 12 seconds West, a distance of 68.75 feet; thence South 30 degrees 57 minutes 18 seconds East, a distance of 46.00 feet; thence South 59 degrees 21 minutes 54 seconds East, a distance of 76.54 feet; thence North 66 degrees 28 minutes 15 seconds East, a distance of 73.06 feet; thence North 25 degrees 23 minutes 16 seconds East, a distance of 70.85 feet; thence North 37 degrees 15 minutes 42 seconds East, a distance of 170.72 feet to the Southeast line of Outlot A; thence South 26 degrees 47 minutes 03 seconds West, along said Southeast line, a distance of 276.68 feet; thence North 80 degrees 12 minutes 10 seconds West, a distance of 79.84 feet; thence North 64 degrees 23 minutes 21 seconds West, a distance of 76.91 feet; thence North 28 degrees 08 minutes 14 seconds West, a distance of 91.46 feet; thence North 33 degrees 33 minutes 30 seconds East, a distance of 217.20 feet; thence North 15 degrees 43 minutes 51 seconds West, a distance of 179.40 feet to the North line of said Outlot A; thence South 88 degrees 15 minutes 24 seconds East, along said North line, a distance of 160.03 feet to the point of beginning.

CONSERVATION EASEMENT I:

A perpetual easement for conservation purposes over, under, and across that part of Outlot A, KOCH FARM SANCTUARY, Hennepin County, Minnesota, according to the recorded plat thereof, described as follows:

Beginning at the Northeast corner of said Outlot A; thence on an assumed bearing of North 88 degrees 15 minutes 24 seconds West, along the North line of said Outlot A, a distance of 81.01 feet; thence South 15 degrees 34 minutes 34 seconds East, a distance of 73.97 feet; thence South 01 degrees 49 minutes 45 seconds West, a distance of 55.83 feet to the Southeast line of Outlot A; thence North 26 degrees 47 minutes 03 seconds East, along said Southeast line, a distance of 139.56 feet to the point of beginning.



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- denotes iron monument found
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Requested By:

Tom Koch

Revised:

Date:

5-6-22

Drawn By:

J.J.A.

Scale:

1"=100'

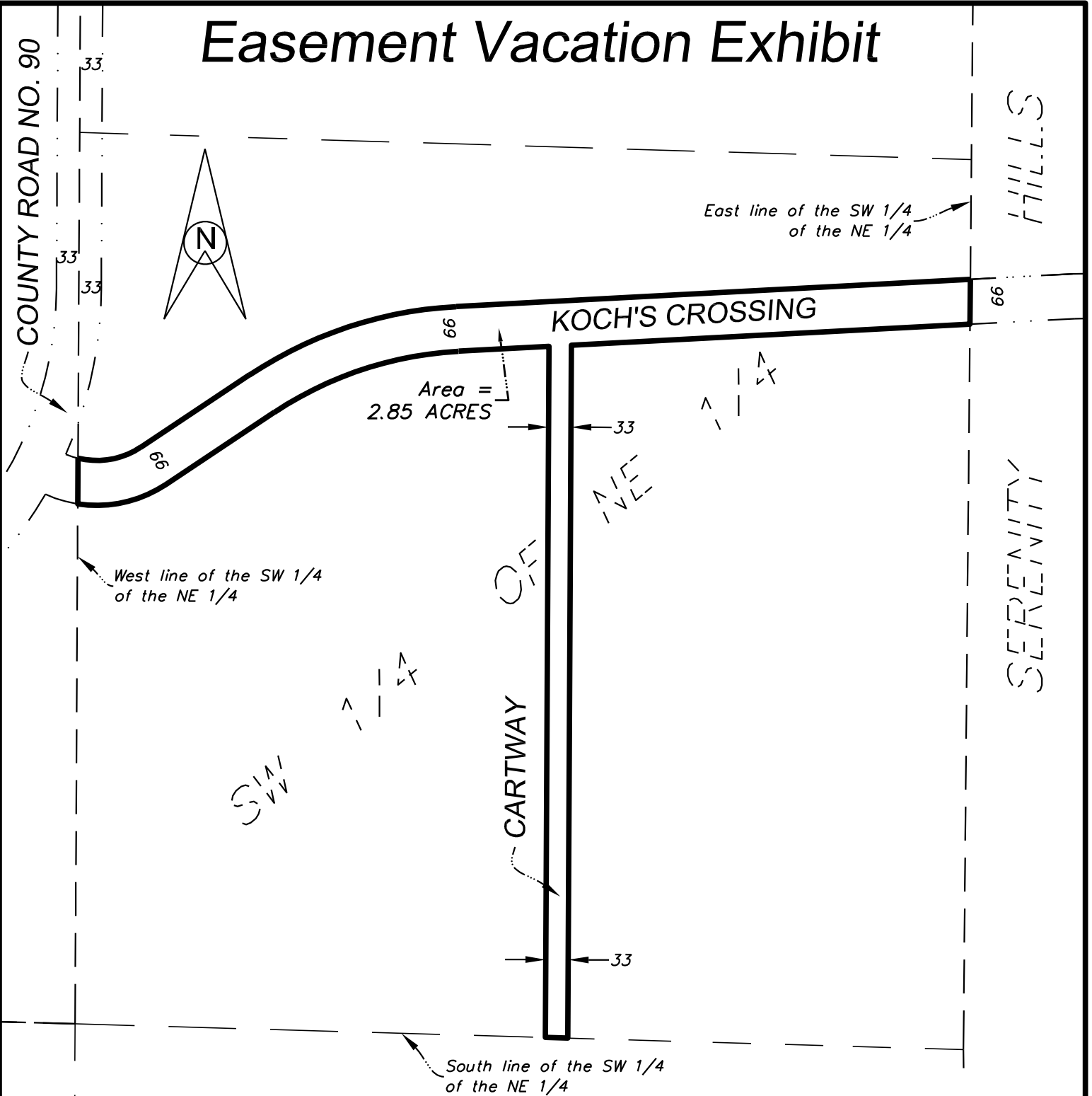
Checked By:

P.E.O.

Project No.

18-0199 H/I

Easement Vacation Exhibit



PROPOSED EASEMENT VACATION DESCRIPTION:

That part of Koch's Crossing right of way and the cartway embraced within the Southwest Quarter of the Northeast Quarter of Section 11, Township 118, Range 24, Hennepin County, Minnesota.



Engineers & Land Surveyors, Inc.

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Requested By:

Tom Koch

Revised:

Date:

5-9-22

Drawn By:

J.J.A.

Scale:

1"=200'

Checked By:

P.E.O.

Project No.

18-0199

Disturbed Upland Buffer Areas Planting and Maintenance Plan Koch Farm Sanctuary, Independence, MN

The Koch Farm Sanctuary development shows disturbed upland buffer requiring planting and management according to Pioneer-Sarah Creek WMC. The site previously consisted of farm fields encroaching on wetlands; therefore, the quality of buffers is anticipated to increase with development of the site and subsequent management of buffers. After construction activities have ceased, upland buffer that is disturbed during project grading will be seeded with a native seed mix and managed annually for weedy and invasive species. Upon final establishment, wetland buffer shall contain little or no bare soil and shall exhibit a dominance of native vegetation. Protocols to be followed for site preparation/seeding and maintenance are provided below.

Disturbed Upland Buffer Planting Plan

Site Preparation & Seeding (assuming fall seeding)

Soils within the disturbed buffer areas will first be decompacted to a depth of 12 inches and organic matter will be incorporated into soils, and then fine graded/smoothed before the seeding work begins (to be done by the general contractor or excavator). The areas will be left/avoided for a minimum of 30 days to allow weeds to germinate and regrow.

A broad spectrum herbicide treatment will be applied as per manufacturer's directions. Herbicide treatment areas will be left/avoided for a minimum of 30 days before native seeding commences.

The soil will be harrowed or raked to create a smooth seedbed, and a roller or cultipacker will be used to create a firm seedbed. All seed will be applied by broadcasting, drilling or as otherwise recommended by the contracted revegetation specialist.

The proposed seed mix and rate for disturbed buffer areas is State Seed Mix 35-241 (Mesic Prairie General) or similar at a rate of 11.5 lbs/acre of grasses and forbs, and 25.0 lbs/acre of cover crop.

Native seed mix used will depend on the hydrologic conditions of the landscape post grading and seed availability. Seed shall be purchased from an approved seed company as listed on the MnDNR's native plant nursery list (or approved equal).

Newly seeded areas will be mulched with clean straw at a rate of 1.5 tons per acres. The straw will be disk anchored, where accessible. Upon completion of seed installation, a site visit will be conducted with the vegetation contractor to confirm seeding was consistent with the approved plan and collect seed tags.

Disturbed Upland Buffer Maintenance Plan

A standard maintenance plan for areas of disturbed upland buffer is provided below. Revisions to this plan may occur. The intent of the management plan is to: 1) promote the growth of native species, and 2) control noxious and/or invasive species such as Canada thistle. When a noxious or invasive species occurs, the appropriate technique to control or eliminate that species will be implemented.

Year 1 (fall dormant seeding)

- Fall dormant seed as described in the Planting Plan

Year 2 Management

- Mow 2-3 times with mower deck 6-8 inches off the ground to prevent development of weedy species
- Spot spray perennial weedy species as needed

Year 2 Evaluation

- Cover crop will be gone unless winter wheat was used in a fall planting
- Grasses forming clumps 1-6 inches apart in drill rows, but still short
- Some flowers should be blooming
- Flush growth of foxtail and other annuals may indicate need for more frequent mowing
- Supplemental seeding if needed

Year 3 Management

- Mow 1-2 times with mower deck/bar approximately 12 inches off the ground to control weedy annuals
- Spot spray perennial weedy species as needed
- Supplemental seeding if needed

Year 3 Evaluation

- Plantings should include a diverse mixture of native grasses and forbs
- Plantings should not include more than 50% invasive species

MEMORANDUM

TO: Mark Kaltsas, Independence City Planner/Administrator

CC: Andrew Budde, City Engineer
Shawn Bode, Public Works Supervisor

FROM: Shane Nelson, Water Resources Engineer

DATE: January 3, 2023

RE: Koch Farm – Water Resources Review

We have received and reviewed the Construction Plans, dated December 14, 2022, and Stormwater Report, dated April 18, 2022, and Koch Farm Sanctuary Creek Crossing report, dated June 3, 2022 for Koch Farm prepared by Otto Associates in the City of Independence and the Wetland Delineation Report, dated October 21, 2020, prepared by Kjolhaug Environmental Services Company, Inc. We would offer the following comments in regards to water resources:

Koch Farm is a proposed 33 lot, 141.35-acre residential development. The existing site contains a mixture of woodland, meadow/wetland and row crops. The site is located 0.6 miles west of Lake Independence, and the stormwater discharge from this project is conveyed to Lake Independence via natural drainage ways. Lake Independence is currently listed as an impaired water and has a TMDL for nutrients.

1. This project is located in close proximity to Lake Independence, which has an USEPA approved TMDL for nutrients. The Applicant / Contractor will be required to implement additional stormwater BMPs and erosion control measures during construction as required by City ordinances, watershed rules, and state permitting requirement.
2. Stormwater is proposed to be managed by the construction of 9 wet sedimentation (NURP) basins located within drainage and utility easements. Additionally, the Applicant is proposing the creation of Tree Preservation Areas, Grassland Conservation Buffers, and additional Wetland Buffers which will have an environmental and water quality benefit.
3. Stormwater runoff calculations have been provided and the proposed stormwater BMPs result in proposed runoff rates which are the same or lower than existing, as required by City code.
4. The Applicant has provided soil logs, which generally extend to depths of 14 inches to 24 inches below the surface. Due to the proximity of mottled soil/groundwater, infiltration was not feasible.
5. Water Quality calculations have been provided for this project. The Total Phosphorous (TP) will be reduced from 54.16 lb/yr in the pre-development condition to 39.61 lb/yr in the post development condition. The Total Suspended Solids (TSS) will be reduced from 13,887 lb/yr in the pre-development condition to 6,111 lb/yr in the post development condition. The removals for TP and TSS meet City ordinances.
6. The Wetland Delineation Report has recently been received and a Notice of Decision was issued on December 9, 2021 for the wetland boundary and type.

7. A Wetland Replacement plan will be required for the wetland impacts that are proposed. The Applicant shall submit a Wetland Replacement Plan for review and approval.
8. Buffer strips will need to be established as part of this project. A Disturbed Upland Buffer Areas Planting and Maintenance Plan has been provided and has been found to be acceptable.
9. The proposed buffer monument locations as proposed have been reviewed and have been found to be acceptable.
10. This project will require a watershed permit from Pioneer-Sarah Creek Watershed Management Commission.
11. The project will require a NPDES permit (General Permit MNR100001) from the Minnesota Pollution Control Agency (MPCA).

We recommend approval of the Final Plat contingent upon approval of a Wetland Replacement Plan.



January 3, 2023

City of Independence
Attn: Mark Kaltsas
1920 County Road 90
Independence, MN 55359

RE: Final Plat Application
Koch Family Sanctuary
Engineering Review #1

Dear Mr. Kaltsas:

As requested, we have completed an engineering review of the documents submitted on December 15, 2022 for the above referenced project. The review is based on documents dated 12/14/2022 and prepared by Otto Associates. Following are my comments for your consideration:

General:

1. Existing Kochs Xings may have existing private utilities withing the right of way. The right of way vacation process may allow these utilities to remain and easements to be designated. Has coordination happened to understand if all utilities will be required to relocate, and that no easement will remain for these facilities?
2. Lot 3 Block 4 has the house pad located in the rear of the property and only about a 15-foot width between the D&UE line and wetland buffer line. It is anticipated that grading for this future driveway may be cause future wetland buffer impacts and should be addressed/accounted for as part of the final plat.
3. Lot 4, Block 9 has the house pad located in the rear of the property and does not provide an adequate driveway location between the D&UE line and the drain field. Drain field orientation could possibly by adjusted to accommodate the driveway.
4. In the NW corner of Lot 1, Block 1 there appears to be a field approach to CR 90. Based on aerial photos is appears to actively allows access to both the development land and the land to the north. If access is to be maintained to the parcel to the north an ingress/egress easement should be provided across a portion of the lot or the field approach removed or relocated to the north.
5. In many areas the proposed Conservation Easement slightly extends over or stops short of lot lines. It is recommended to try to have the Conservation Easements and associated signage to follow lot lines to help minimize future encroachment/land disputes with property owners and the city. Potentially extend the Conservation Easements to:
 - a. Lot 2, Block 2 side yard
 - b. Lot 1, Block 4 rear
 - c. Lot 3, Block 4 side yard near Kocks Crossing
 - d. Lot 1-6, Block 5 rear
 - e. Lot 4, Block 7 rear

f. Lot 1, Block 11, rear yard

Potentially reduce encroachments into lots at:

- g. Lot 1, Block 9 rear
- h. Lot 1-3, Block 8 side & rear
- i. Lot 4 & 5, Block 9 rear

6. D&UE for storm sewer between Lot 4 Block 7 and Lot 6, Block 5 should extent to adjacent property lines and be a minimum of 25 feet wide.
7. EOF is provided in the rear of Lot 6 Block 5. Provide D&UE over swaleStreet profile from Sta 26+00-30+00 is at 6.75%. City ordinance 500.45 Subd. 3 requires minimum street grades for Minor Streets to be 6%.
8. Lot 1, Block does not list a minimum LO elevation.
9. The ROW stub provided near Sta 10+00 of Williams Way should be rough graded to an approximate roadway profile to the western property line. This will help ensure future encroachment agreements are not needed from adjacent property owners and that there is a clear expectation that a roadway could be extended through this area in the future.
10. A rock construction entrance is shown at the east connection with Kochs Crossing. All construction equipment and access to the site should occur from CR 90 to minimize hauling and complaints from existing residential properties. A rock construction access may be added to the existing Kochs Crossing connection that would likely get utilized during the earlier stages of construction.
11. Add black on yellow "No Outlet" to Williams Way roadway signage.
12. Bituminous trail at end of Williams Way exceeds 5% grade and is not ADA compliant. Provide a design that meets ADA requirements ideally with a max grade of 5% or less and ADA compliant pedestrian ramps.
13. All applicable city standard details and specifications should be followed for the final construction plans.
14. The following permits will need to be obtained and copies provided to the City conditional to City approval:
 - a. NPDES Permit for Stormwater Discharge
 - b. PSCWMC Permit
 - c. Wetland Conservation Act (WCA) Permit (MCWD and HAA are listed as the LGU)
15. The applicant will be required to submit a Maintenance Agreement for all stormwater management structures and facilities. The agreement must define maintenance responsibilities following completion of project, specify types and frequencies of inspection and maintenance activities, designate who will conduct inspection and maintenance activities, and outline reporting requirements.
16. .

Grading/Drainage:

17. Within vacated easement of Kochs Xing there is a culvert on Lot 3, Block 4. It is recommended to remove this culvert and grade to allow the north area to drain to the south via a ditch as part of the development grading. If left in place the culvert would become private and the city would not maintain it.

18. Outlot A: 100yr-HWL of both basins appear to encroach into adjacent lots. D&UE should be adjusted in these parcels to extend over the 100yr-HWL. Also, a D&UE should be extended over all of Outlot A.
19. The berm in Outlot B appears to fill a portion of a natural low area that may take away some of the existing stormwater storage and negatively impact the existing property owner to the east. Has this basin been modeled for impacts?
20. Outlot C has a basin with a HWL=974.0. The 974.0 elevation extends well into Lots 2-5, Block 5. D&UE should be extended to cover the 100yr-HWL. Conformation should be provided if septic drain fields can be in this easement.
21. At the eastern connection with Kock's Crossing it appears that ditch water is conveyed from the existing ditches into the proposed ditches.
22. Lots 1-2, Block 7 are labeled to have Min Low Floor elev of 983.7. Pioneer-Sarah Creek Watershed require 2 feet of freeboard and should be adjusted to 983.8 based on the adjacent storm pond 100-yr HWL.

If you have any questions or comments, please contact me to discuss.

Sincerely,

Bolton & Menk, Inc.

A handwritten signature in black ink that reads "And Bud".

Andrew Budde, P.E.

Independence City Engineer

City of Independence

Request for a Minor Subdivision to Allow a Lot Line Rearrangement Involving the Properties located at 2171 Copeland Road and 2052 Nelson Road

<i>To:</i>	Planning Commission
<i>From:</i>	Mark Kaltsas, City Planner
<i>Meeting Date:</i>	January 17, 2023
<i>Applicants:</i>	Chad Greenway
<i>Owners:</i>	Chad Greenway
<i>Location:</i>	2171 Copeland Road and 2052 Nelson Road

Request:

Chad Greenway (Applicant/Owner) requests that the City consider the following action for the properties located at 2171 Copeland Rd. and 2052 Nelson Rd., Independence, MN (PID No. 19-118-24-14-0001 and 19-118-24-13-0003):

- a. A minor subdivision to permit a lot line rearrangement to adjust the property lines between the two subject properties.

Property/Site Information:

There are two subject properties being considered. The applicant owns both properties and has an existing home on the north property and recently located a detached accessory structure on the south property. The north property has frontage on Copeland Road and the south property has frontage on both Copeland Road and Nelson Road. The property has the following site characteristics:

Property Information: 2171 Copeland Road and 2052 Nelson Road

Zoning: *Agriculture*

Comprehensive Plan: *Agriculture*

Acreage (Before):	<i>PID No. 19-118-24-14-0001</i>	<i>2 acres</i>
	<i>PID No. 19-118-24-13-0003</i>	<i>3.4 acres</i>

Acreage (After):	<i>5.4 acres</i>
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Discussion:

The applicant acquired a detached accessory structure (~22' x 35') and located on the south property which is defined as Parcel A (no principal structure). The applicant inquired whether or not a building permit was required for the accessory structure. The City reviewed the structure and noted that the structure would require a zoning permit and would have to be located on the same property as the principal structure (identified as Parcel B). The applicant asked if they could adjust the property line between their two properties. It was noted that lot line rearrangements are permitted in the AG-Agriculture zoning district. The applicant is now seeking consideration of a lot line rearrangement to expand the boundaries of Parcel B and reduce the boundaries of Parcel A.

The applicant is proposing to add 2.88 acres from Parcel A to Parcel B in the after condition. Parcel A will be reduced from 60.84 to 57.96 acres and Parcel B would be increased from 10.00 to 12.88 acres.

There are several items that should be noted by the City during consideration of the application:

1. The City does not have accessory structure square footage limitations for properties that are greater than 10 acres.
2. Parcel A in the after condition would still have a single building eligibility.
3. The proposed (existing) detached accessory building meets applicable building setbacks in the after condition.
4. The existing perimeter drainage and utility easements should be vacated and the requisite perimeter easements relating to the revised lot boundaries will need to be dedicated to the City. The applicant shall execute the necessary documents to convey the easements as determined necessary by the City.

The proposed subdivision to allow a lot line rearrangement appears to meet all applicable standards of the City's zoning and subdivision ordinance. The revised lots will continue to be consistent with the City's zoning ordinances and Comprehensive Plan.

Neighbor Comments:

The City has not received any written comments regarding the proposed minor subdivision.

Recommendation:

Staff is seeking a recommendation from the Planning Commission for the requested minor subdivision with the following findings:

1. The proposed subdivision allowing a lot line rearrangement meets all applicable criteria and conditions stated in Chapter V, Section 500, Planning and Land Use Regulations of the City of Independence Zoning Ordinance.
2. The applicant shall dedicate the requisite drainage and utility easements to the City. The applicant shall execute the necessary documents to convey the easements as determined necessary by the City. It is recommended that the applicant request vacation of the existing perimeter drainage and utility easements.
3. The applicant shall pay for all costs associated with the City's review of the requested minor subdivision.

4. The applicant shall record the subdivision and City Council Resolution with Hennepin County within six (6) months of approval.
5. The applicant shall execute and record the requisite drainage and utility easements with Hennepin County within six (6) months of approval.

Attachments:

1. Application
2. Exhibits Depicting Before and After Conditions
3. Pictures of Existing Detached Accessory Structure



**CITY OF
INDEPENDENCE
MINNESOTA**

Applicant Information

Name: Chad Greenway
Address: 2171 Copeland Rd.
Independence, Minnesota
55359
Primary Phone: 6128044063
Email: cgreenway18@gmail.com

Owner Information

Name: Chad Greenway
Address: 2171 Copeland Rd.
Independence, Minnesota
55359
Primary Phone: 6128044063
Email: cgreenway18@gmail.com

Property Address: 2171 Copeland Rd

PID: 19-118-24-14-0001

Planning Application Type: Subdivision

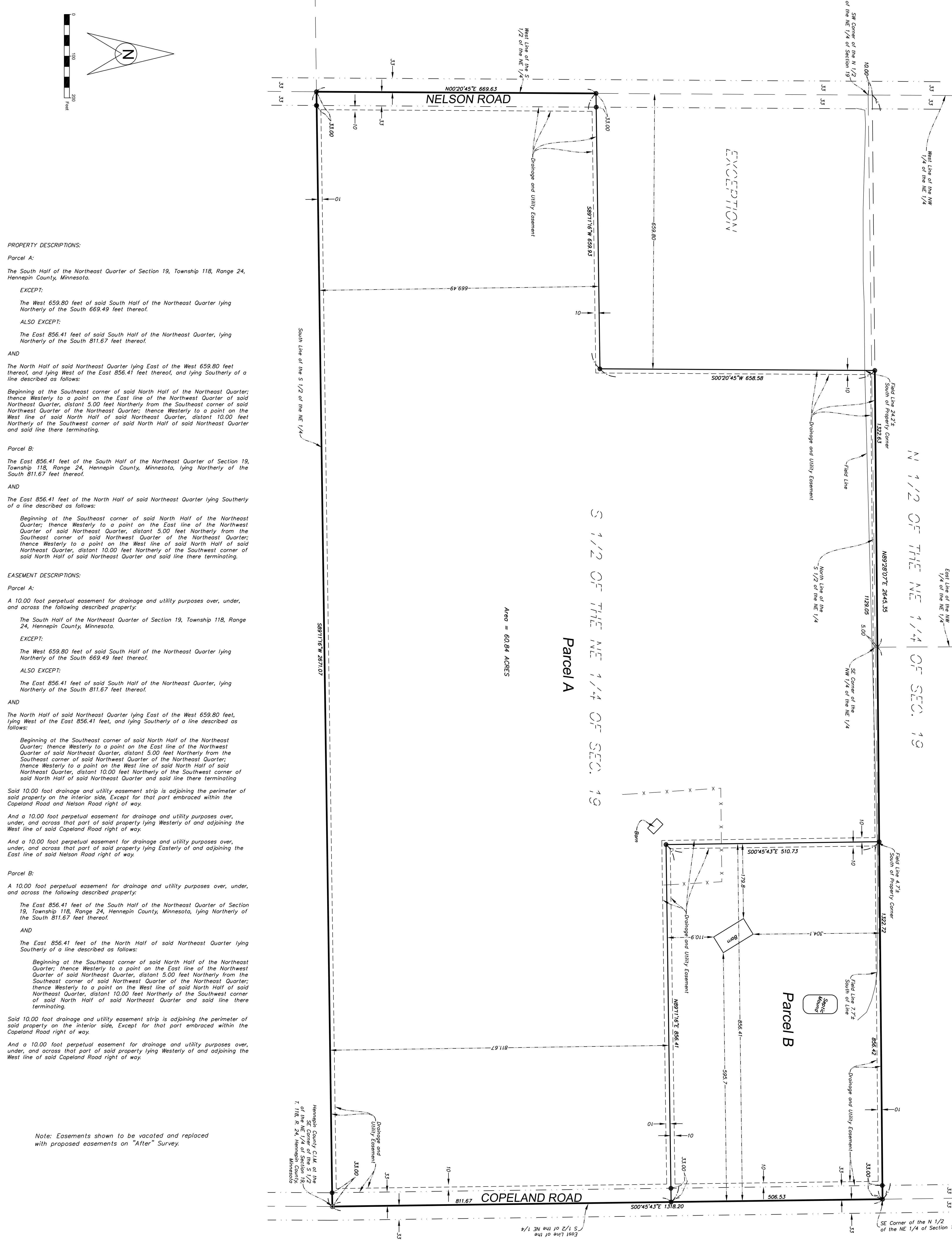
Subdivision Type: Lot Line Rearrangement, Rural View Lot, Minor Subdivision (3 lots or less)

Description: I am applying for a minor subdivision to permit a lot line rearrangement on my property at 2171 Copeland Rd.

Supporting Documents: Site Survey (Existing Conditions), Site Survey (Proposed Conditions)

Signature:

Certificate of Survey
(Before)



PROPERTY DESCRIPTIONS:

Parcel A:

The South Half of the Northeast Quarter of Section 19, Township 118, Range 24, Hennepin County, Minnesota.

EXCEPT:

The West 659.80 feet of said South Half of the Northeast Quarter lying Northerly of the South 669.49 feet thereof.

ALSO EXCEPT:

The East 856.41 feet of said South Half of the Northeast Quarter, lying Northerly of the South 811.67 feet thereof.

AND

The North Half of said Northeast Quarter lying East of the West 659.80 feet thereof, and lying West of the East 856.41 feet thereof, and lying Southerly of a line described as follows:

Beginning at the Southeast corner of said North Half of the Northeast Quarter; thence Westerly to a point on the East line of the Northwest Quarter of said Northeast Quarter, distant 5.00 feet Northerly from the Southeast corner of said Northwest Quarter of the Northeast Quarter; thence Westerly to a point on the West line of said North Half of said Northeast Quarter, distant 10.00 feet Northerly of the Southwest corner of said North Half of said Northeast Quarter and said line there terminating.

Parcel B:

The East 856.41 feet of the South Half of the Northeast Quarter of Section 19, Township 118, Range 24, Hennepin County, Minnesota, lying Northerly of the South 811.67 feet thereof.

AND

The East 856.41 feet of the North Half of said Northeast Quarter lying Southerly of a line described as follows:

Beginning at the Southeast corner of said North Half of the Northeast Quarter; thence Westerly to a point on the East line of the Northwest Quarter of said Northeast Quarter, distant 5.00 feet Northerly from the Southeast corner of said Northwest Quarter of the Northeast Quarter; thence Westerly to a point on the West line of said North Half of said Northeast Quarter, distant 10.00 feet Northerly of the Southwest corner of said North Half of said Northeast Quarter and said line there terminating.

EASEMENT DESCRIPTIONS:

Parcel A:

A 10.00 foot perpetual easement for drainage and utility purposes over, under, and across the following described property:

The South Half of the Northeast Quarter of Section 19, Township 118, Range 24, Hennepin County, Minnesota.

EXCEPT:

The West 659.80 feet of said South Half of the Northeast Quarter lying Northerly of the South 669.49 feet thereof.

ALSO EXCEPT:

The East 856.41 feet of said South Half of the Northeast Quarter, lying Northerly of the South 811.67 feet thereof.

AND

The North Half of said Northeast Quarter lying East of the West 659.80 feet, lying West of the East 856.41 feet, and lying Southerly of a line described as follows:

Beginning at the Southeast corner of said North Half of the Northeast Quarter; thence Westerly to a point on the East line of the Northwest Quarter of said Northeast Quarter, distant 5.00 feet Northerly from the Southeast corner of said Northwest Quarter of the Northeast Quarter; thence Westerly to a point on the West line of said North Half of said Northeast Quarter, distant 10.00 feet Northerly of the Southwest corner of said North Half of said Northeast Quarter and said line there terminating

Said 10.00 foot drainage and utility easement strip is adjoining the perimeter of said property on the interior side, Except for that part embraced within the Copeland Road and Nelson Road right of way.

And a 10.00 foot perpetual easement for drainage and utility purposes over, under, and across that part of said property lying Westerly of and adjoining the West line of said Copeland Road right of way.

And a 10.00 foot perpetual easement for drainage and utility purposes over, under, and across that part of said property lying Easterly of and adjoining the East line of said Nelson Road right of way.

Parcel B:

A 10.00 foot perpetual easement for drainage and utility purposes over, under, and across the following described property:

The East 856.41 feet of the South Half of the Northeast Quarter of Section 19, Township 118, Range 24, Hennepin County, Minnesota, lying Northerly of the South 811.67 feet thereof.

AND

The East 856.41 feet of the North Half of said Northeast Quarter lying Southerly of a line described as follows:

Beginning at the Southeast corner of said North Half of the Northeast Quarter; thence Westerly to a point on the East line of the Northwest Quarter of said Northeast Quarter, distant 5.00 feet Northerly from the Southeast corner of said Northwest Quarter of the Northeast Quarter; thence Westerly to a point on the West line of said North Half of said Northeast Quarter, distant 10.00 feet Northerly of the Southwest corner of said North Half of said Northeast Quarter and said line there terminating.

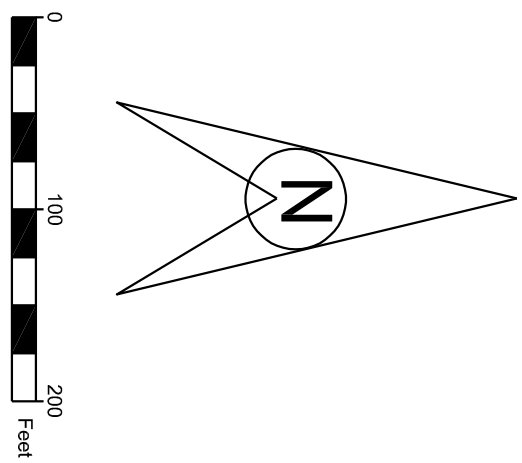
Said 10.00 foot drainage and utility easement strip is adjoining the perimeter of said property on the interior side, Except for that part embraced within the Copeland Road right of way.

And a 10.00 foot perpetual easement for drainage and utility purposes over, under, and across that part of said property lying Westerly of and adjoining the West line of said Copeland Road right of way.

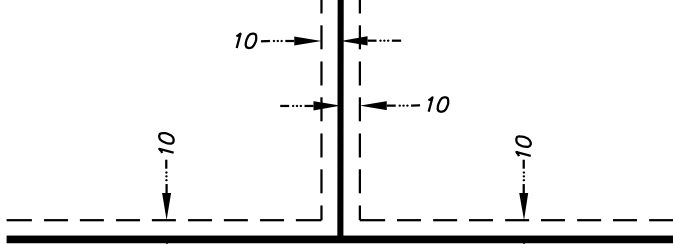
Note: Easements shown to be vacated and replaced with proposed easements on "After" Survey.

Certificate of Survey on the S 1/2 of the NE 1/4 and Part of the N 1/2 of the NE 1/4 of Section 19, Township 118, Range 24, Hennepin County, Minnesota.		I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.		Requested By:	
Revised:		Date: 11-4-22		Drawn By: T.R.K.	
		Scale: 1"=100'		Checked By: P.E.O.	
		Paul E. Otto License #40062 Date: 11-7-22		Chad Greenway SSOCIATES Engineers & Land Surveyors, Inc.	
		9 West Division Street Buffalo, MN 55313 (763)682-4727 Fax: (763)682-3522		● denotes iron monument found ○ denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062	
		Project No. 22-0473			

Certificate of Survey
(After)



PROPOSED DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED,
AND ADJOINING RIGHT-OF-WAY LINES, AND BEING 10 FEET IN
WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING PARCEL
LINES, AS SHOWN HERE ON.

PROPOSED PROPERTY DESCRIPTIONS

Parcel A:

The South Half of the Northeast Quarter of Section 19, Township 118,
Range 24, Hennepin County, Minnesota.

EXCEPT:

The West 659.80 feet of said South Half of the Northeast Quarter
lying Northerly of the South 669.49 feet thereof.

ALSO EXCEPT:

The East 961.36 feet of said South Half of the Northeast Quarter,
lying Northerly of the South 736.86 feet thereof.

AND

The North Half of said Northeast Quarter lying East of the West 659.80
feet thereof, and lying West of the East 961.36 feet thereof, and lying
Southerly of a line described as follows:

Beginning at the Southeast corner of said North Half of the
Northeast Quarter; thence Westerly to a point on the East line of
the Northwest Quarter of said Northeast Quarter, distant 5.00 feet
Northerly from the Southeast corner of said Northwest Quarter of
the Northeast Quarter; thence Westerly to a point on the West line
of said North Half of said Northeast Quarter, distant 10.00 feet
Northerly of the Southwest corner of said North Half of said
Northeast Quarter and said line there terminating.

Parcel B:

The East 961.36 feet of the South Half of the Northeast Quarter of
Section 19, Township 118, Range 24, Hennepin County, Minnesota, lying
Northerly of the South 736.86 feet thereof.

AND

The East 961.36 feet of the North Half of said Northeast Quarter lying
Southerly of a line described as follows:

Beginning at the Southeast corner of said North Half of the
Northeast Quarter; thence Westerly to a point on the East line of
the Northwest Quarter of said Northeast Quarter, distant 5.00 feet
Northerly from the Southeast corner of said Northwest Quarter of
the Northeast Quarter; thence Westerly to a point on the West line
of said North Half of said Northeast Quarter, distant 10.00 feet
Northerly of the Southwest corner of said North Half of said
Northeast Quarter and said line there terminating.

PROPOSED EASEMENT DESCRIPTIONS

Parcel A:

A 10.00 foot perpetual easement for drainage and utility purposes over,
under, and across the following described property:

The South Half of the Northeast Quarter of Section 19, Township
118, Range 24, Hennepin County, Minnesota.

EXCEPT:

The West 659.80 feet of said South Half of the Northeast
Quarter lying Northerly of the South 669.49 feet thereof.

ALSO EXCEPT:

The East 961.36 feet of said South Half of the Northeast
Quarter, lying Northerly of the South 736.86 feet thereof.

AND

The North Half of said Northeast Quarter lying East of the West
659.80 feet thereof, and lying West of the East 961.36 feet thereof,
and lying Southerly of a line described as follows:

Beginning at the Southeast corner of said North Half of the
Northeast Quarter; thence Westerly to a point on the East line of
the Northwest Quarter of said Northeast Quarter, distant
5.00 feet Northerly from the Southeast corner of said
Northwest Quarter of the Northeast Quarter; thence Westerly to
a point on the West line of said North Half of said Northeast
Quarter, distant 10.00 feet Northerly of the Southwest corner of
said North Half of said Northeast Quarter and said line there
terminating.

Said 10.00 foot drainage and utility easement strip is adjoining the
perimeter of said property on the interior side, Except for that part
embraced within the Copeland Road and Nelson Road right of way.

And a 10.00 foot perpetual easement for drainage and utility purposes
over, under, and across that part of said property lying Westerly of and
adjoining the West line of said Copeland Road right of way.

And a 10.00 foot perpetual easement for drainage and utility purposes
over, under, and across that part of said property lying Easterly of and
adjoining the East line of said Nelson Road right of way.

Parcel B:

A 10.00 foot perpetual easement for drainage and utility purposes over,
under, and across the following described property:

The East 961.36 feet of the South Half of the Northeast Quarter of
Section 19, Township 118, Range 24, Hennepin County, Minnesota,
lying Northerly of the South 736.86 feet thereof.

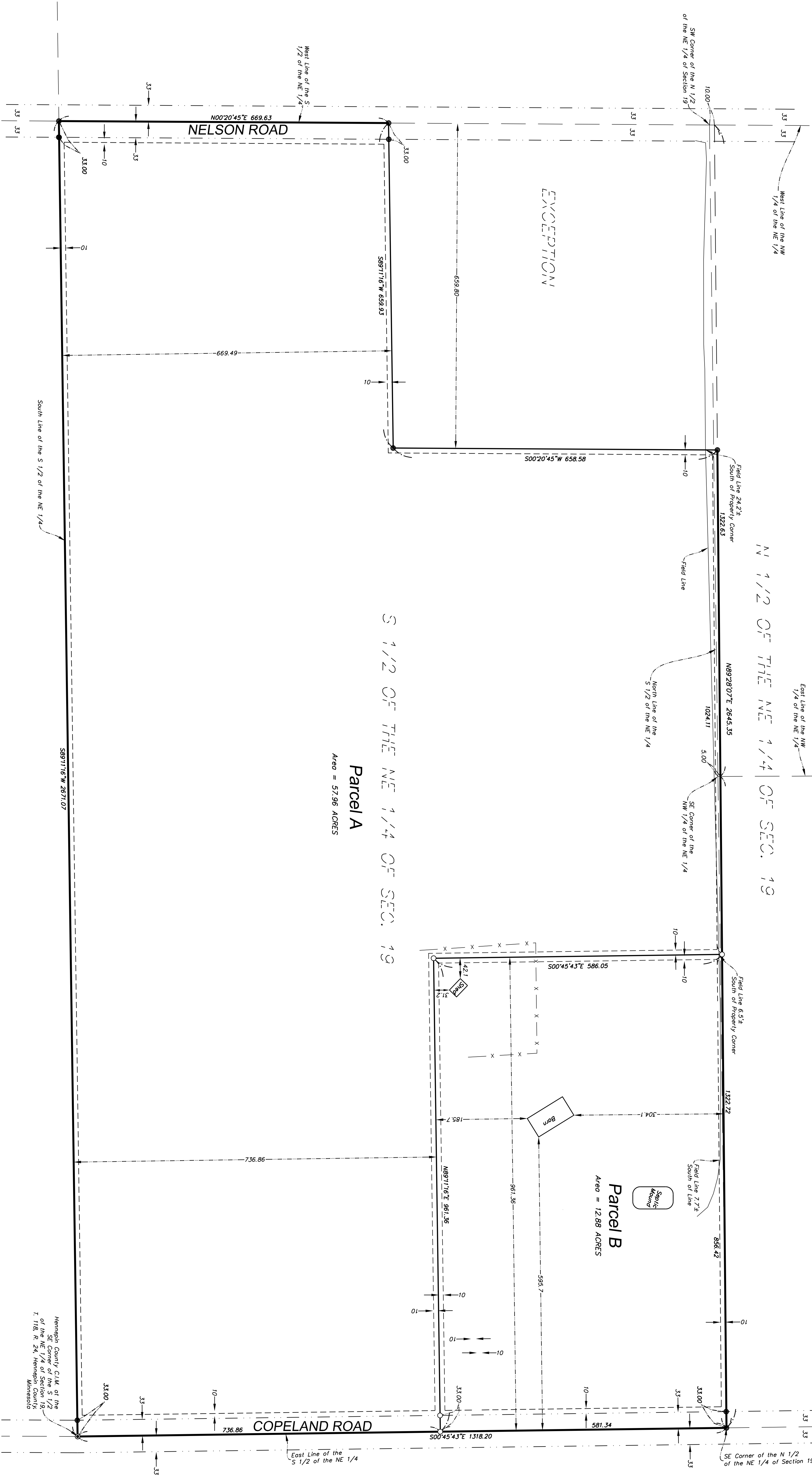
AND

The East 961.36 feet of the North Half of said Northeast Quarter
lying Southerly of a line described as follows:

Beginning at the Southeast corner of said North Half of the
Northeast Quarter; thence Westerly to a point on the East line of
the Northwest Quarter of said Northeast Quarter, distant
5.00 feet Northerly from the Southeast corner of said
Northwest Quarter of the Northeast Quarter; thence Westerly to
a point on the West line of said North Half of said Northeast
Quarter, distant 10.00 feet Northerly of the Southwest corner of
said North Half of said Northeast Quarter and said line there
terminating.

Said 10.00 foot drainage and utility easement strip is adjoining the
perimeter of said property on the interior side, Except for that part
embraced within the Copeland Road right of way.

And a 10.00 foot perpetual easement for drainage and utility purposes
over, under, and across that part of said property lying Westerly of and
adjoining the West line of said Copeland Road right of way.



Certificate of Survey on the S 1/2 of the
NE 1/4 and Part of the N 1/2 of the NE
1/4 of Section 19, Township 118, Range 24,
Hennepin County, Minnesota.

Revised:

I hereby certify that this survey, plan, or
report was prepared by me or under my
direct supervision and that I am a duly
Licensed Land Surveyor under the laws
of the State of Minnesota.

Paul E. Otto

License #40062 Date: 11-7-22

Requested By:

Chad Greenway

Date:

11-4-22

Drawn By:

T.R.K.

Scale:

1"=100'

Checked By:

P.E.O.



www.ottoassociates.com
9 West Division Street
Buffalo, MN 55313
(763)682-4727
Fax: (763)682-3522

- denotes iron monument found
- denotes 1/2 inch by 14 inch iron pipe
set and marked by License #40062

Project No.

22-0473



City of Independence
Review of a Proposed Business Park on the
Property Located at 9285 Highway 12

<i>To:</i>	Planning Commission
<i>From:</i>	Mark Kaltsas, City Planner
<i>Meeting Date:</i>	January 17, 2023
<i>Applicant:</i>	William Stoddard
<i>Owner:</i>	J F Zeglin Jr & M D Zeglin
<i>Location:</i>	9285 Highway 12

Request:

William Stoddard (Applicant) and J F Zeglin Jr & M D Zeglin (Owner) requests that the City consider the following actions for the property located at 9285 US Hwy 12, Independence, MN (PID No. 18-118-24-21-0001):

- a. A comprehensive plan amendment to allow a portion of the property to be re-guided to the Urban Commercial - UC zoning district. A portion of the property is already guided Urban Commercial.
- b. Rezoning of a portion of the property from AG-Agriculture to UC-Urban Commercial.
- c. Conditional Use Permit to allow a planned unit commercial development on the subject property. The proposed development would include office warehouse and private garage condominium buildings.
- d. Site Plan Review to allow the proposed development.
- e. Preliminary Plat to allow the subdivision of the property into eight (8) residential lots and associated lots to allow the proposed commercial development.

Property/Site Information:

The property is located on the south side of Highway 12 and west side of Nelson Rd. The property has frontage on both roads and is comprised primarily of agriculture land, woodlands

and wetlands. There is an existing home and several detached accessory structures on the subject property.

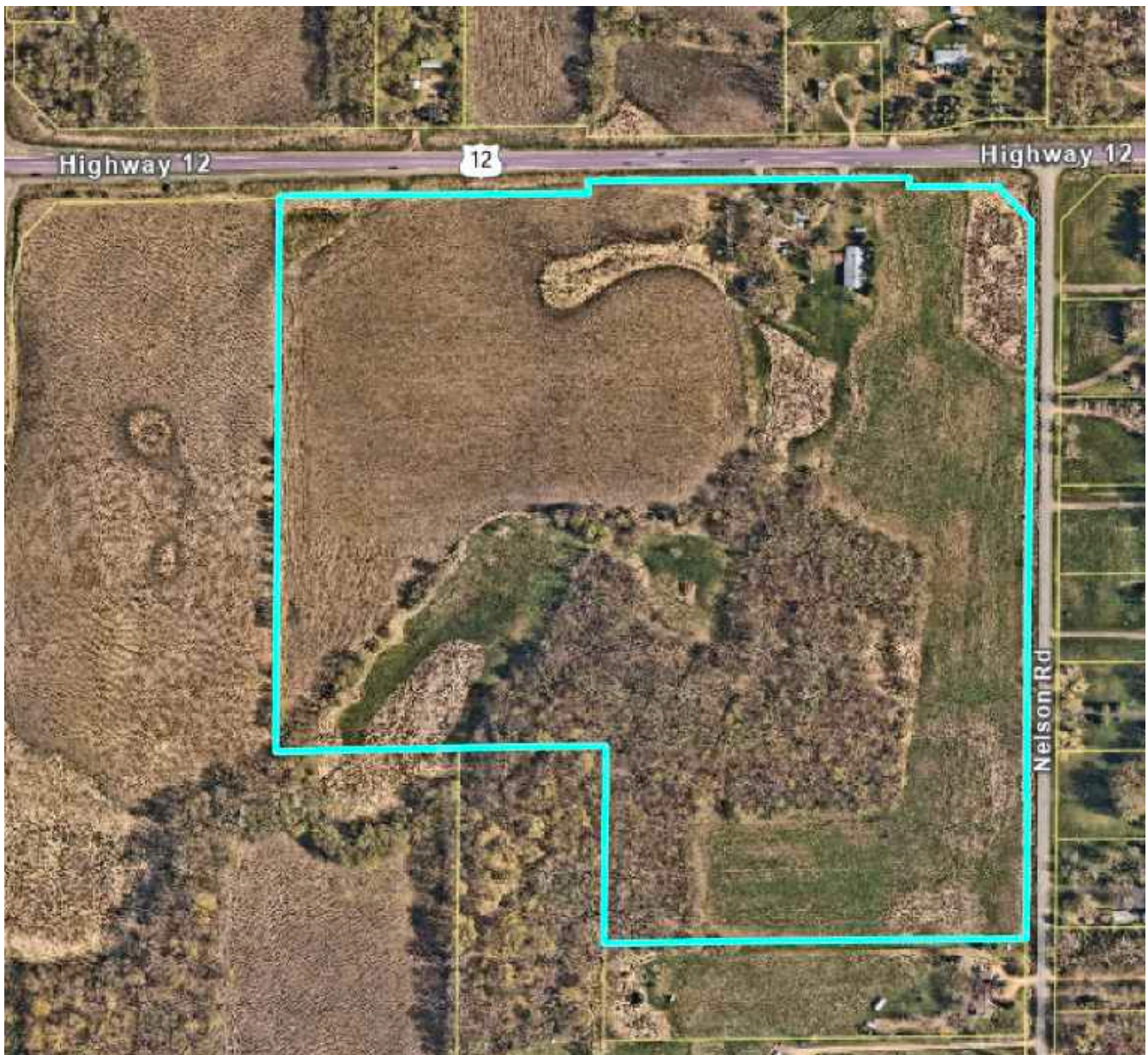
Property Information: **9285 Highway 12**

Zoning: *Agriculture*

Comprehensive Plan: *Agriculture/Urban Commercial*

Acreage: ~58 acres

9285 Highway 12



Discussion:

The City reviewed a concept site plan in 2022 for this property and provided feedback to the applicant and staff. The applicant considered the feedback and direction and has now made a formal application to develop the subject property. The applicant has revised the proposed development to include eight (8) single-family lots along Nelson Road, 120-130 lifestyle auto condominiums and 10,600 SF of commercial/retail space. The proposed lifestyle auto condominiums would be developed to allow for vehicle storage and would include amenities associated with this type of product (i.e., loft, bathroom, etc.). The applicant and City would work to establish regulations to prohibit overnight stays and limit and define any larger events (i.e., auto show) that could occur on the property. It is acknowledged that the proposed lifestyle auto condominiums would produce less traffic, require fewer public resources, and provide more market valuation than the initial commercial/warehouse development. The facility would be secured, professionally managed, and generally concealed from Highway 12 and Nelson Road.

Approximately 10,600 SF of commercial retail is proposed by the applicant. This area would have Highway 12 frontage and visibility consistent with the City's Comprehensive Plan. The City has reviewed the initial site plan layout and is generally in agreement with the proposed layout. The City would require a more detailed site plan specifically for the proposed Lot 9 development. The plan will need to provide more detail relating to allowed and proposed uses, parking and drive aisle dimensions, landscaping and lighting. In addition, the City will want to consider how/if the site could or would accommodate retail sales such as a drive thru and restaurant. A more detailed parking analysis would need to be completed

In order for the City to consider approval of the proposed plan, the following approvals and steps would be required:

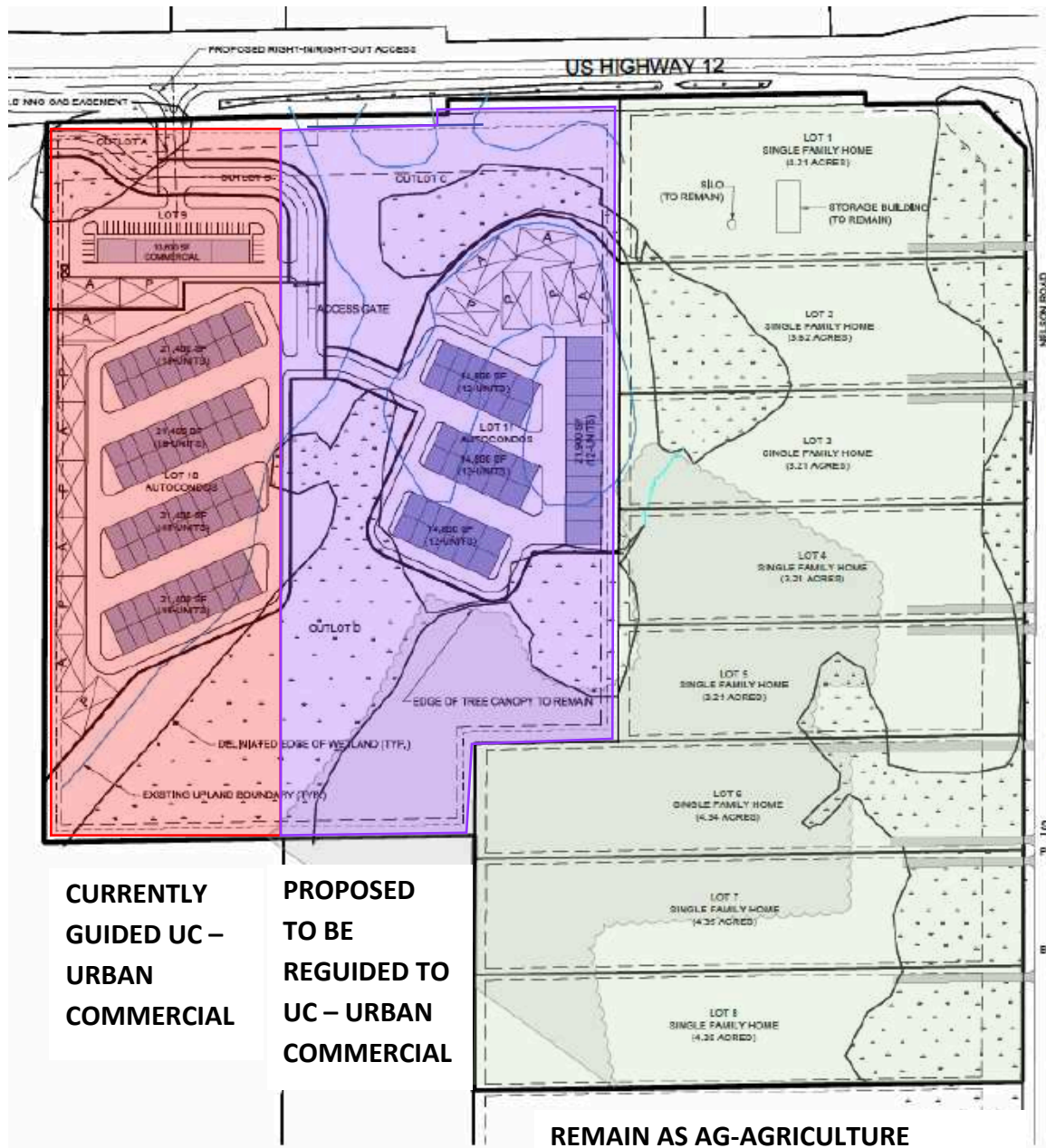
1. Amend the Comprehensive Plan.
 - a. This would re-guide a portion of the property (~16 acres) from AG-Agriculture to Urban Commercial.
2. Rezone that portion of the property indicated from AG-Agriculture to Urban Commercial.
3. Consider Site Plan Review.
4. Consider a Conditional Use Permit to allow a planned unit commercial development on the subject property.
5. Consider Preliminary Plat approval.
6. Consider Final Plat approval.

The following land uses are proposed by the applicant (plans attached):

- Commercial office/retail (10,600 SF on ~ 1.87 acres)
- Lifestyle auto condominiums (102 units on ~ 11.65 acres)
- Eight (8) Residential Lots (approximately 4.5 acres each)

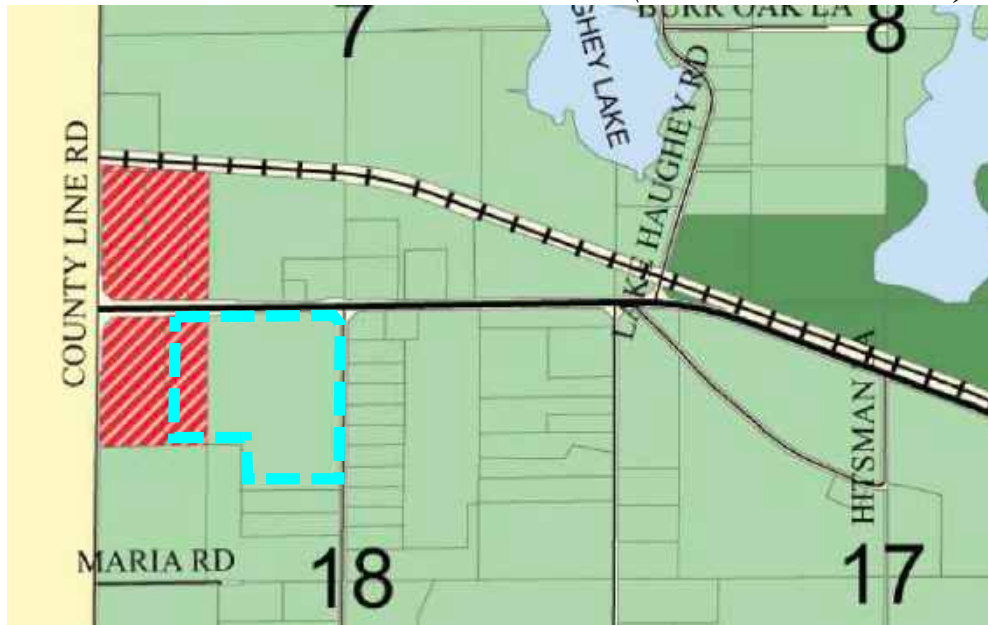
There are several key points of information that should be noted relating to the proposed development:

- The entire property is currently zoned AG-Agriculture.
- A portion of the property, approximately 12 acres on the west side is guided by the City's Comprehensive Land Use Plan for Urban Commercial.
- The applicant is asking the City to consider rezoning a larger portion of the property from AG-Agriculture to Urban Commercial (~16 acres).



- The remainder of the property (~28 acres) would remain as AG-Agriculture.
- In order for the property to be rezoned, the City would first need to approve a Comprehensive Plan Amendment. A comprehensive plan amendment process would be subject to approval by the Metropolitan Council.

• **COMPREHENSIVE PLAN MAP (CLIP OF TOTAL MAP)**



- The initial submittal considered access to Nelson Road and the applicant was notified that the City would not support any commercial access to Nelson Road. The plans submitted include a right in/right out only onto Highway 12 with a future frontage road connection to the west that could connect to County Line Road (shown on site plan). MNDOT has reviewed the plan and provided formal comments to the City and applicant. MNDOT has commented that they would recommend access to this site be provided via a connection to Nelson Road or County Line Road rather than a right in/right out as proposed. As a result of the MNDOT review, access has not been finalized. The issue of access will need to be resolved prior to the City finalizing a decision relating to this application.
- The applicant has provided the City with a traffic study as requested. The study indicates that the proposed development would generate a total of 7 entering and 1 exiting trips during the morning traffic peak and 2 entering and 7 exiting during the afternoon traffic peak hour. A total of 68 trips per day would be generated by the proposed auto condos and commercial retail uses. This would equate to approximately 1 trip every 7 minutes during peak times and approximately 2 trips per hour throughout the remainder of the day (see table below). It is noted that the proposed right in/right out would allow access to the proposed development until such time as a frontage road could be constructed to

connect to County Line Road. Staff is seeking direction relating to access and the overall proposal from the Planning Commission and City Council.

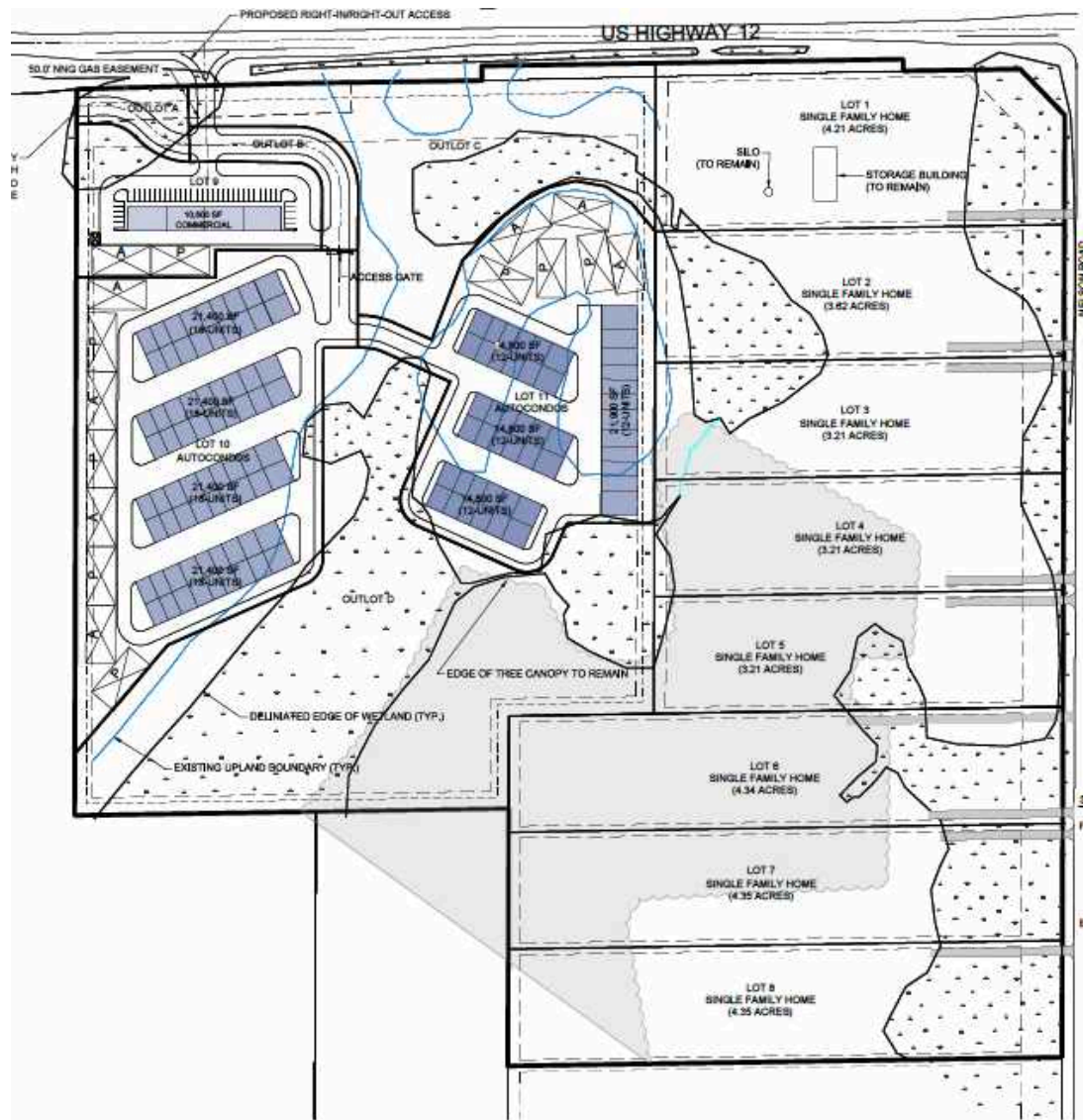
Table 1
Trip Generation Zeglin Property

Land Use	ITE Code	AM Peak Hour		PM Peak Hour		Daily Trips
		Enter	Exit	Enter	Exit	
Mini Warehouse (120 Units)	151	1 Trip	0 Trips	1 Trip	1 Trip	19 Trips
Commercial/LI (10.6 k-sf)	110	6 Trips	1 Trips	1 Trip	6 Trips	49 Trips
TOTAL		8 Trips		9 Trips		68 Trips

- Following discussion with Planning and Council, the applicant has revised the plans to include eight (8) residential lots along Nelson Rd. The proposed residential lots mirror the lots across Nelson Rd. to the east. Development of the west side of Nelson into residential lots that are similar to those in existence would provide additional buffering of the proposed commercial development. It is noted that the existing residential lots directly across and on the east side of Nelson Road from the subject property have approximately 200 LF of frontage. The City's current ordinance would require 250 LF of frontage for all lots greater than 3.49 acres. This would include Lots 1, 2 & 6-8. Lots 3-5 comply with the frontage requirements. The applicant could revise the plan to reduce the acreage of the proposed lots or increase the frontages to meet the specified requirements. The applicant is attempting to mirror the lots across the street; however, those lots are all less than 3.49 acres in size.
- The City noted in its initial review that the potential wetland impact associated with the development of driveways to serve the lots was a concern. The applicant has revised the plans to show the extent of the wetland impacts and is now proposing to utilize shared driveways for Lots 1&2 and 7 &8. Utilization of shared driveways would reduce the wetland impacts and the number of driveways located along Nelson Road.
- The applicant is proposing to provide on-site sewer (septic) and on-site water to serve the proposed development. The applicant has provided a report indicating how the development of on-site water would serve the fire suppression requirements for the proposed development. The City is continuing to evaluate and study the possibility of establishing a municipal well/water service in the location of the Urban Commercial to serve commercial development on the north and south sides of Highway 12. Should the proposed development move forward, the City will provide additional information relating to a municipal well to Council for consideration.
- The applicant has completed a wetland delineation for the property. The City initially provided feedback to the applicant relating to the potential wetland impacts. The applicant is proposing to mitigate the impacted wetlands utilizing the purchase of wetland credits. Approximately 31.36 acres of the subject property is wetlands. The applicant is proposing to impact 2.48 acres of the total wetland area (> 8%). The potential wetland

impacts would need to be reviewed and approved by the City. Further review of the wetland mitigation plan would occur following an initial City approval.

- Stormwater management has been proposed for the development. The City has completed an initial review of the stormwater management plan and provided high level comments to the applicant. The proposal includes 3 stormwater ponds that would accommodate stormwater generated from the commercial portion of the proposed development. The City will continue to work with the applicant and would anticipate a more detailed submittal and calculations relating to the stormwater plan should the project proceed to final plat.
- The applicant is proposing to preserve a large portion of the mature trees on the property (see gray area below).



- A preliminary plat will need to be submitted.

The applicant has provided the City with a robust package of details and information relating to the proposed development. The proposed lifestyle auto condominium illustrations appear to utilize high quality building materials and a sophisticated design that is unique for this product in the metro area. There are many details that will need to be finalized prior to the City being able to formally act on the proposed site development and preliminary plat. Due to the significant number of pieces included in the proposed site development, staff would like additional direction and feedback relating to the overall proposal so that additional review and direction can be provided to the applicant. In particular, staff is seeking additional review and direction relating to the proposed land use, expansion of the UC – Urban Commercial zoning district, access to the property and the development of the residential properties on Nelson Road. It is anticipated that following discussion and additional direction, the City would be able to work with the applicant to finalize the preliminary plans and bring back additional information and any revisions recommended for further consideration. It is also anticipated that the City and applicant will have further discussions with MNDOT relating to their recommended access for this property.

Recommendation:

The applicant is seeking feedback from the Planning Commission pertaining to the proposed development.

Attachments:

1. Application
2. Applicants Narrative
3. Site Plan Package
4. Building Illustrations
5. Wetland Mitigation Plans
6. Access Assessment
7. Traffic Report

***Mixed Use Development Application for a 58 Acre Parcel
Located on State Hwy 12 & Nelson Road in Independence for a
Business Park, Upscale Life-Style Auto Condo & Residential
Home Development***

Proposed Application Summary:

Our proposed development by SH Ventures, Inc. (Stoddard Companies) is for a Mixed Use Development to include commercial space, upscale Life-Style Auto Condos and eight single family home lots abutting Nelson Road. We are proposing to create one commercial building along the south border of Hwy 12, approximately eight buildings containing approximately 120-130 auto condos and eight residential lots along Nelson Road of approximately 3.21-4.35 acres each and 200+ feet of Nelson Road frontage. The property is Zoned Agricultural on this Future Comprehensive Planned property of Urban Commercial and Agricultural.

We are applying for:

- Comp Plan Amendment to add a portion of the property from Ag to Urban Commercial;
- Rezoning to allow the property to be rezoned;
- Conditional Use Permit to consider a PUD;
- Site Plan Review; and
- Preliminary Plat.

Since Our Concept Stage Application we have reduced the density, scale and mass of our proposed development significantly by omitting the two larger structures and increased our proposed residential lots from three lots to eight. We are proposing one commercial building over 10,000 sf on the property fronting Hwy 12, with our private, gated auto condo phase south of the commercial. We are proposing access to this phase of the development from Hwy 12 in our Legal 60 ft. wide MnDot open access area-refer to Exhibit #12. We have also added an area to permit commercial/auto condo access directly to County Line Road if we are able to work our something with our Western neighbor.

We additionally have enhanced the rural feel of our project by developing around the existing wetlands therefore allowing more space between buildings and have also increased our residential area to eight lots on 30.5 acres which is also 52.6% of the

58 acre site. Only residential access from the eight residential Lots is proposed on Nelson Road. We are proposing to keep the existing metal outbuilding and small concrete silo on Lot 1 while demolishing the existing house and other outbuildings in that area for our redevelopment.

Mixed Use Development Features:

Commercial: We are proposing one building of 10,600 sf to eventually be home to likely 1-3 businesses to serve the community.

Life-Style Auto Condos: We are proposing approximately 151,900 sf of 120-130 upscale Life-Style Auto Condos. Additional on-site parking will accommodate potential events about 6-8 times/year to be competitive in the marketplace. We will have supervised event parking and private security for events and a Condo Homeowners Association will be required of all members to control storage, prohibit overnight stays and maintain grounds maintenance.

Residential Lots: We have increased the amount of proposed residential Lots to eight total to enhance the rural nature of the surrounding area to be compatible with the residential Lots on the east side of Nelson Road. Lots will have a minimum of 200 ft. Nelson Road frontage and be similar or larger than the residential Lots on the east side of Nelson Road.

City of Independence Comprehensive Plan:

The City of Independence Comprehensive Plan 2040 states various Visions, Goals and Policies it desires with its land planning including:

- Promoting & attracting quality industrial and commercial business to the City of Independence;
- Working to update official controls and ordinances to accommodate the projected comprehensive plan; and
- Maintaining an economic balance and enhance the geographic advantage of the City.

Our proposed development helps realize Independence's Vision by:

- Entitling our proposed mixed use development paving the way for constructing buildings featuring commercial with employment opportunities, auto condo and residential home options on underutilized land on this transportation corridor;
- Taking geographic advantage of the abutting City of Delano's commercial offerings to our western Independence location; and
- Increase the Tax Base by a conservative number of \$47,000,000.00 for the community which potentially helps offset other property taxes citywide.

There has been a strong demand for similar projects and our proposed development aims to raise the bar and deliver beautifully designed commercial and auto condo space designed by award winning ESG Architects with ample open outdoor space. This market is burgeoning, and our proposed development may add north of \$47,000,000.00 to the local tax base, while not requiring municipal sewer service. Municipal water service would be a strong plus however project is possible with water well service.

We have designed ample open space with setbacks from abutting properties to the east, west and south. We have attached architectural renderings and civil engineering plans in attached Exhibits. This Narrative and accompanying Plans & Exhibits will further detail items as requested by City requirements with additional information on Legal Site access, market research, septic system design, life safety and traffic analysis 7 trip generation also in attached Exhibits 1 thru 12.

Application Information:

- (a) **General Information:** Names and addresses of existing landowner and applicant found on attached Exhibit #1- PID's & Legal Description of Property and on City Application Form. Professional Consultants for our proposed development include:

Architect:	ESG Architecture & Design 500 S. Washington Ave. #1080 Minneapolis, MN 55415
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Civil Engineer: Anderson Engineering of MN, LLC
13605 1st Ave. N #100
Plymouth, MN 55441

Traffic Engineer: Swing Traffic Solutions
4290 Norwood Land North
Plymouth, MN 55442

Attorney/Legal: Messerli & Kramer
1400 Fifth Street Towers
100 South Fifth St.
Minneapolis, MN 55402

Title Company: Custom Homes Builders Title LLC
10850 Old County Rd 15 #100
Plymouth, MN 55441

The place-setter name of “Independence Mixed Use Development” will be used until next Application stage. Applicant and landowner confirm that a valid purchase agreement exists, and a title commitment is provided from Custom Homes Builders Title LLC of Plymouth, MN.

- (b) **Present Status:** Address of vacant land is 9285 US Highway No. 12 with property Identification Information and legal addresses attached. Existing Zoning is Agricultural and is guided for Urban Commercial and Ag in the Comprehensive Land Use Plan. The Comprehensive Land Use Plan is attached as Exhibit #2 and the Wetland Investigation Report and Notice of Decision is attached as Exhibit #3. An updated site survey is being currently obtained.
- (c) **Site Conditions:** Site conditions depict a relatively flat site currently being farmed with a farmhouse, outbuildings and large wooded area. Topography, drainage patterns and any other significant features per Survey.
- (d) **Architectural Renderings of Proposed Development:** Refer to attached Exhibit #4 -Architectural Renderings by ESG Architects depicting Upscale Auto Condos and Commercial featuring external façade showcasing glass panel, metal architectural ornamentation and more for low maintenance requirements.

- (e) **Civil Engineering & Landscape Plan by Anderson Engineering:** Please refer to attached Exhibit #5 for plans featuring very large areas of open space being left untouched in our development per our site plan.
- (f) **Utilities Plan:** A Utilities plan will is attached with the sanitary septic designed by a registered engineer & designer. Ample space exists for this low usage need and while City water would be a huge advantage to this development, water can be provided for its water needs including fire safety refer to Exhibit #9- Water Well Capacity Memorandum by Anderson Engineering.
- (g) **Legal Opinion of Hwy 12 MnDot Access:** A Legal Opinion Letter regarding our Hwy 12 MnDot Access by Messerli & Kramer is provided in Exhibit #6.
- (h) **Trip Generation Analysis:** A Trip Generation Analysis concluding the limited amount of traffic generated by our proposed development along with a right-in/right/out safety access lane per STS Traffic Solutions, Vern Swing, PE is attached in Exhibit #12.
- (i) **Additional Exhibits:** Additional Exhibits are attached for information including Market Research, Septic System, Concept Life Safety Fire Suppression Systems and more in attached Exhibits.
- (j) **Additional Information:** Applicant will forward any additional information as requested by City in prompt fashion.

Refer to next page for list of Exhibits

ATTACHED EXHIBITS:

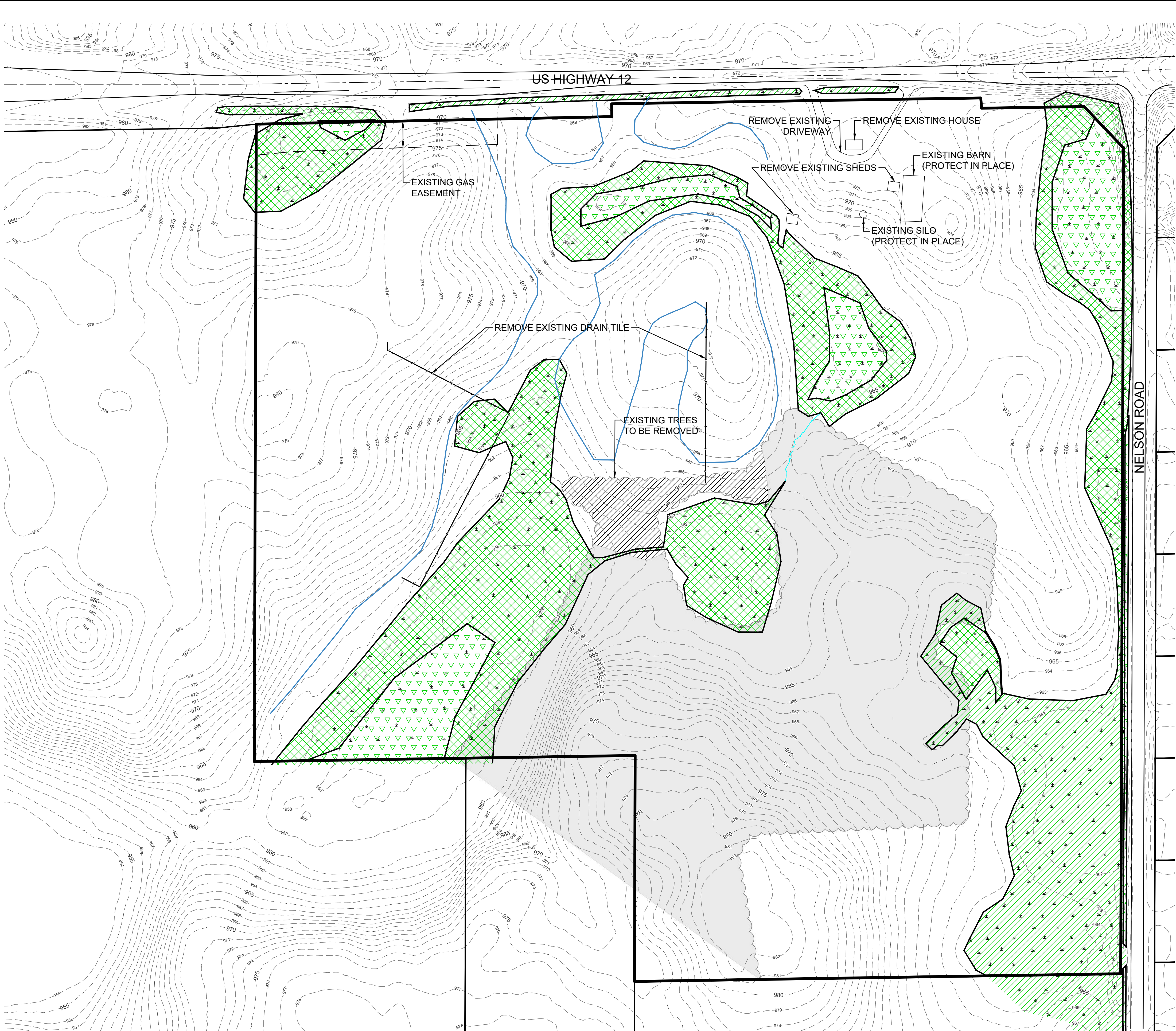
- 1. Property Identification (PID) & Legal Description of Property;**
- 2. Comprehensive Land Use Plan Map;**
- 3. Wetland Investigation Report & Notice of Decision (NOD);**
- 4. Architectural Renderings by ESG Architects;**
- 5. Civil Engineering & Landscape Plan Package by Anderson Engineering;**
- 6. Legal Opinion Letter Regarding Hwy 12 MnDot Access by Messerli & Kramer Law Firm;**
- 7. Market Research/Opinion Letter by Maxfield Research & Consulting;**
- 8. Neighboring Nelson Road Map of SFH Lot Sizes Depicting Proposed New Lots Compatibility with Surrounding Neighborhood;**
- 9. Water Well Capacity Memorandum by Anderson Engineering;**
- 10. Septic System Primary & Alternate Size Design by Homestead Septic;**
- 11. Concept Life Safety Fire Suppression System Options from Summit Fire Consulting; and**
- 12. Trip Generation Analysis by STS Traffic Solutions, Vern Swing, PE.**

Cc: Mark Kaltas
Amber Simon

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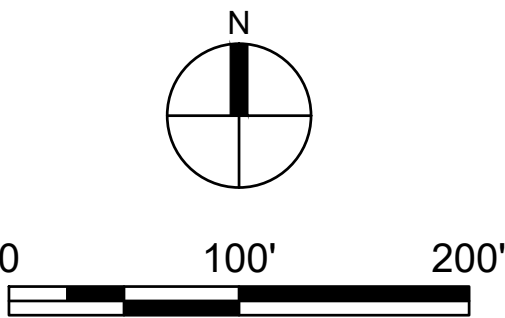
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LEGEND

- PROPERTY LIMITS
- EXISTING WETLAND
- EXISTING DRAIN TILE
- EXISTING STORM SEWER
- EXISTING GAS MAIN
- EXISTING OVERHEAD WIRES
- EXISTING TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING STORM SEWER INLET
- REMOVE EXISTING UTILITY LINE
- REMOVE EXISTING TREES
- TYPE 1 WETLAND
- TYPE 2 WETLAND
- TYPE 3 WETLAND
- UPLAND (AS FIELD DESIGNATED BY CERTIFIED SEPTIC DESIGNER DALE DENN - SEE REPORT)



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INDEPENDENCE,
MINNESOTA

STODDARD COMPANIES

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

PRELIMINARY

DESIGNED: LRK	DRAWN: BN	CHECKED BY: LRK
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DRAWING TITLE

EXISTING
CONDITIONS &
DEMOLITION PLAN

DRAWING NO.

X100

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COUNTY LINE ROAD SE

PROPOSED RIGHT-IN/RIGHT-OUT ACCESS

US HIGHWAY 12

50.0' NNG GAS EASEMENT

POTENTIAL FUTURE ROADWAY
FOR EXTENSION THROUGH
ADJACENT PROPERTY TO
COUNTY LINE ROAD SE

OUTLOT A

OUTLOT B

OUTLOT C

LOT 9

10,600 SF
COMMERCIAL

21,400 SF
(18 UNITS)

21,400 SF
(18 UNITS)

LOT 10
AUTOCONDOS

21,400 SF
(18 UNITS)

21,400 SF
(18 UNITS)

OUTLOT D

DELINIATED EDGE OF WETLAND (TYP.)

EXISTING UPLAND BOUNDARY (TYP.)

ACCESS GATE

EDGE OF TREE CANOPY TO REMAIN

LOT 1

SINGLE FAMILY HOME
(4.21 ACRES)

SILO
(TO REMAIN)

STORAGE BUILDING
(TO REMAIN)

LOT 2

SINGLE FAMILY HOME
(3.62 ACRES)

LOT 3

SINGLE FAMILY HOME
(3.21 ACRES)

LOT 4

SINGLE FAMILY HOME
(3.21 ACRES)

LOT 5

SINGLE FAMILY HOME
(3.21 ACRES)

LOT 6

SINGLE FAMILY HOME
(4.34 ACRES)

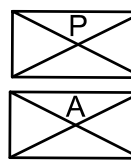
LOT 7

SINGLE FAMILY HOME
(4.35 ACRES)

LOT 8

SINGLE FAMILY HOME
(4.35 ACRES)

LEGEND



- DRAIN FIELD (PRIMARY)
- DRAIN FIELD (ALTERNATE)
- BUILDING SETBACK
- PARKING SETBACK
- WETLAND BOUNDARY
- UPLAND AREA BOUNDARY
- PARCEL LOT BOUNDARY

PARCEL AREA

LOT 1	4.21 ACRES
LOT 2	3.62 ACRES
LOT 3	3.21 ACRES
LOT 4	3.21 ACRES
LOT 5	3.21 ACRES
LOT 6	4.34 ACRES
LOT 7	4.35 ACRES
LOT 8	4.35 ACRES
LOT 9	1.87 ACRES
LOT 10	6.51 ACRES
LOT 11	5.14 ACRES

OUTLOT A	0.39 ACRES
OUTLOT B	0.57 ACRES
OUTLOT C	3.84 ACRES
OUTLOT D	9.11 ACRES

TOTAL 57.93 ACRES

BUILDING AREA

LOT 9 (COMMERCIAL)	10,600 SF
LOT 10 (72-UNITS AUTOCONDOS)	85,600 SF
LOT 11 (48-UNITS AUTOCONDOS)	66,300 SF

TOTAL 162,500 SF

PARKING

LOTS 1 TO 8
RESIDENTIAL LOTS

LOT 9
AUTO STALLS PROVIDED = 39
10,600 SF COMMERCIAL @ 4.0 PER 1,000 SF = 42

LOT 11 - 72 AUTOCONDO UNITS
PARKING STALLS PROVIDED = 151
1,700 LF PERIMETER PARKING @ 1 STALL/25 LF = 68
2,088 LF BUILDING FACE @ 1 STALL/25 LF = 83

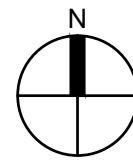
LOT 12 - 48 AUTOCONDO UNITS
AUTO STALLS PROVIDED = 97
1,000 LF PERIMETER PARKING @ 1 STALL/25 LF = 40
1,443 LF BUILDING FACE @ 1 STALL/25 LF = 57

SETBACKS

PARKING/DRIVEWAY
COMMERCIAL/AUTOCONDO
FRONT 25' (FROM HWY 12)
SIDE/REAR 20' (PROPOSED ROADWAY & ADJACENT PROPERTY)

RESIDENTIAL
SIDE 10'

BUILDING
COMMERCIAL/AUTOCONDO
FRONT 100' (HWY 12)
SIDE/REAR 30'
RESIDENTIAL
FRONT 70' (FROM NELSON ROAD)
SIDE 10'
REAR 20'



0 100' 200'



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REVISION LOG

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PRELIMINARY

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DRAWING TITLE

SITE PLAN

DRAWING NO.

C100

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COUNTY LINE ROAD SE

US HIGHWAY 12

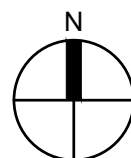
NELSON ROAD

LEGEND

- PROPERTY LIMITS
- PROPOSED WATERMAIN
- FUTURE SANITARY SEWER
- PROPOSED STORM SEWER
- PRIMARY SEPTIC DRAINFIELD
- ALTERNATE SEPTIC DRAINFIELD
- PROPOSED WATER WELL
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM INLETS
- FES

GENERAL NOTES:

- ALL WATERMAIN ARE REQUIRED TO BE INSTALLED AT 7.5 FEET MINIMUM DEPTH FROM FINISHED GRADE AND PROVIDE MINIMUM 10' HORIZONTAL AND 18" VERTICAL SEPARATION OF ALL WATERMAIN CROSSINGS FROM STORM OR SANITARY SEWER. WATERMAIN TO BE INSULATED PER C.E.A.M. SPECIFICATIONS, WHERE COVER DEPTHS CANNOT BE ACHIEVED. CONTRACTOR SHALL CONTACT THE ENGINEER IF THERE ARE AREAS WHERE MINIMUM COVER DEPTH CANNOT BE MET.
- ALL NEW NON METALLIC SANITARY AND WATER SERVICE PIPE SHALL HAVE TRACER WIRE, PER SPECIFICATIONS.
- SUBSTITUTIONS FROM INFO. SHOWN HERON SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD.
- ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, CHAPTER 4714, SECTION 1109.0.
- PVC SANITARY SEWER MUST MEET ASTM STANDARDS LISTED IN MINNESOTA RULES, CHAPTER 4714, TABLE 701.1 AND INSTALLATION STANDARD 1. FITTINGS MUST COMPLY WITH ASTM D1866, D2665, OR F794 RESPECTIVELY. JOINTS MUST BE APPROVED MECHANICAL OR PUSH-ON UTILIZING ELASTOMERIC SEAL, OR SOLVENT WELDING USING ASTM F656 AND ASTM D2564. THE INSTALLATION MUST COMPLY WITH ASTM D232.
- HDPE STORM SEWERS MUST MEET ASTM F714 (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 1102.4 AND INSTALLATION STANDARD 1). WATER TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS, INCLUDING STRUCTURES. THE INSTALLATION MUST COMPLY WITH ASTM D2321.
- WATER SERVICE MATERIALS SHALL BE PVC C900. CONTRACTOR SHALL VERIFY EXISTING SERVICE SIZE AND MATERIALS PRIOR TO CONSTRUCTION. ALL INSTALLED PIPE WILL REQUIRE TESTING PER CITY AND STATE REQUIREMENTS. THIS WILL INCLUDE, AT A MINIMUM, CONDUCTIVITY AND PRESSURE TESTING, AS WELL AS TESTING FOR BACTERIA AND PROPER DISINFECTION. FOLLOW C.E.A.M. STANDARD SPECIFICATIONS UNLESS NOTED OTHERWISE. INSTALL TRACER WIRE, JOINT RESTRAINTS AND THRUST BLOCKING ON ALL WATERMAIN PIPE AND FITTING, PER CITY OF MEDINA STANDARDS.
- SANITARY SEWER PIPE MATERIALS SHALL BE PVC SDR 26. PIPE SHALL BE INSULATED PER CITY AND C.E.A.M. STANDARDS WHERE 7.5 FOOT COVER DEPTHS ARE NOT ACHIEVED. THIS APPLIES TO ALL PROPOSED NEW PIPE FOR THIS PROJECT. ALL SANITARY SEWER PIPE WILL REQUIRE TESTING PER CITY AND C.E.A.M. STANDARDS. THIS WILL INCLUDE, AT A MINIMUM, LEAKAGE AND ALIGNMENT TESTING.
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE WATER TIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES AND CATCH BASINS.



0 100' 200'



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UTILITY PLAN

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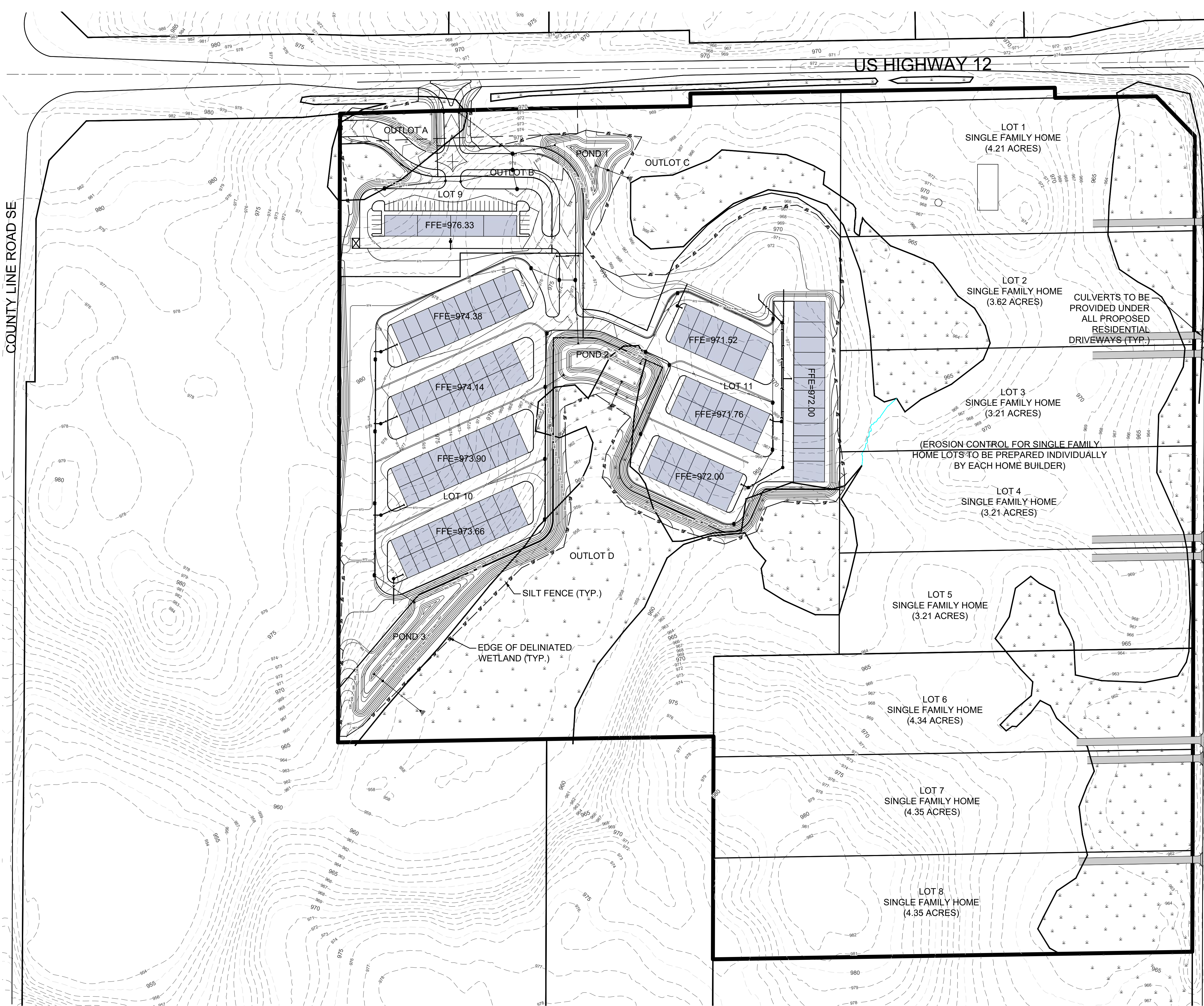
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COUNTY LINE ROAD SE

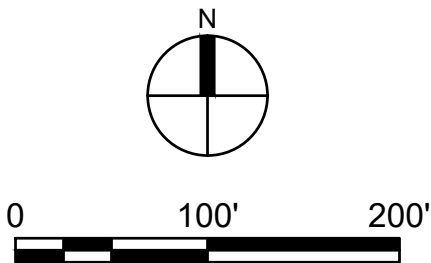


LEGEND

- PROPERTY LIMITS
- 966 EXISTING MINOR CONTOUR
- 965 EXISTING MAJOR CONTOUR
- 966 PROPOSED MINOR CONTOUR
- 965 PROPOSED MAJOR CONTOUR
- × 959.4 EXISTING SPOT ELEVATION
- ⇒ DRAINAGE ARROW
- BIOROLL EROSION CONTROL
- SILT FENCE
- PROPOSED STORM SEWER
- INLET PROTECTION

NOTES

- ALL EROSION CONTROL MEASURES CALLED FOR ON THESE PLANS, WHICH MAY INCLUDE SILT FENCE, SEDIMENTATION BASINS OR TEMPORARY SEDIMENT TRAPS, SHALL BE CONSTRUCTED AND SERVICEABLE IN THE FOLLOWING ORDER:
 - A. ROCK CONSTRUCTION ENTRANCES.
 - B. SILT FENCE.
 - C. COMMON EXCAVATION AND EMBANKMENT (GRADING)
 - D. SEED AND MULCH OR SOD.
 - E. BIOROLL BARRIERS IN FINISHED GRADED AREAS.
 - F. INLET AND OUTLET FACILITIES SUBSEQUENT TO STORM SEWER WORK.
- GRADING CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL EROSION CONTROL MEASURES AS MAY BE SHOWN ON THESE PLANS OR SPECIFICATIONS. GRADING CONTRACTOR SHALL IMPLEMENT ANY ADDITIONAL EROSION CONTROL MEASURES AS MAY BE REQUIRED TO PROTECT ADJACENT PROPERTY.
- ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED BY THE CONTRACTOR DURING GRADING OPERATIONS. ANY TEMPORARY FACILITIES WHICH ARE TO BE REMOVED AS CALLED FOR ON THESE PLANS AND SPECIFICATIONS SHALL BE REMOVED BY THE GRADING CONTRACTOR WHEN DIRECTED BY THE ENGINEER. THE GRADING CONTRACTOR SHALL THEN RESTORE THE SUBSEQUENTLY DISTURBED AREA IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- ALL DISTURBED AREAS, EXCEPT AREAS TO BE PAVED AND/OR SPECIFICALLY DESIGNED BY A LANDSCAPE PLAN, SHALL BE COVERED WITH A MINIMUM 6" OF TOP SOIL. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AT THE PRESCRIBED RATES WITHIN 72 HOURS OF FINAL GRADING UNLESS OTHERWISE NOTED.
- ALL EXPOSED SOIL AREAS WITH A CONTINUOUS POSITIVE SLOPE WITHIN 200 LINEAL FEET OF ANY SURFACE WATER, MUST HAVE TEMPORARY EROSION PROTECTION OR PERMANENT COVER FOR THE EXPOSED SOIL AREAS YEAR ROUND, ACCORDING TO THE FOLLOWING TABLE OF SLOPES AND TIME FRAMES.
- IT IS REQUIRED THAT SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES BE CLEANED DAILY FROM PAVED ROADWAY SURFACES THROUGHOUT THE DURATION OF CONSTRUCTION.
- ALL REQUIREMENTS OF THE LOCAL WATERSHED DISTRICT SHALL BE SATISFIED PER THE APPROVED PERMIT.
- ALL EROSION & SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN AND IMPLEMENTED IN THE FIELD AS DIRECTED BY THE ENGINEER SHALL CONFORM TO THE MPCA'S "PROTECTING WATER QUALITY IN URBAN AREAS: BEST MANAGEMENT PRACTICES FOR MINNESOTA".
- ALL SOLID WASTE/ CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH MPCA REQUIREMENTS. HAZARDOUS MATERIALS SHALL BE STORED/ DISPOSED OF IN COMPLIANCE WITH MPCA REGULATIONS
- INLET SEDIMENTATION CONTROL IS TO BE PROVIDED TO ALL STORM SEWER CATCH BASINS THROUGHOUT CONSTRUCTION. MEASURES APPLIED SHALL COMPLY WITH BEST MANAGEMENT PRACTICES FOR MINNESOTA AND APPLICATIONS OF NPDES PHASE II AS APPROPRIATE FOR PHASE OF CONSTRUCTION.
- CONTRACTOR SHALL PREVENT SOIL LOSS DURING CONSTRUCTION DUE TO WIND EROSION. DUST SHALL BE SUPPRESSED THROUGH THE APPLICATION OF WATER AS DEEMED NECESSARY BY THE CONTRACTOR, OR THROUGH EQUIVALENT BMP'S AS APPROVED BY THE ENGINEER.



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MIXED USE
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INDEPENDENCE,
MINNESOTA

STODDARD COMPANIES

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

PRELIMINARY

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DRAWING TITLE

OVERALL
EROSION
CONTROL

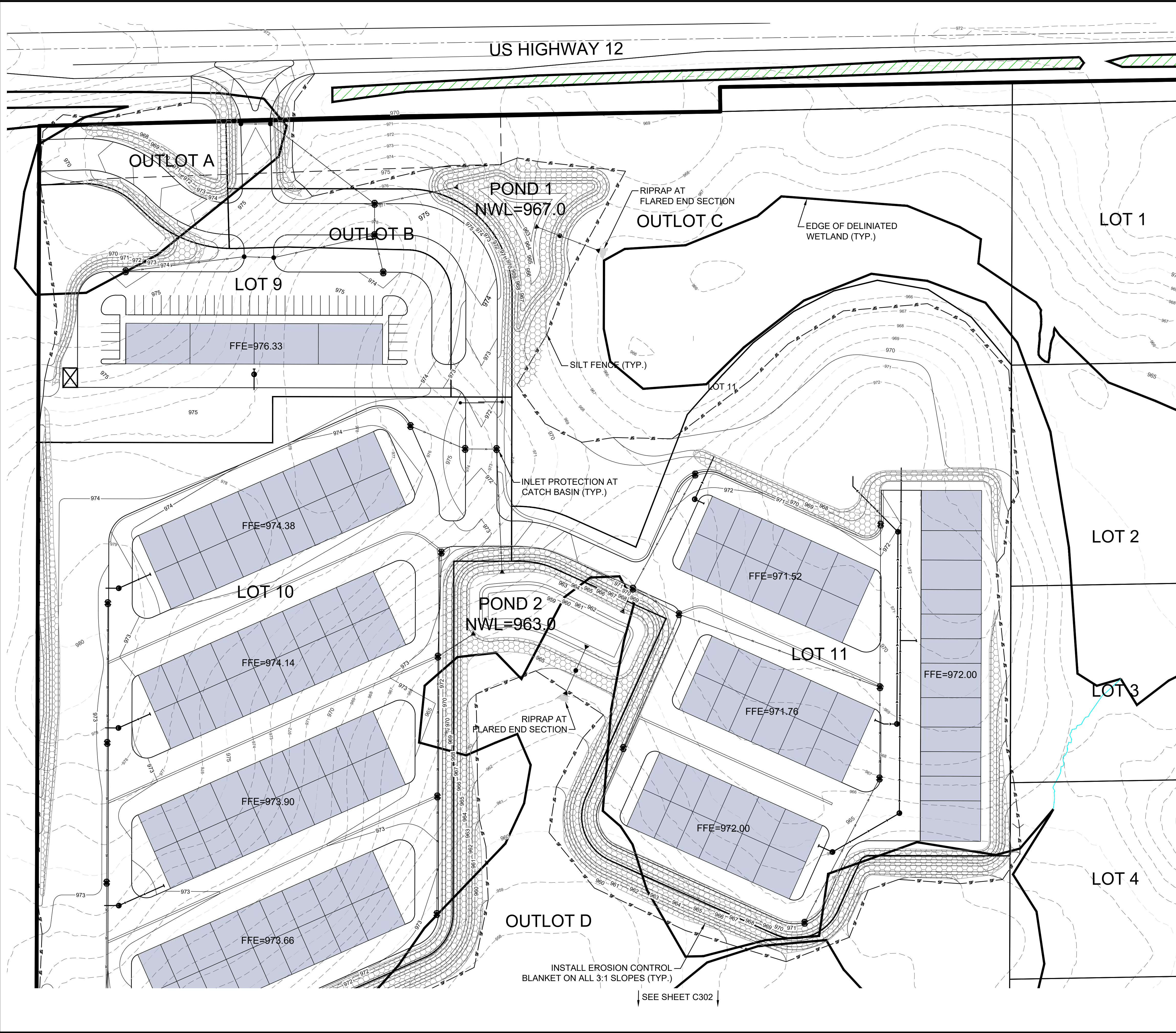
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16915

Nov 15, 2022 - 2:42pm
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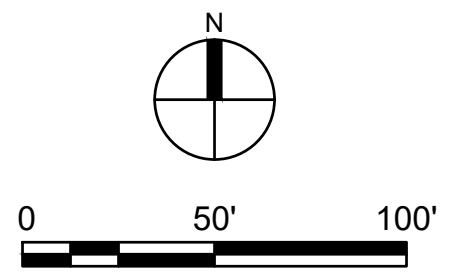


LEGEND

	PROPERTY LIMITS
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	EXISTING SPOT ELEVATION
	DRAINAGE ARROW
	BIOROLL EROSION CONTROL
	SILT FENCE
	WETLAND DELINIATION
	PROPOSED STORM SEWER INLET PROTECTION

NOTES

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B. SILT FENCE.
C. COMMON EXCAVATION AND EMBANKMENT (GRADING)
D. SEED AND MULCH OR SOD.
E. BIO-ROLL BARRIERS IN FINISHED GRADED AREAS.
F. INLET AND OUTLET FACILITIES SUBSEQUENT TO STORM SEWER WORK.
- GRADING CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL EROSION CONTROL MEASURES AS MAY BE SHOWN ON THESE PLANS OR SPECIFICATIONS. GRADING CONTRACTOR SHALL IMPLEMENT ANY ADDITIONAL EROSION CONTROL MEASURES AS MAY BE REQUIRED TO PROTECT ADJACENT PROPERTY.
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- ALL DISTURBED AREAS, EXCEPT AREAS TO BE PAVED AND/OR SPECIFICALLY DESIGNED BY A LANDSCAPE PLAN, SHALL BE COVERED WITH A MINIMUM 6" OF TOP SOIL. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AT THE PRESCRIBED RATES WITHIN 72 HOURS OF FINAL GRADING UNLESS OTHERWISE NOTED.
- ALL EXPOSED SOIL AREAS WITH A CONTINUOUS POSITIVE SLOPE WITHIN 200 LINEAL FEET OF ANY SURFACE WATER, MUST HAVE TEMPORARY EROSION PROTECTION OR PERMANENT COVER FOR THE EXPOSED SOIL AREAS YEAR ROUND, ACCORDING TO THE FOLLOWING TABLE OF SLOPES AND TIME FRAMES.
- IT IS REQUIRED THAT SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES BE CLEANED DAILY FROM PAVED ROADWAY SURFACES THROUGHOUT THE DURATION OF CONSTRUCTION.
- ALL REQUIREMENTS OF THE LOCAL WATERSHED DISTRICT SHALL BE SATISFIED PER THE APPROVED PERMIT.
- ALL EROSION & SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN AND IMPLEMENTED IN THE FIELD AS DIRECTED BY THE ENGINEER SHALL CONFORM TO THE MPCA'S "PROTECTING WATER QUALITY IN URBAN AREAS: BEST MANAGEMENT PRACTICES FOR MINNESOTA".
- ALL SOLID WASTE/ CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH MPCA REQUIREMENTS. HAZARDOUS MATERIALS SHALL BE STORED/ DISPOSED OF IN COMPLIANCE WITH MPCA REGULATIONS
- INLET SEDIMENTATION CONTROL IS TO BE PROVIDED TO ALL STORM SEWER CATCH BASINS THROUGHOUT CONSTRUCTION. MEASURES APPLIED SHALL COMPLY WITH BEST MANAGEMENT PRACTICES FOR MINNESOTA AND APPLICATIONS OF NPDES PHASE II AS APPROPRIATE FOR PHASE OF CONSTRUCTION.
- CONTRACTOR SHALL PREVENT SOIL LOSS DURING CONSTRUCTION DUE TO WIND EROSION. DUST SHALL BE SUPPRESSED THROUGH THE APPLICATION OF WATER AS DEEMED NECESSARY BY THE CONTRACTOR, OR THROUGH EQUIVALENT BMP'S AS APPROVED BY THE ENGINEER.



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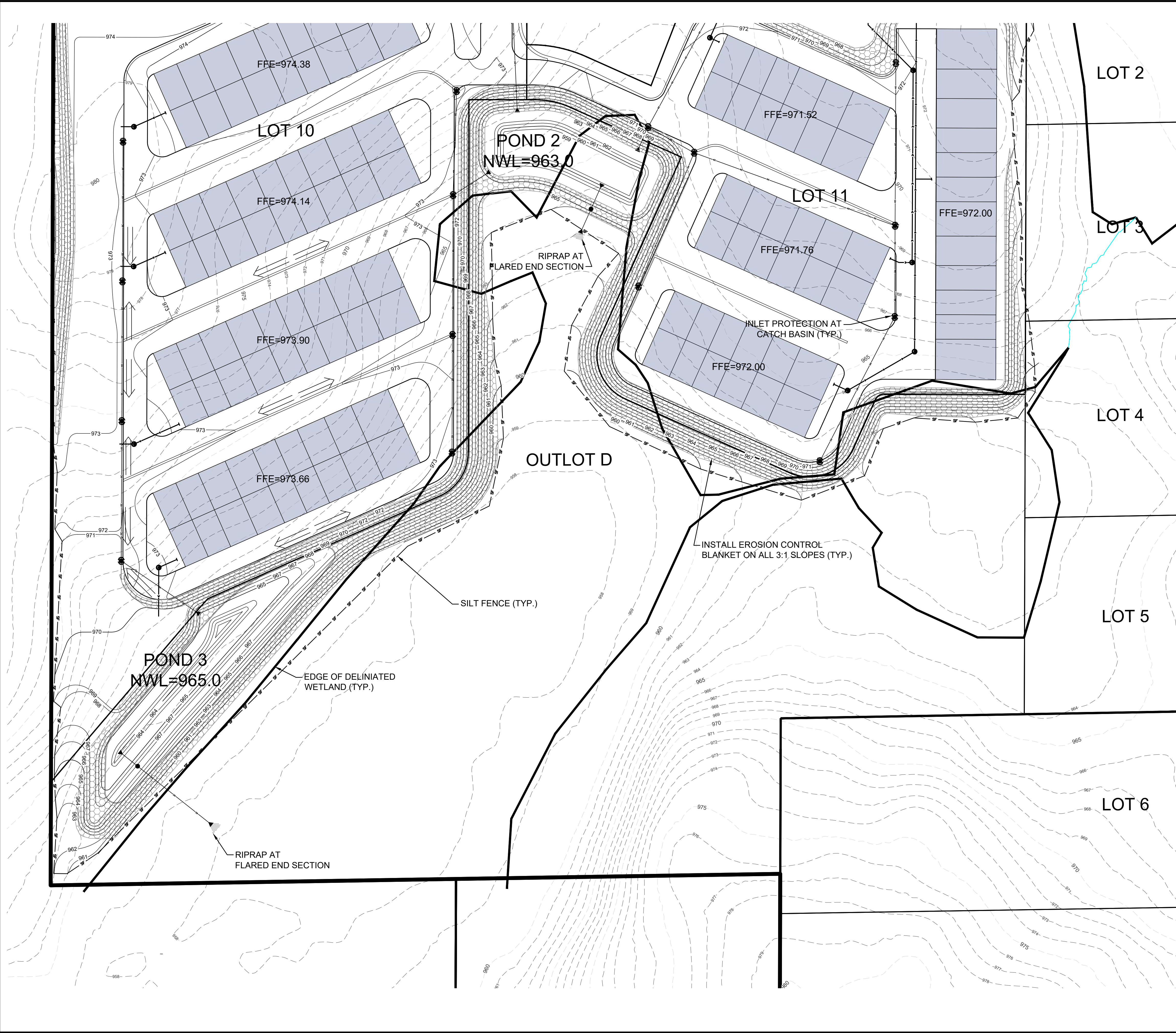
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DESIGNED: LRK	DRAWN: BN	CHECKED BY: LRK

DRAWING TITLE

EROSION CONTROL PLAN (NORTH)

DRAWING NO.	
C301	
PLOTTED: 11/15/2022	COMM. NO. 16915

Nov 15, 2022 - 2:42pm
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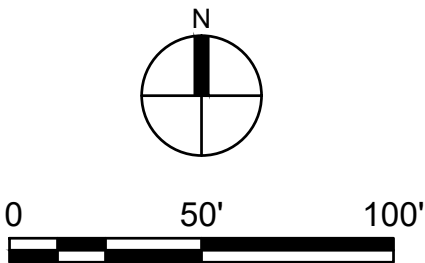
LEGEND

	PROPERTY LIMITS
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	EXISTING SPOT ELEVATION
	DRAINAGE ARROW
	BIOROLL EROSION CONTROL
	SILT FENCE
	PROPOSED STORM SEWER INLET PROTECTION

- NOTES**
- ALL EROSION CONTROL MEASURES CALLED FOR ON THESE PLANS, WHICH MAY INCLUDE SILT FENCE, SEDIMENTATION BASINS OR TEMPORARY SEDIMENT TRAPS, SHALL BE CONSTRUCTED AND SERVICEABLE IN THE FOLLOWING ORDER:

A. ROCK CONSTRUCTION ENTRANCES.
B. SILT FENCE.
C. COMMON EXCAVATION AND EMBANKMENT (GRADING)
D. SEED AND MULCH OR SOD.
E. BIOROLL BARRIERS IN FINISHED GRADED AREAS.
F. INLET AND OUTLET FACILITIES SUBSEQUENT TO STORM SEWER WORK.

- GRADING CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL EROSION CONTROL MEASURES AS MAY BE SHOWN ON THESE PLANS OR SPECIFICATIONS. GRADING CONTRACTOR SHALL IMPLEMENT ANY ADDITIONAL EROSION CONTROL MEASURES AS MAY BE REQUIRED TO PROTECT ADJACENT PROPERTY.
- ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED BY THE CONTRACTOR DURING GRADING OPERATIONS. ANY TEMPORARY FACILITIES WHICH ARE TO BE REMOVED AS CALLED FOR ON THESE PLANS AND SPECIFICATIONS SHALL BE REMOVED BY THE GRADING CONTRACTOR WHEN DIRECTED BY THE ENGINEER. THE GRADING CONTRACTOR SHALL THEN RESTORE THE SUBSEQUENTLY DISTURBED AREA IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
 - ALL DISTURBED AREAS, EXCEPT AREAS TO BE PAVED AND/OR SPECIFICALLY DESIGNED BY A LANDSCAPE PLAN, SHALL BE COVERED WITH A MINIMUM 6" OF TOP SOIL. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AT THE PRESCRIBED RATES WITHIN 72 HOURS OF FINAL GRADING UNLESS OTHERWISE NOTED.
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DRAWING TITLE

**EROSION
CONTROL PLAN
(SOUTH)**

DRAWING NO.

C302

PLOTTED: 11/15/2022	COMM. NO. 16915
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Nov 15, 2022 - 2:42pm
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COUNTY LINE ROAD SE

US HIGHWAY 12

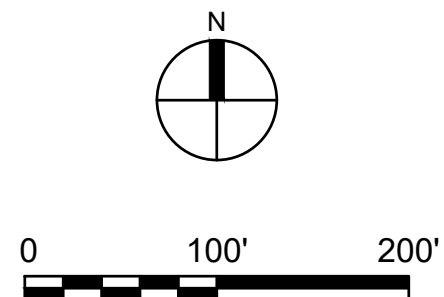
NELSON ROAD

LEGEND

- PROPERTY LIMITS
- WETLAND DELINEATION LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- DRAINAGE ARROW
- PROPOSED CONCRETE C&G
- SPOT ELEVATION

NOTE

- ALL DISTURBED AREAS TO BE SEEDED OR SODDED PER LANDSCAPE PLAN.
- PROPOSED CONTOURS AND SPOT ELEVATIONS ARE TO FINISHED GRADE.
- NO GRADED SLOPES SHALL EXCEED 3:1 (HOR:VER)
- FINISHED PAVEMENT SHALL BE FLUSH WITH EXISTING ADJACENT PAVEMENT.
- SEE WETLAND MITIGATION PLAN C500 FOR WETLAND IMPACTS.



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DRAWING TITLE

OVERALL GRADING
PLAN

DRAWING NO.

C400

PLOTTED: 11/15/2022	COMM. NO. 16915
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US HIGHWAY 12

LEGEND

- PROPERTY LIMITS
WETLAND DELINEATION LINE
EXISTING MINOR CONTOUR
EXISTING MAJOR CONTOUR
PROPOSED MINOR CONTOUR
PROPOSED MAJOR CONTOUR
DRAINAGE ARROW
PROPOSED CONCRETE C&G
SPOT ELEVATION

NOTE

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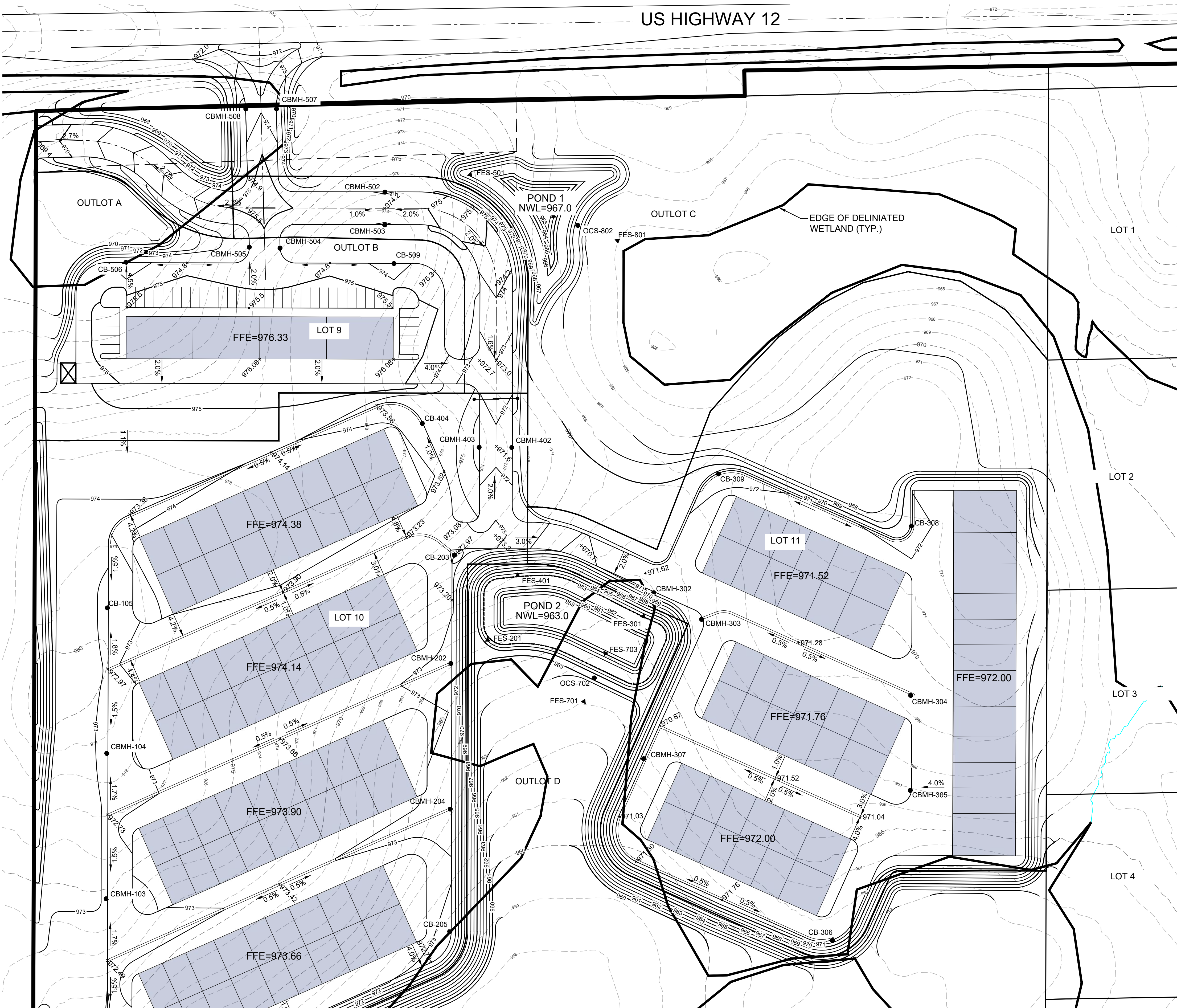
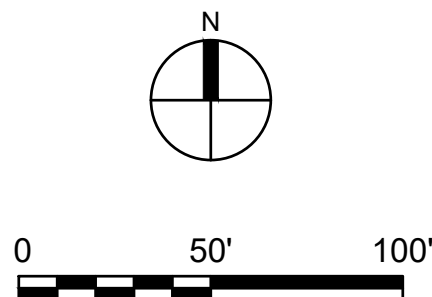
GRADING PLAN
NORTH

DRAWING NO.

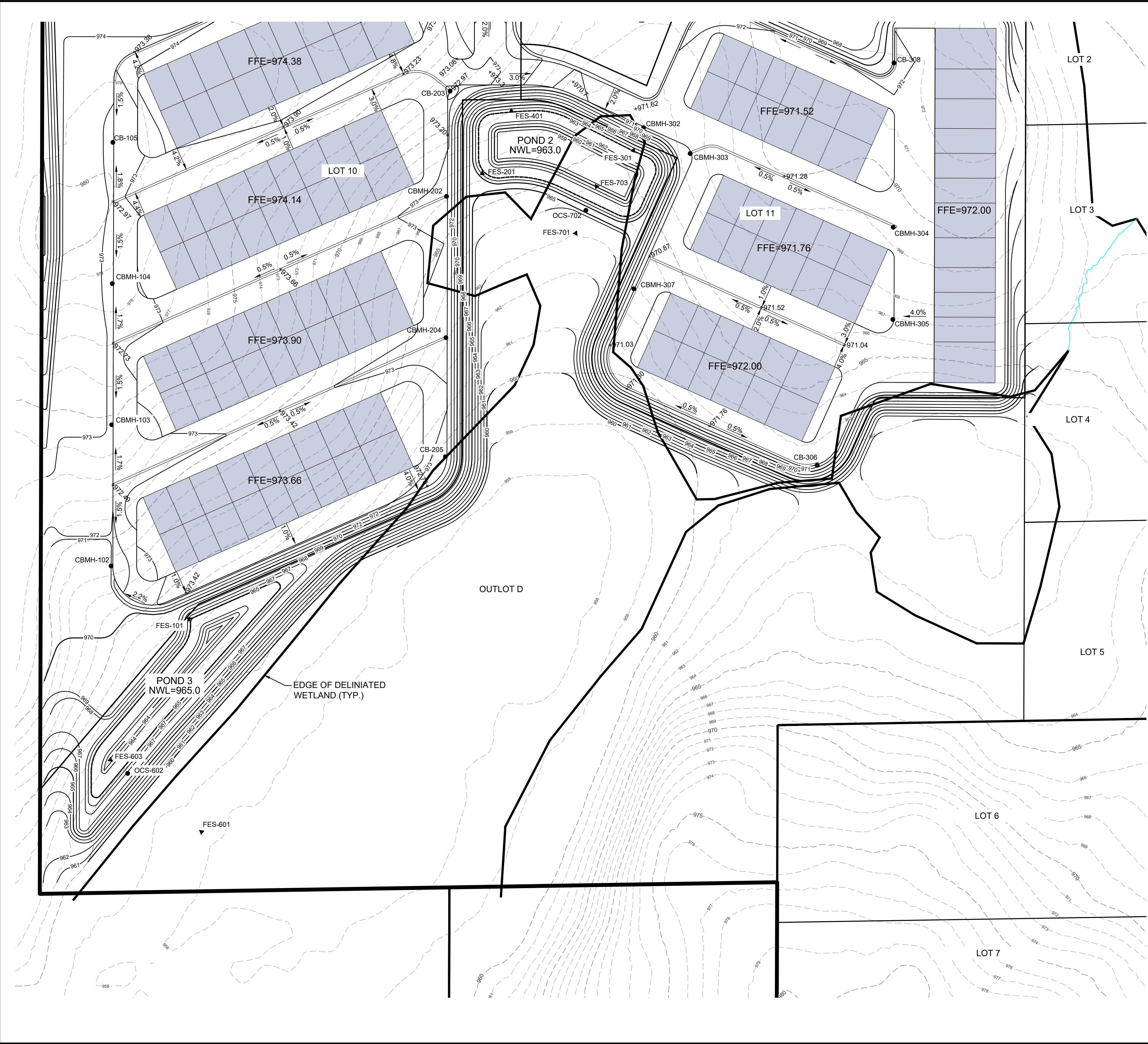
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PLOTTED:
11/15/2022

COMM. NO.
16915



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LEGEND

- PROPERTY LIMITS
- WETLAND DELINEATION LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- DRAINAGE ARROW
- PROPOSED CONCRETE C&G
- SPOT ELEVATION

NOTE

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- NO GRADED SLOPES SHALL EXCEED 3:1 (HOR:VER)
- FINISHED PAVEMENT SHALL BE FLUSH WITH EXISTING ADJACENT PAVEMENT.
- SEE WETLAND MITIGATION PLAN C500 FOR WETLAND IMPACTS.



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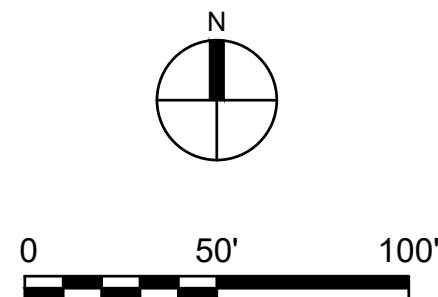
GRADING PLAN
SOUTH

DRAWING NO.

C402

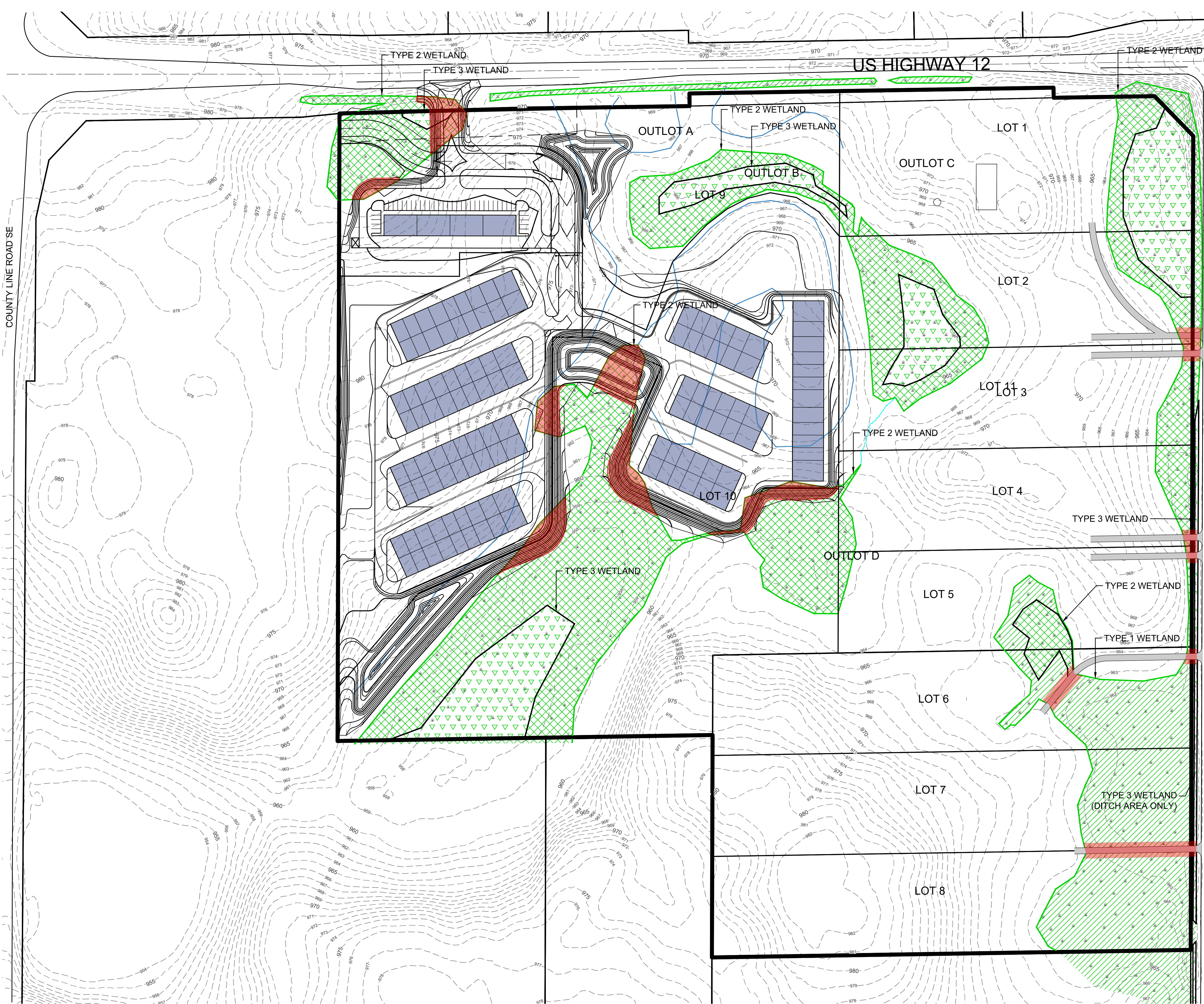
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11/15/2022

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COUNTY LINE ROAD SE



LEGEND

PROPERTY LIMITS

EXISTING MINOR CONTOUR

EXISTING MAJOR CONTOUR

PROPOSED MINOR CONTOUR

PROPOSED MAJOR CONTOUR

TYPE 1 WETLAND

TYPE 2 WETLAND

TYPE 3 WETLAND

WETLAND IMPACT AREA

WETLAND AREAS

TYPE 1 = 185968 SF. (4.27 AC.)

TYPE 2 = 377554 SF. (8.67 AC.)

TYPE 3 = 119507 SF. (2.74 AC.)

TOTAL = 638029 SF. (15.68 AC.)

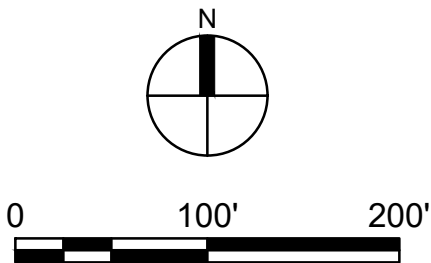
WETLAND IMPACT AREAS

TYPE 1 = 9282 SF. (0.21 AC.)

TYPE 2 = 43223 SF. (0.99 AC.)

TYPE 3 = 1635 SF. (0.04 AC.)

TOTAL = 54139 SF. (1.24 AC.)



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WETLAND
MITIGATION

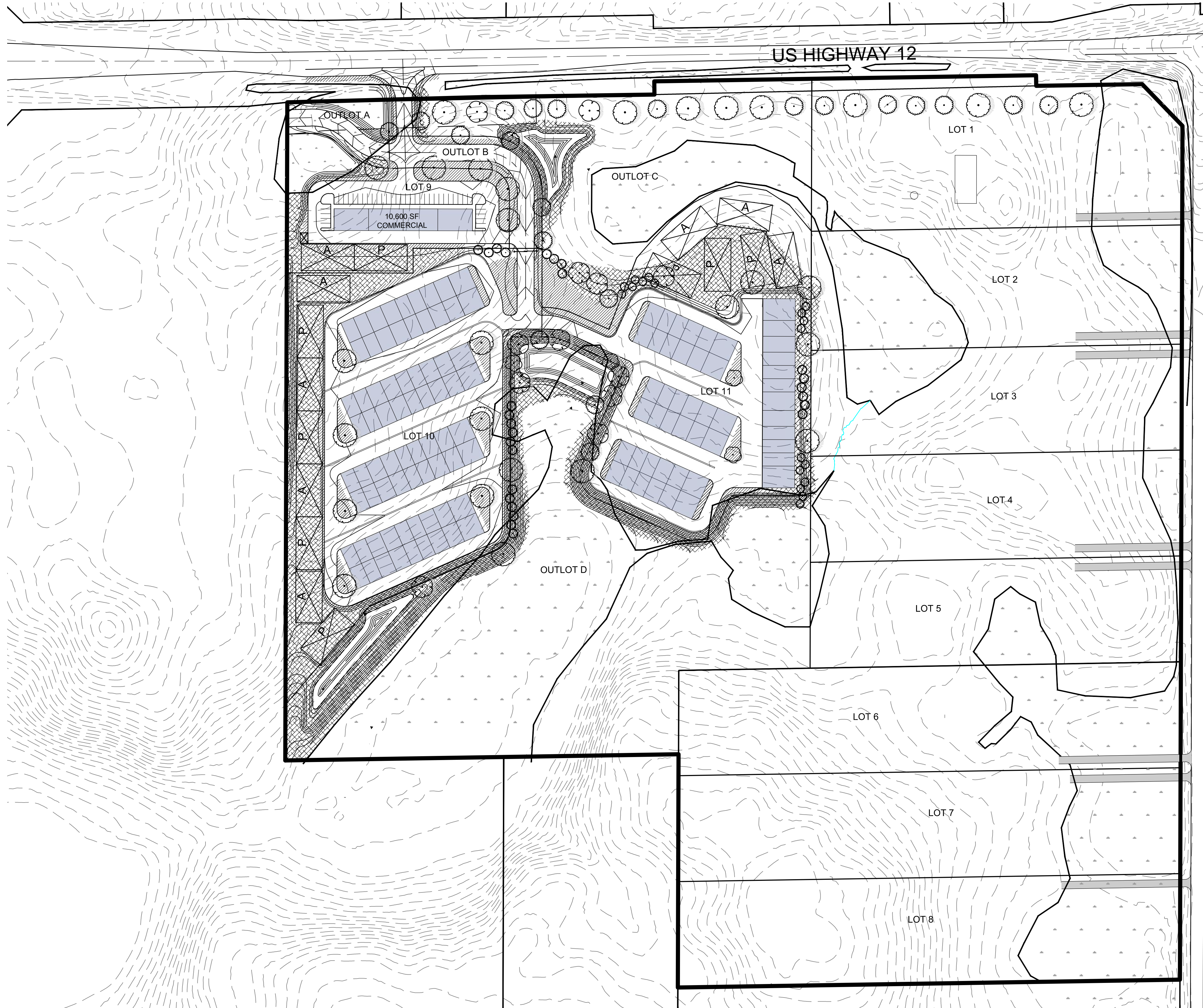
DRAWING NO.

C500

PLOTTED: 11/15/2022	COMM. NO. 16915
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Nov 15, 2022 - 2:45pm
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COUNTY LINE ROAD SE

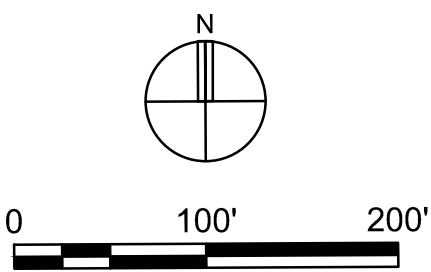


LEGEND

- PROPERTY LIMITS
- ADJACENT PROPERTY CONSTRUCTION LIMITS
- NEW NATIVE SEED BUFFER MIX MNDOT 35-221
- NEW NATIVE SEED MIX MNDOT 33-261
- NEW TURF SEED MIX MNDOT 25-131
- 3" DEEP, SHREDDED HARDWOOD MULCH
- COMMERCIAL GRADE POLY EDGER
- DECIDUOUS OVERSTORY TREES
- CONIFEROUS TREES

NOTES

- REFER TO PLAN SHEET L2 FOR SODDING, SEEDING, FERTILIZER AND TOPSOIL NOTES
- ALL LANDSCAPING DISTURBED BEYOND THE NEW PLANTINGS SHALL BE REPLACED IN KIND.





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DRAWING TITLE

RESTORATION
PLAN

DRAWING NO.

L100

PLOTTED: 11/15/2022	COMM. NO. 16915
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Nov 15, 2022 - 2:43pm
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GENERAL LANDSCAPE NOTES:

1. LANDSCAPE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
2. ALL ROUGH AND FINISH GRADING TO BE DONE BY OTHERS.
3. NO PLANTING SHALL BE INSTALLED UNTIL ALL GRADING, BUILDING, CONSTRUCTION, UTILITY WORK & IRRIGATION (IF APPLICABLE) HAS BEEN COMPLETED IN THE AREAS TO BE PLANTED.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ALL UNDERGROUND CABLES, CONDUITS, WIRES, ETC., ON THE PROPERTY.
5. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER OF PLANTS SHOWN IN THE PLANT LIST, THE NUMBER OF PLANTS SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
6. ALL PROPOSED PLANT MATERIAL SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLAN. IF THE CONTRACTOR BELIEVES AN ERROR HAS BEEN MADE REGARDING SPACING OR LOCATION OF THE PLANT MATERIAL INDICATED ON THE PLAN, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETE MAINTENANCE OF THE PLANT MATERIAL (WATERING, SPRAYING, FERTILIZING, MOWING, ETC.) UNTIL THE WORK HAS BEEN ACCEPTED, BY THE OWNER.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS TO PROPERTY DAMAGE FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
9. ALL NEWLY PLANTED PLANT MATERIAL SHALL BE GUARANTEED THROUGH ONE CALENDAR YEAR STARTING FROM THE DATE OF ACCEPTANCE ESTABLISHED BY THE OWNER.
10. THE CONTRACTOR SHALL MEET WITH THE OWNER OR OWNERS REPRESENTATIVE ON SITE WHEN THEY FEEL THE PROJECT IS COMPLETE ACCORDING TO THE CONTRACT DOCUMENTS. IF ALL WORK IS SATISFACTORY AND COMPLETE ACCORDING TO THE CONDITIONS OF THE CONTRACT DOCUMENTS, THEN THE OWNER MUST DECLARE THE PROJECT COMPLETE. THIS DECLARATION WILL CONSTITUTE AS THE BEGINNING OF THE ONE (1) YEAR WARRANTY PERIOD FOR ALL PLANT MATERIAL. THE OWNER SHALL PROVIDE A LETTER WITH SIGNATURE STATING THE DATE OF ACCEPTANCE.
11. WIND BURN OR OTHERWISE DAMAGED PLANT MATERIAL WILL NOT BE ACCEPTED.
12. CONTRACTOR CAN SUBSTITUTE MACHINE MOVED MATERIAL USING APPROPRIATE SIZE TREE SPADE FOR B & B WITH OWNER APPROVAL.
13. THE PRACTICE OF STAKING SHOULD NOT ALLOW NAILS, SCREWS, WIRES, ETC. TO PENETRATE THE OUTER SURFACE OF THE TREES.
14. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE STAKES, GUYS, STRAPS AND TRUNK PROTECTION MEASURES FOLLOWING THE COMPLETION OF THE WARRANTY PERIOD OR AS DIRECTED BY THE OWNER.
15. LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE THE OWNER WITH MAINTENANCE INFORMATION DURING THE GUARANTEE PERIOD RELATING TO WATERING, FERTILIZING, PRUNING, PEST CONTROL, AND RELATED ITEMS. THIS WILL BE PREPARED AND DELIVERED TO THE OWNER AFTER PROVISIONAL INSPECTION APPROVAL HAS BEEN GIVEN BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
16. INSTALL CORRUGATED PLASTIC TREE GUARDS, WHITE IN COLOR, WITH THE SIZE OF TUBE 1" DIA. (MIN.) LARGER THAN THE CALIPER OF THE TREE TO BE PROTECTED.
17. CONTRACTOR TO FURNISH & STALL PLASTIC EDGING AS SHOWN ON THE PLANS & DETAILS. PLASTIC EDGING SHALL BE MEDIUM DENSITY

- POLYETHYLENE WITH U.V. INHIBITOR, BLACK IN COLOR, WITH A TOTAL DEPTH OF 5" (1" DIA. TOP AND 4" SHAFT WITH 1.5" V EVERY 3-1/2 FEET OF EDGING.
18. LANDSCAPE FABRIC (FILTER MAT) TO HAVE A COMBINED WEIGHT OF 4.5-5.5 OZ. PER S.Y. FABRIC SHOULD BE U.V. STABILIZED AND HAVE A FIVE YEAR MINIMUM WEATHERABILITY FACTOR IN FULL SUNLIGHT. FABRIC TO BE PHILLIPS DUON R OR EQUIVALENT. SAMPLE REQUIRED FOR APPROVAL.
19. LANDSCAPE BED MULCH SHALL BE SHREDDDED HARDWOOD MULCH. MULCH SHALL BE INSTALLED AT A DEPTH OF 3" WITH NO WEED BARRIER LANDSCAPE FABRIC.
20. 3" DEPTH SHREDDDED HARDWOOD MULCH SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS THAT ARE ISOLATED FROM GROUNDCOVER AREAS AND GENERAL SHRUB MASSES.
21. CALIPER OF TREES UP TO AND INCLUDING 4" SHALL BE MEASURED AT 6" ABOVE GROUND LEVEL, AND 12" ABOVE GROUND LEVEL FOR LARGER SIZES.
22. FOR BALLED & BURLAP PLANT MATERIAL, REMOVE THE TOP HALF OF THE BURLAP FROM THE ROOT BALL. WIRE CAGES, STRAPS, ETC. SHALL BE REMOVED FROM THE TOP HALF OF THE ROOTBALL BEFORE INSTALLATION.
23. ALL CONTAINER MATERIAL SHALL HAVE BEEN GROWN IN CONTAINER FOR A MINIMUM OF 6 MONTHS PRIOR TO INSTALLATION.
24. SHRUBS AND GROUNDCOVER SHALL BE PLANTED A MINIMUM OF ONE HALF THEIR ON-CENTER SPACING FROM PAVING EDGE UNLESS OTHERWISE NOTED.
25. DECIDUOUS SHRUBS SHALL HAVE MINIMUM OF FIVE (5) CANES AT SPECIFIED HEIGHT UNLESS OTHERWISE NOTED IN PLANT SCHEDULE.
26. LANDSCAPE CONTRACTOR SHALL PROVIDE AND INSTALL NURSERY GROWN PLANT MATERIAL CONFORMING TO THE REQUIREMENTS AND RECOMMENDATIONS OF THE LATEST EDITION OF ANSI Z60.1 STANDARDS UNLESS OTHERWISE NOTED IN THE PLANS OR SPECIFICATIONS.

GENERAL SODDING, SEEDING & TOPSOIL NOTES:

1. LANDSCAPE CONTRACTOR SHALL ENSURE THAT NEW TREES MOVED ONTO THE SITE ARE DUG FROM SIMILAR SITES WITH SIMILAR SOILS TO THE SOILS OF THIS PROJECT (HEAVY TO HEAVY, LIGHT TO LIGHT. HEAVY TO LIGHT SOILS). CONTRACTOR SHALL REVIEW SOIL CONDITIONS/TYPES WITH OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. ALL NEWLY INSTALLED PLANT MATERIAL SHALL BE PLANTED IN WELL-DRAINED AREAS. NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION IF ANY PLANT MATERIAL IS LOCATED IN DRAINAGE SWALES OR WET & POORLY DRAINED AREAS.
3. ALL PLANTINGS SHALL RECEIVE FERTILIZER AS FOLLOWS:

3.1. SUMMER AND FALL PLANTING: 0-20-20 GRANULAR (IN SAUCER AROUND PLANT AT THE RATE OF 12 OZ. PER 2-3" CAL. TREE & 6 OZ. PER SHRUB).

3.2. SPRING PLANTING: 10-10-10 GRANULAR (APPLY ABOVE REFERENCED FERTILIZER AT A RATE OF 12 OZ. PER 1-1/2" CAL. TREE OR LARGER & 6 OZ. PER SHRUB & PERENNIAL.
4. ALL PLANTINGS SHALL RECEIVE AN AMENDED SOIL MIX CONSISTING OF THREE (3) PARTS:

4.1. 45% APPROVED TOPSOIL (ONE SITE PREFERRED)

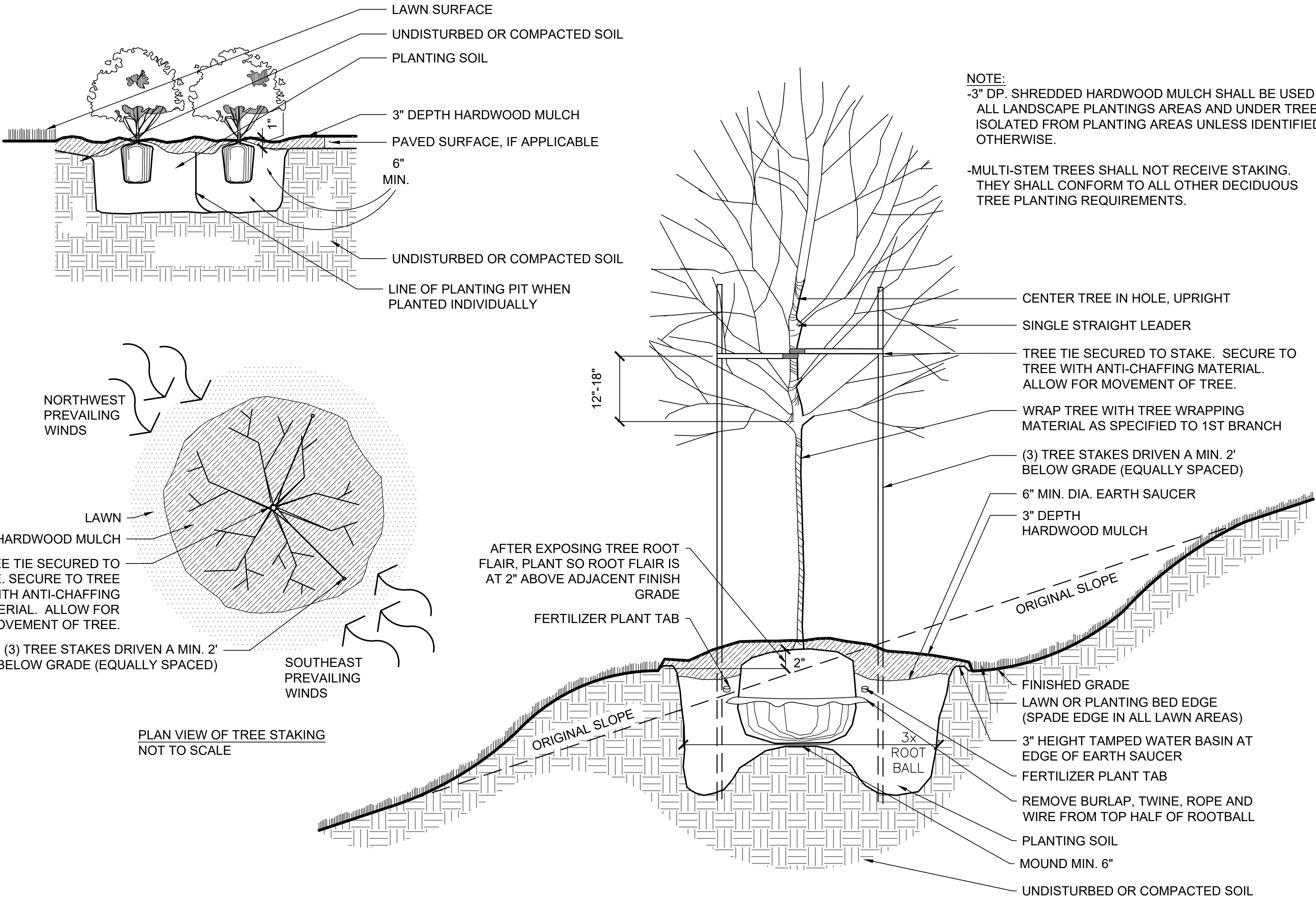
4.2. 45% ORGANIC MATTER (TYPE 1 SPHAGNUM PEAT MOSS FINELY DIVIDED WITH A PH OF 3.1 - 5.0.)

4.3. 10% SAND (FINE CLEAN MASONRY SAND)
5. AREAS CONFINED TO A MASS PLANTING AREA (PLANTING BED) SHALL RECEIVE THE AMENDED SOIL MIX AT MIN. 12" DEPTH THROUGHOUT THE PLANTING AREA. AMENDED SOIL MIX SHALL BE MIXED THOROUGHLY AND INSTALLED IN 6" LIFTS.
6. AREAS TO RECEIVE SOD OR SEED SHALL HAVE A 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL SHALL PROVIDE FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY CLUMPS, BRUSH WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONE LARGER THAN 1" IN ANY DIMENSION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
7. SOD SHALL BE HIGHLAND SOD, 30" X 100' ROLLS PREFERRED WHERE APPLICABLE, TO BE LAID PARALLEL WITH THE CONTOURS AND HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR DRAINAGE SWALES, THE SOD SHALL BE STAKED INTO THE GROUND. SCARIFY THE EXISTING GRADES WITH FIELD CULTIVATOR PRIOR TO PLACING OF TOPSOIL AND FINISH GRADING FOR SOD. IMMEDIATELY PRIOR TO PLACING SOD, CONTRACTOR SHALL APPLY 10-6-4 FERTILIZER AT THE RATE OF 10 POUNDS PER 1000 SQ. FT.
8. ALL AREAS SPECIFIED AS 'GENERAL LAWN SEED' TO BE SEEDED WITH PREMIUM SUNNY SEED MIX INCLUDING:

8.1. 20% RAVEN STAR KENTUCKY BLUEGRASS 10%

MIDNIGHT STAR KENTUCKY BLUEGRASS 15%
WASHINGTON KENTUCKY BLUEGRASS 5%
THERMAL BLUE BLUEGRASS 35%
SPLENDID PERENNIAL RYEGRASS 15%
ZODIAC CHEWINGS FESCUE(SEED MIX AVAILABLE AT GERTENS 1-651-450-1501). SEED SHALL BE APPLIED AT A RATE OF 150 LBS./AC. WITH 2 TONS SHREDDDED AND PUNCHED IN PLACE STRAW PER ACRE. HYDROSEEDING & MULCHING IS AND ACCEPTABLE ALTERNATE.

9. ALL AREAS SPECIFIED AS 'ROUGH SEED' TO BE SEEDED WITH MNDOT SEED MIX 250 AT A RATE OF 150 LBS./AC. WITH 2 TONS SHREDDDED AND PUNCHED IN PLACE STRAW PER ACRE. HYDROSEEDING & MULCHING IS AN ACCEPTABLE ALTERNATE.
10. ALL AREAS SPECIFIED AS 'WET AREA SEED' TO BE SEEDED WITH MNDOT MIX 310. BROAD CAST, DRILL AND/OR HYDROSEED AT A RATE OF 150 LBS./AC. WITH 2 TONS SHREDDDED AND PUNCHED IN PLACE STRAW PER ACRE. SEED MIX SHALL BE ABLE TO WITHSTAND PERIODIC FLOODING.
11. ALL AREAS SPECIFIED AS "MNDOT 25-131" TO BE SEEDED PER MNDOT RECOMMENDED APPLICATION RATES AND METHODS. "MNDOT 25-131" OR APPROVED EQUAL IS A BASIS OF DESIGN. CONTRACTOR IS RESPONSIBLE FOR ALL EROSION CONTROL NEEDS TO ESTABLISH VIGOROUS GROWTH PER MNDOT 2014 SEEDING MANUAL STANDARDS.



NOTE:
-3" DP. SHREDDDED HARDWOOD MULCH SHALL BE USED IN ALL LANDSCAPE PLANTINGS AREAS AND UNDER TREES ISOLATED FROM PLANTING AREAS UNLESS IDENTIFIED OTHERWISE.

-MULTI-STEM TREES SHALL NOT RECEIVE STAKING. THEY SHALL CONFORM TO ALL OTHER DECIDUOUS TREE PLANTING REQUIREMENTS.



ANDERSON

13605 1st Avenue N. #100
Plymouth, MN 55441 | ae-mn.com
P 763.412.4000 | F 763.412.4090
Anderson Engineering of Minnesota, LLC

MIXED USE DEVELOPMENT

INDEPENDENCE, MINNESOTA

STODDARD COMPANIES

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

PRELIMINARY

DESIGNED: LRK	DRAWN: BN	CHECKED BY: LRK
------------------	--------------	--------------------

DRAWING TITLE

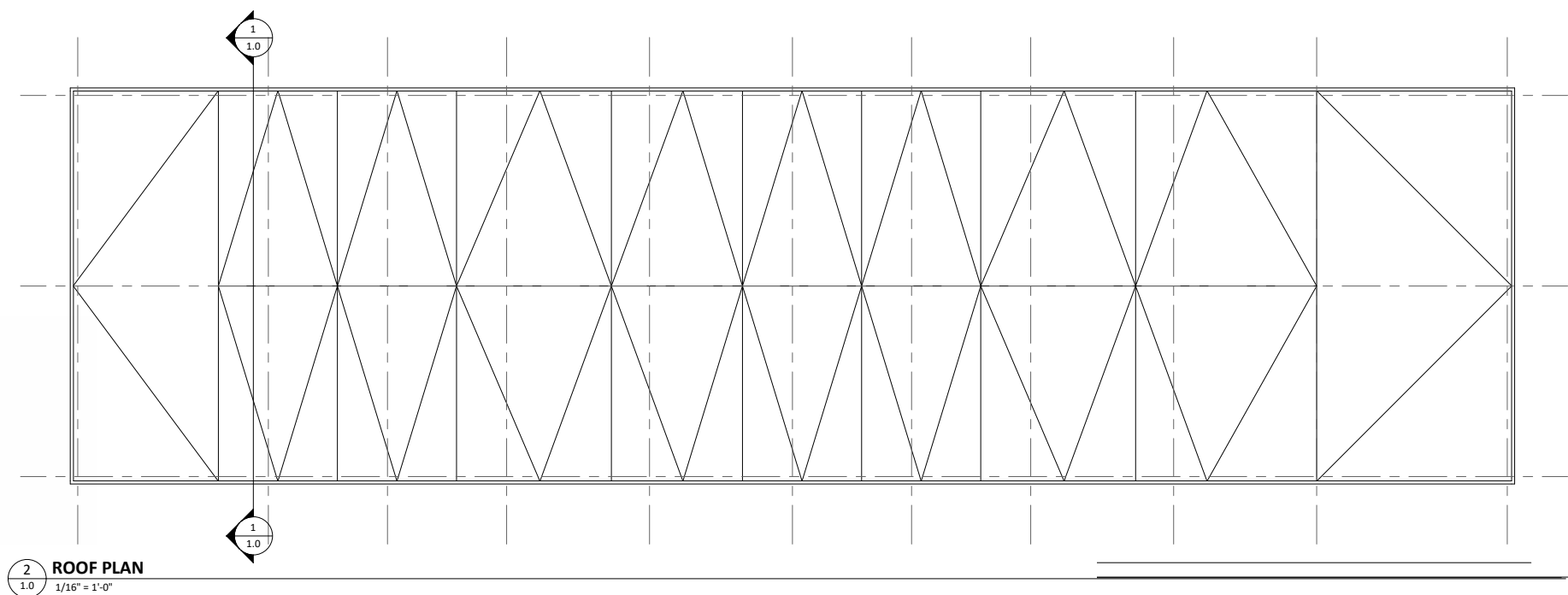
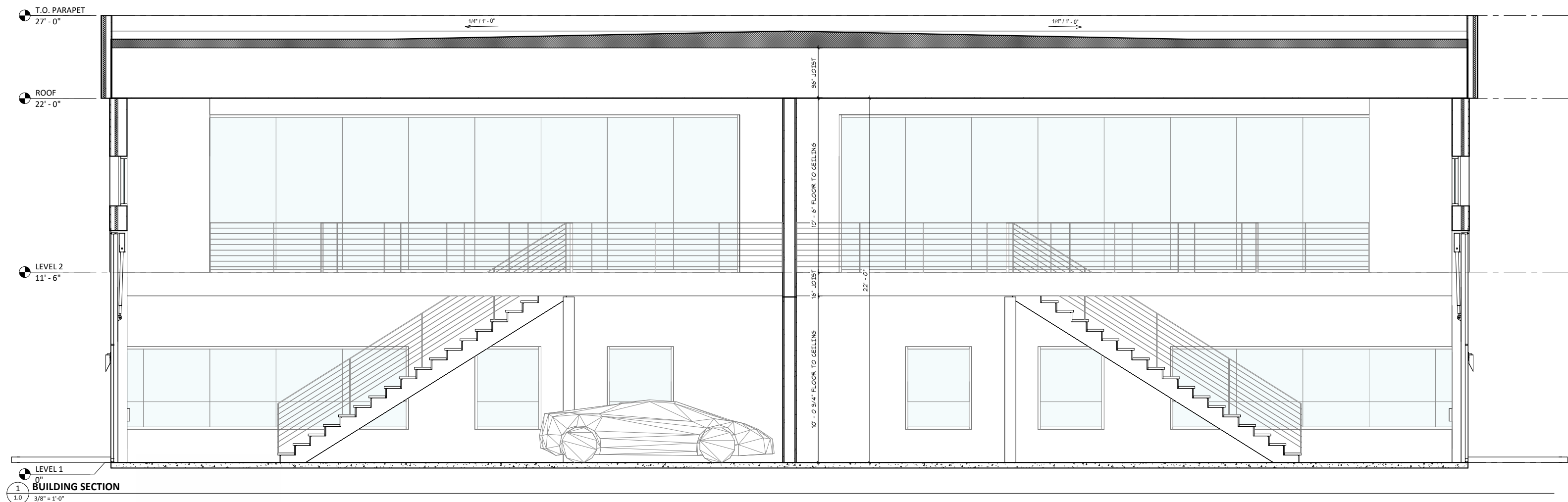
LANDSCAPE DETAILS

DRAWING NO.

L101

PLOTTED: 11/15/2022	COMM. NO. 16915
------------------------	--------------------















EXHIBITS
For a Mixed-Use PUD Application on a 58 Acre Parcel in
Independence, MN

EXHIBIT No. 1: **Property Identification (PID) & Legal Description of**
Property



Search by Address or PID ▼

[search help](#) ⓘ

Results

Property Links



PID 1811824210001

Address 9285 U S Hwy No 12,
Independence, MN 55328

Owner/Taxpayer

Owner J F Zeglin Jr & M D Zeglin

Taxpayer JOHN F ZEGLIN JR
2858 NELSON RD
DELANO MN 55328

Tax Parcel

Parcel Area 58.33 acres
2,540,876 sq ft

Torrens/Abstract Abstract

Addition Unplatted 18 118 24

Lot

Block

Metes & Bounds Ne 1/4 Of Nw 1/4 And E 25
Rods Of Nw 1/4 Of Nw 1/4
Also N 1/3 Of E 60 Rods Of
Se 1/4 Of Nw 1/4 Except
Roads

Tax Data (Assessed 2021, Payable 2022)

Market Value \$724,900

Total Tax \$8,214.88

Property Type Residential

Homestead Non-Homestead

Year Built 1900

Tax Data (Assessed 2022, Payable 2023)

Market Value \$839,900

Property Type Residential

Homestead Non-Homestead

Year Built 1900

Sales

Sale Code Excluded From Ratio

County Line Rd

12

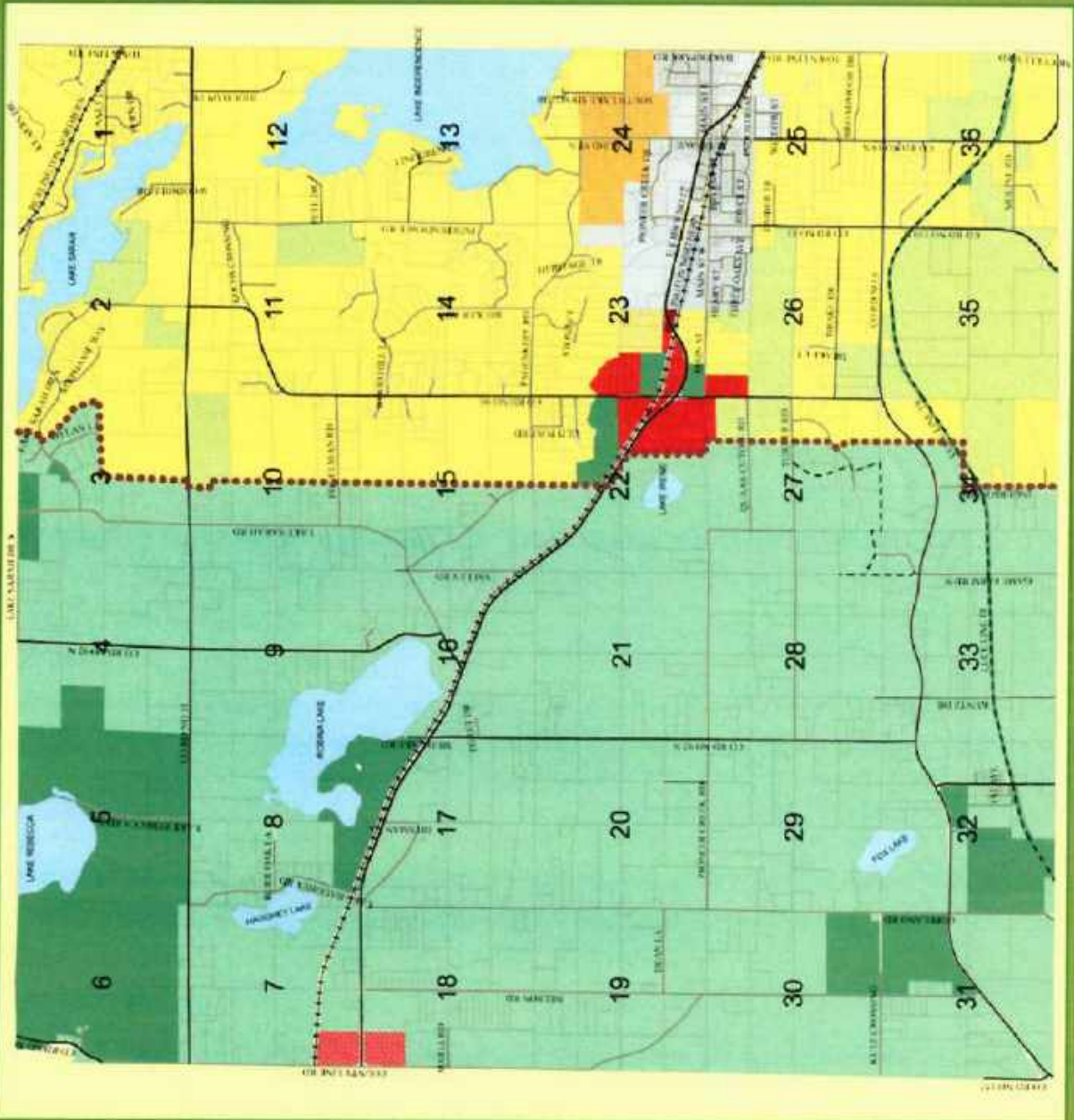
Highway-12

1000 ft

Powered by [Euri](#)©2022 Hennepin County — All Rights Reserved [Disc](#)

EXHIBITS
For a Mixed-Use PUD Application on a 58 Acre Parcel in
Independence, MN

EXHIBIT No. 2: Comprehensive Land Use Plan Map



December 2009

City of INDEPENDENCE

Figure 7:
Comprehensive
Land Use Plan

Legend

- Agriculture (Rural Reserve Area) 1 Unit per 40 Acres Maximum
- Agriculture Preserve
- Rural Residential 1 Unit per 5 Acres Maximum
- Urban Residential 4-20 - 7 Units per Acre
- Commercial / Industrial 5 Acres Lot Minimum
- Urban Commercial
- Public / Semi Public
- Open Water
- Rural Residential Planning Boundary
- Total



0 1,000 2,000 Feet
[Scale bar]

LOUCKS
ASSOCIATES

EXHIBITS
For a Mixed-Use PUD Application on a 58 Acre Parcel in
Independence, MN

EXHIBIT No. 3: **Wetland Investigation Report & Notice of Decision**
(NOD)

Full Detailed Report via pdf to City Planner



WETLAND INVESTIGATION
STODDARD COMPANIES
9285 US HIGHWAY 12

HENNEPIN COUNTY (PID: 1811824210001)
INDEPENDENCE, MINNESOTA

MAY 6, 2022
AE JOB NO. 16915



ANDERSON

13605 1st Avenue North #100, Plymouth, MN 55441

P 763.412.4000 F 763.412.4090

ae-mn.com

ERROR: unregistered
OFFENDING COMMAND: image

Minnesota Wetland Conservation Act Notice of Decision

Local Government Unit: City of Independence	County: Hennepin
Applicant Name: Stoddard Companies (Bill Stoddard) Engineering	Applicant Representative: Ben Hodapp – Anderson
Project Name: Stoddard Companies - 9285 US Hwy 12	LGU Project No. (if any): IN401-22-10
Date Complete Application Received by LGU: 8/8/2022	
Date of LGU Decision: 8/5/22	
Date this Notice was Sent: 8/5/22	

WCA Decision Type - check all that apply

<input checked="" type="checkbox"/> Wetland Boundary/Type	<input type="checkbox"/> Sequencing	<input type="checkbox"/> Replacement Plan	<input type="checkbox"/> Bank Plan (not credit purchase)
<input type="checkbox"/> No-Loss (8420.0415)	<input type="checkbox"/> Exemption (8420.0420)		
Part: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> H		Subpart: <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> 7 <input type="checkbox"/> 8 <input type="checkbox"/> 9	

Replacement Plan Impacts (replacement plan decisions only)

Total WCA Wetland Impact Area:
Wetland Replacement Type: <input type="checkbox"/> Project Specific Credits: <input type="checkbox"/> Bank Credits:
Bank Account Number(s):

Technical Evaluation Panel Findings and Recommendations (attach if any)

<input checked="" type="checkbox"/> Approve <input type="checkbox"/> Approve w/Conditions <input type="checkbox"/> Deny <input type="checkbox"/> No TEP Recommendation
--

LGU Decision

<input checked="" type="checkbox"/> Approved with Conditions (specify below) ¹ List Conditions: Provide GIS file of wetland boundary	<input type="checkbox"/> Approved ¹	<input type="checkbox"/> Denied
Decision-Maker for this Application: <input checked="" type="checkbox"/> Staff <input type="checkbox"/> Governing Board/Council <input type="checkbox"/> Other:		
Decision is valid for: <input checked="" type="checkbox"/> 5 years (default) <input type="checkbox"/> Other (specify):		

¹ *Wetland Replacement Plan approval is not valid until BWSR confirms the withdrawal of any required wetland bank credits. For project-specific replacement a financial assurance per MN Rule 8420.0522, Subp. 9 and evidence that all required forms have been recorded on the title of the property on which the replacement wetland is located must be provided to the LGU for the approval to be valid.*

LGU Findings – Attach document(s) and/or insert narrative providing the basis for the LGU decision¹.

<input checked="" type="checkbox"/> Attachment(s) (specify): Figures
<input checked="" type="checkbox"/> Summary: Click here to enter text.
One wetland was delineated on the site. The TEP reviewed the site on 8/31/22 and requested changes as reflected in the final delineation figure.

Table 1. Summary of delineated aquatic resources, corresponding sizes, and wetland type classifications.

FEATURE	FEATURE TYPE	APPROXIMATE SIZE ¹	FEATURE TYPE CLASSIFICATION			MnRAM Classification
			CIRCULAR 39	COWARDIN	EGGERS & REED	
1	Wetland	0.69 Ac	Type 2/3	PEM1C/Bfd	Fresh Wet Meadow/Shallow Marsh	Manage 3
2	Wetland	5.51 Ac	Type 1/2/3	PEM1C/B/A/FO1Afd	Seasonally Flooded Basin/Floodplain Forest/Fresh Wet Meadow/Shallow Marsh	Manage 3
3	Wetland	5.45 Ac	Type 2/3	PEM1C/Bfd	Fresh Wet Meadow/Shallow Marsh	Manage 3
4	Wetland	2.34 Ac	Type 2/3	PEM1C/Bfd	Fresh Wet Meadow/Shallow Marsh	Manage 3
A	Ephemeral Stream	168 LF (504 SF)	Type 90	R2UB3	Channel	N/A

¹ Approximate size within the project area expressed in acres (ac), square feet (SF), or tributary linear feet (LF). Areas less than 0.01 acre are presented in square feet.

The LGU decision is valid for five years. However, the decision will cease to be valid before then, if the Technical Evaluation Panel determines that the wetland boundary or type has changed due to natural or artificial changes to the hydrology, vegetation, or soils of the area. The LGU finds that the wetland typing may need to be reviewed in conjunction with any future project.

¹ Findings must consider any TEP recommendations.

Attached Project Documents

☒ Site Location Map ☐ Project Plan(s)/Descriptions/Reports (specify):

Appeals of LGU Decisions

If you wish to appeal this decision, you must provide a written request within 30 calendar days of the date you received the notice. All appeals must be submitted to the Board of Water and Soil Resources Executive Director along with a check payable to BWSR for \$500 *unless* the LGU has adopted a local appeal process as identified below. The check must be sent by mail and the written request to appeal can be submitted by mail or e-mail. The appeal should include a copy of this notice, name and contact information of appellant(s) and their representatives (if applicable), a statement clarifying the intent to appeal and supporting information as to why the decision is in error. Send to:

Appeals & Regulatory Compliance Coordinator
Minnesota Board of Water & Soils Resources
520 Lafayette Road North
St. Paul, MN 55155
travis.germundson@state.mn.us

Does the LGU have a local appeal process applicable to this decision?

☐ Yes¹ ☒ No

¹If yes, all appeals must first be considered via the local appeals process.

Local Appeals Submittal Requirements (LGU must describe how to appeal, submittal requirements, fees, etc. as applicable)

--

Required on all notices:

<input checked="" type="checkbox"/> SWCD TEP Member: Stacey Lijewski (Stacey.lijewski@hennepin.us)	<input checked="" type="checkbox"/> BWSR TEP Member: Jed Chesnut (jed.chesnut@state.mn.us)
<input type="checkbox"/> LGU TEP Member (if different than LGU contact):	
<input checked="" type="checkbox"/> DNR Representative: Wes Saunders-Pearce, Wes.Saunders-Pearce@state.mn.us	
<input checked="" type="checkbox"/> Watershed District or Watershed Mgmt. Org.: Andrew Vistad (Andrewv@haa-inc.com)	
<input checked="" type="checkbox"/> Applicant:	<input checked="" type="checkbox"/> Agent/Consultant:

Optional or As Applicable:

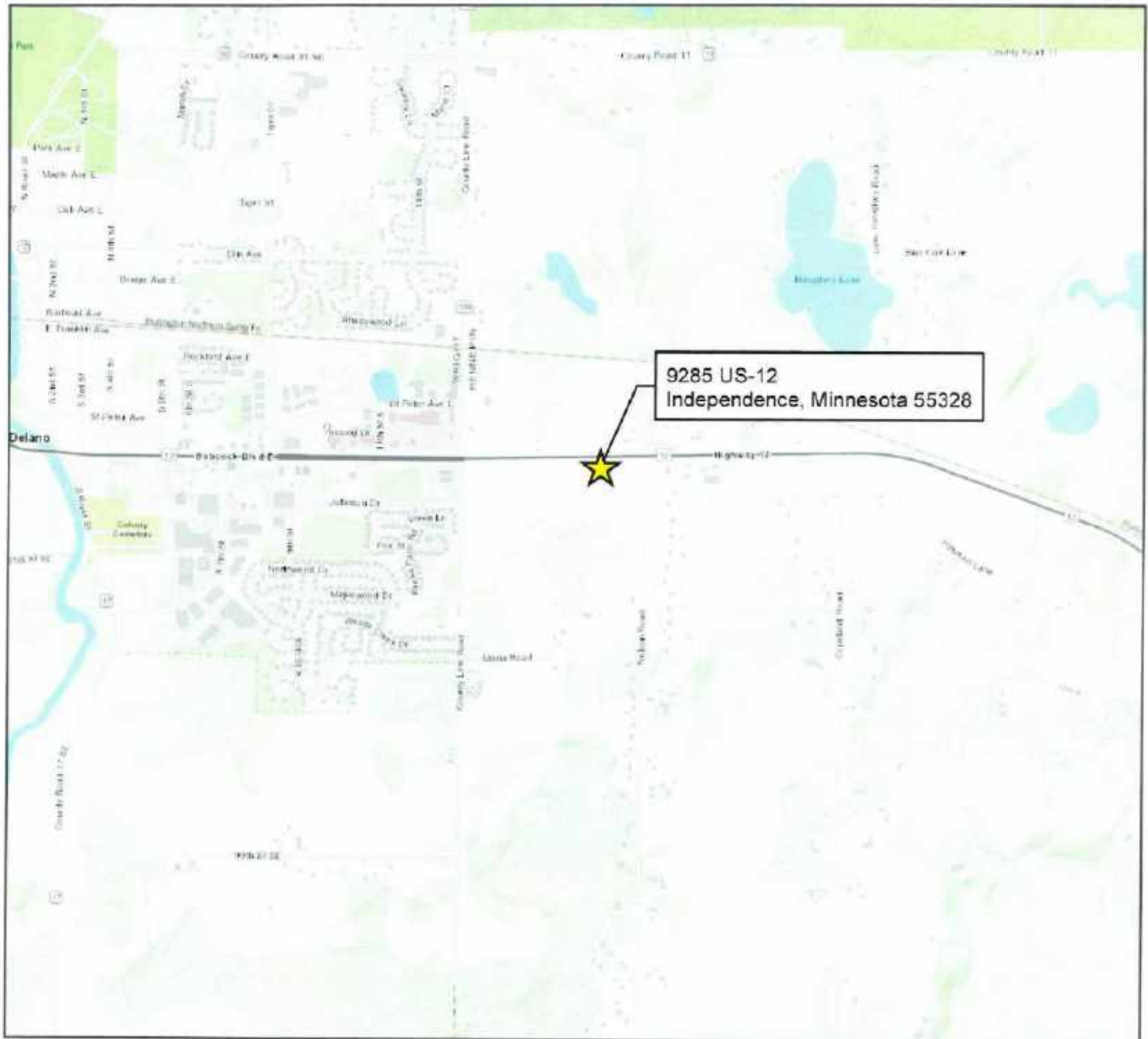
<input checked="" type="checkbox"/> Corps of Engineers: TBD	
<input type="checkbox"/> BWSR Wetland Mitigation Coordinator (required for bank plan applications only):	
<input type="checkbox"/> Members of the Public (notice only):	<input type="checkbox"/> Other:

Signature: 	Date: 10/12/22
--	-----------------------

This notice and accompanying application materials may be sent electronically or by mail. The LGU may opt to send a summary of the application to members of the public upon request per 8420.0255, Subp. 3.

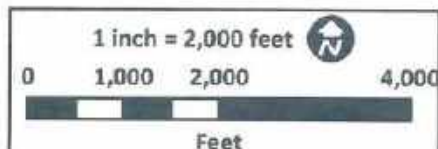
Stoddard Companies Property Independence, Minnesota

Figure 1
Project Location



Legend
★ Project Location

Address: 9285 US-12
Independence, Minnesota 55328
Lat/Long: 44.0353, -93.7598
PID: 1811824210001
Project No: 16915
Date: 4.19.2022



ANDERSON
13605 1st Ave N #100, Plymouth, MN 55441
P 763.412.4000 F 763.412.4090 ae-mn.com

Project Location



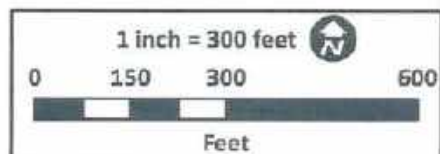
City of Independence
Hennepin County, MN



Legend

-  Project Parcel
-  Hennepin Co. Parcels
-  National Wetland Inventory

Address: 9285 US-12
Independence, Minnesota 55328
Lat/Long: 44.0353, -93.7598
PID: 1811824210001
Project No: 16915
Date: 4.19.2022



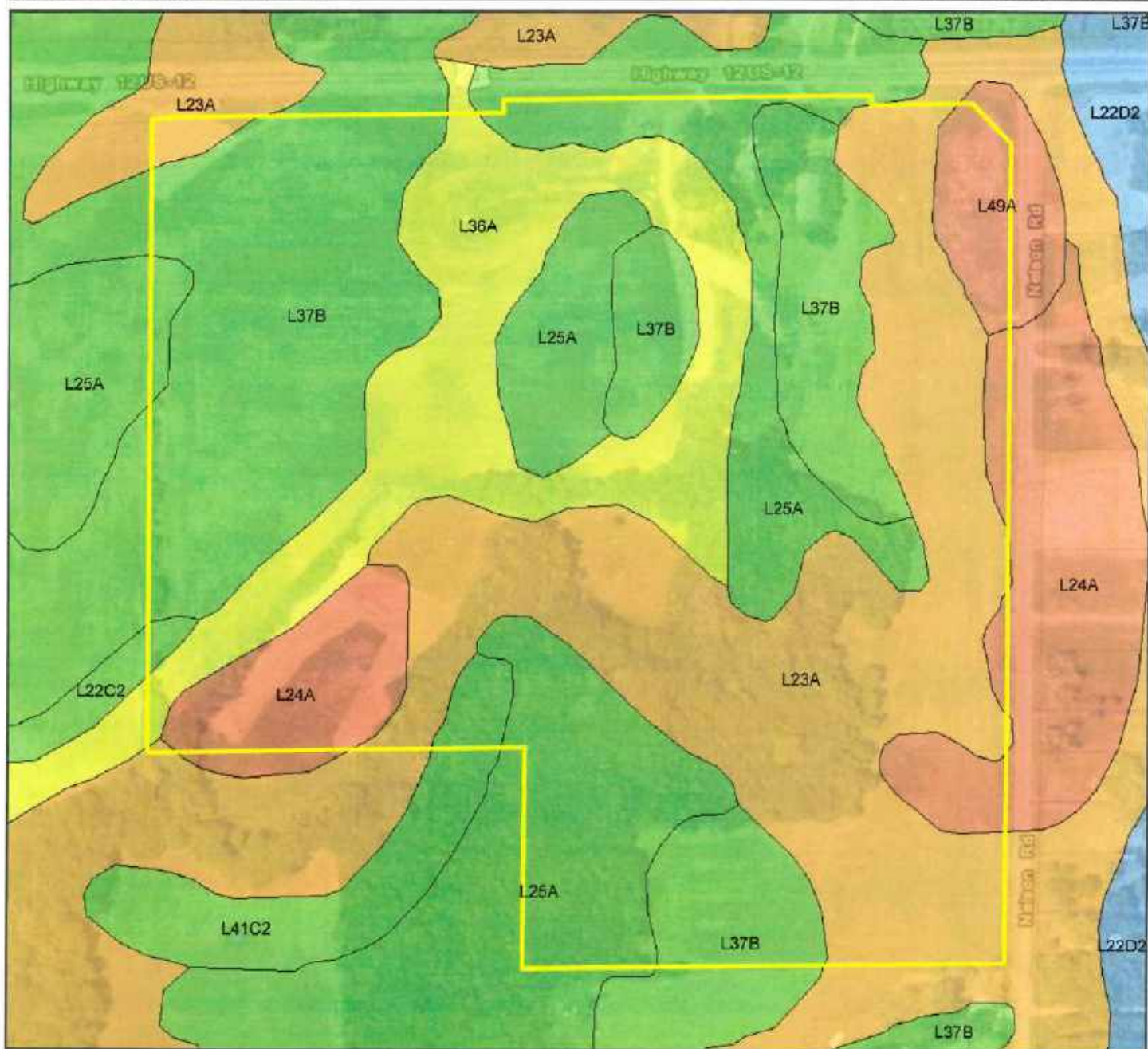
ANDERSON

13605 1st Ave N #100, Plymouth, MN 55441
P 763.412.4000 F 763.412.4090 ae-mn.com

Project Location



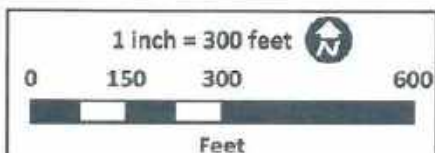
City of Independence
Hennepin County, MN



Legend

- Project Parcel
- Hennepin Co. Parcels
- Hydric Rating by Map Unit**
- 0% Hydric Components
- 1-32% Hydric Components
- 33-65% Hydric Components
- 66-99% Hydric Components
- 100% Hydric Components

Address: 9285 US-12
Independence, Minnesota 55328
Lat/Long: 44.0353, -93.7598
PID: 1811824210001
Project No: 16915
Date: 4.19.2022



ANDERSON

13605 1st Ave N #100, Plymouth, MN 55441
P 763.412.4000 F 763.412.4090 ae-mn.com

Project Location



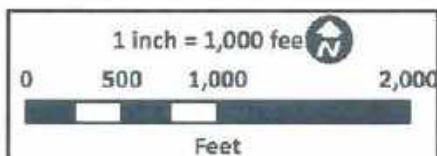
City of Independence
Hennepin County, MN



Legend

- Project Parcel
- Hennepin Co. Parcels
- MN DNR Inventoried Public Waterbasin

Address: 9285 US-12
Independence, Minnesota 55328
Lat/Long: 44.0353,-93.7598
PID: 1811824210001
Project No: 16915
Date: 4.19.2022



ANDERSON
13605 1st Ave N #100, Plymouth, MN 55441
P 763.412.4000 F 763.412.4090 ae-mn.com

Project Location



MESSERLI | KRAMER

November 11, 2022

Senior Housing Ventures, Inc.
c/o William J. Stoddard
925 Excelsior Boulevard
Excelsior, MN 55331

**Re: Independence / Senior Housing Ventures, Inc.
Our File No. 25816-8**

Dear Bill:

You have asked for our opinion about access along the south side of Highway 12 that forms the north boundary of the Independence property. I have attached three documents that support our conclusions.

There are 2 distinct areas that offer access to Highway 12. The first is through Parcel 369 that is depicted on MNDOT Plat No. 27-77, near the northwest corner of the subject property. The depiction is of an open access area of 60'. That is a specific authorization by MNDOT for access to Highway 12. See also warranty deed filed October 31, 1997 as document 6804059.

Second, the boundary line along the south boundary of Highway 12 east of Parcel 369 is also access to Highway 12, except for the area between Boundary Corners B16 and B15, which was deeded to the state (MNDOT) as restricted access for the state. See warranty deed filed February 9, 1978 as document 4355595. Plat No. 27-77 shows the area of restriction along Parcel 369 but that area does not extend access restriction east of Parcel 369. The restricted access between Boundary Corners B16 and B15 is found in the warranty deed as a deeded portion of access to the state between those Boundary Corners. No other access restriction or limitation is contained in the warranty deed or on Plat No. 27-77.

In short, there is sufficient legal access along Highway 12 to and from the subject 58+ acre Zeglin property.

Very truly yours,

John R. Beattie

John R. Beattie

JRB:sjs

direct: 612.672.3662

email: jbeattie@messlerikramer.com

fax: 612.672.3777

1400 Fifth Street Towers
100 South Fifth Street
Minneapolis, MN 55402

2692217

messeriikramer.com

6804059

30

OFFICE OF COUNTY RECORDER
HENNEPIN COUNTY, MINNESOTACERTIFIED FILED AND OR
RECORDED ON

97 OCT 31 AM 9:24

AS DOCUMENT # 6804059
R. P. Carlson CO. RECORDERBY *[Signature]* DEPUTYC.V. FILED ☒ NOT REC1996 AND PRIOR TAXES PAID
10-31-97TAXPAYER SET
TRANSFER ENTERED

OCT 8 1 1997

HENNEPIN COUNTY MINN.

WARRANTY DEED

31OCT97 9:25	06804059	CDN	\$5.00
31OCT97 9:25	06804059	QCD	\$4.50
31OCT97 9:25	06804059	DOC	\$15.00

STATE DEED TAX DUE HEREON: \$ 15.⁵⁰/₁₀₀

C.S. 2713 (12-10-55)

Parcel 369

County of Hennepin

Dated: October 1, 19 97

84599

For and in consideration of the sum of Forty-Two Hundred and No/100Dollars (\$ 4,200.00)

Germaine M. Zeglin, single, of Hennepin County, Minnesota, Grantor, hereby conveys and warrants to the State of Minnesota, Grantee, real property in Hennepin County, Minnesota, described as follows:

18-118-24-21-000-1

All of the following:

CDN	\$5.00
QCD	\$4.50
DOC	\$15.00

That part of the North Half of the Northwest Quarter of Section 18, Township 118 North, Range 24 West, shown as Parcel 369 on Minnesota Department of Transportation Right of Way Plat Numbered 27-77 as the same is on file and of record in the office of the County Recorder in and for Hennepin County, Minnesota;

containing 0.40 acre, more or less;

together with other rights as set forth below, forming and being part of said Parcel 369:

Access:

All right of access as shown on said plat by the access restriction symbol.

Temporary Easement:

A temporary easement for highway purposes as shown on said plat as to said Parcel 369 by the temporary easement symbol, said easement shall cease on December 1, 2000, or on such earlier date upon which the Commissioner of Transportation determines by formal order that it is no longer needed for highway purposes.

together with all hereditaments and appurtenances belonging thereto. The Seller certifies that the Seller does not know of any wells on the described real property. Subject to utility easements.

APPROVED
FOR THE COMMISSIONER OF TRANSPORTATION

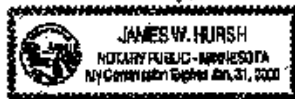
THIRD OF FEBRUARY 1998

[Signature]
GERMAINE M. ZEGLIN

3311479

STATE OF MINNESOTA)
) ss.
COUNTY OF HENNEPIN)

The foregoing instrument was acknowledged before me this 1st day of
October, 19 97, by Germaine M. Zeglin, single.



[Signature]
NOTARY PUBLIC

My commission expires: January 31, 2000

This instrument was drafted by the
State of Minnesota, Department of
Transportation, Legal and
Real Estate Conveyance Unit,
St. Paul, Minnesota 55155
R35790G.04W

Send tax statements to Grantee:
State of Minnesota
Department of Transportation
Mailstop 831 (DP)
395 John Ireland Blvd
St Paul MN 55155

APPROVED AS TO FORM AND EXECUTION
[Signature]
ASSISTANT ATTORNEY GENERAL
DATED 10/17/97

JMD
APPROVED
FOR THE COMMISSIONER OF TRANSPORTATION
[Signature]
DIRECTOR, OFFICE OF LAND MANAGEMENT

4355555

S.E. 2713 (12-10-55) *58-751 Rec. 259

MOB 23076 (4/74)

WARRANTY DEED - By Individual

MINNESOTA

THIS INSTRUMENT, Made January 5, 1978, between

Anna Rutter, widow; Claude A. Rutter, single, both

of Hennepin County, Minnesota, part ACE of the first part, and the STATE OF MINNESOTA, party of the second part,

WITNESSETH, That the said first parties, in consideration of the sum of One Thousand Five Hundred and no/100ths Dollars (\$1,500.00) to them in hand paid by the said second party, the receipt whereof is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey unto the said second party, its successors and assigns, the tract of land in Hennepin County, Minnesota, described as follows:

That part of Tract A described below:

Tract A. That part of the Northeast Quarter of the Northwest Quarter of Section 18, Township 118 North, Range 24 West, lying southerly of the southerly right of way line of Frank Highway No. 12 as now located and established;

which lies northerly of a line run parallel with and distant 70 feet southerly of line 1 described below:

Line 1. From the northwest corner of said Section 18, run easterly on the north line of said Section 18 for 2562.1 feet to the point of beginning of Line 1 to be described; thence continue easterly on the last described course for 400 feet, and there terminating;

together with that part of Tract A hereinbefore described adjoining and southerly of the above described strip and westerly of the westerly boundary of the public road running along the east line of Tract A hereinbefore described which lies northeasterly of the following described line: Beginning at a point on said westerly boundary, distant 100 feet southerly of its intersection with a line run parallel with and distant 50 feet southerly of the north line of said Section 18; thence run northwesterly to a point distant 70 feet southerly (measured at right angles) of a point on Line 1 described above distant 200 feet easterly of its point of beginning and there terminating;

containing 0.18 acre, more or less, in addition to the existing highway;

together with all right of access being the right of ingress to and egress from that part of Tract A hereinbefore described not acquired herein to the last above described strip.

TO HAVE AND TO HOLD THE SAME, Together with all the hereditaments and appurtenances thereto belonging or in anywise appertaining, to the said second party, its successors and assigns, Forever, And

Anna Rutter, widow; Claude A. Rutter, single,

THEIR INSTRUMENT EXEMPT FROM State Dead Tax.

said first parties, for themselves, their heirs, executors and administrators, do covenant with the said second party, its successors and assigns, that they are well seized in fee of the lands and premises aforesaid, and have good right to sell and convey the same in manner and form aforesaid, and that the same are free from all encumbrances.

And the above bargained and granted lands and premises, in the quiet and peaceable possession of the said second party, its successors and assigns, against all persons lawfully claiming or to claim the whole or any part thereof, subject to encumbrances, if any, hereinbefore mentioned, the said first parties shall warrant and defend.

[Signature]
Spec. Asst. Attorney General
Dated 2/9/78

*Claude A. Rutter
Anna Rutter

APPROVED:
JIM HARRINGTON
Commissioner of Transportation
BY [Signature]
Director of Title Operations

FEB. 9, 1978

70-5878-4660

EXHIBITS
For a Mixed-Use PUD Application on a 58 Acre Parcel in
Independence, MN

EXHIBIT No. 7: **Market Research/Opinion Letter by**
 Maxfield Research & Consulting

**Due to Confidential nature of report only
background/work scope and overall Conclusions and
Recommendations attached. Full report review can be
arranged with Applicant with appointment.**



Maxfield
Research & Consulting

Breaking Ground since 1983

October 26, 2022

MEMORANDUM

TO: Mr. Bill Stoddard
Stoddard Companies

FROM: Rob Wilder
Mary Bujold
Maxfield Research and Consulting, LLC

RE: Market Opinion Letter for new Auto-Condominium units and Industrial/Office space in Independence, Minnesota

Background

This market opinion letter provides a brief assessment of the market potential for an auto-condominium property in Independence, Minnesota. This letter provides comments on a potential draw area for the proposed development, demographic and employment forecasts in the primary draw area, market trends for office and industrial space, existing auto-condo properties in the draw area, and comments on the development acceptance in the marketplace. It also briefly addresses single-family and townhome subdivisions and pricing in the cities surrounding the site.

After gathering this information, Maxfield Research comments on how a new auto-condo development on the subject site might position itself in the market given the factors outlined above.

Conclusions and Recommendations

Maxfield Research has reviewed demographic and market trends that would influence a new auto-condo project in Independence at County Line Road SE and Highway 12.

The site is appropriate for the proposed concept and is convenient to many potential buyers along Highway 12. Notably, the proposed development would be the only auto-condo property located on Highway 12. The next two closest competitors are located along Nike Road in Minnetrista (Park Place Storage – Minnetrista) and Highway 55 in Loretto (Park Place Storage – Corcoran). Workshops of Watertown is about 10 miles from the site but is located near County Road 15 to the south.

The PMA has experienced strong growth over the 2010s as suburban development pushed westward from the Twin Cities and is forecast to see quicker population and household growth compared to the rest of Hennepin County and the Seven County Metro Area.

Similarly, household incomes in the PMA are high, as the western metro is one of the most affluent areas of the Twin Cities Metro Area. In 2022, the median household income in the PMA is estimated to be \$117,376, and is forecast to increase to \$134,610 by 2027, an increase of 14.7%, or about 2.9% annually. The target market is households with incomes above \$200,000, which account for 25.2% of households in 2022 and are projected to increase by 1,226 households to 7,674 households by 2027, an increase of 19.0%.

The target age-group for auto condos is generally middle-aged and older households, who can an expensive hobby like car collecting. The age 45 to 54 age group has the highest incomes in the PMA, at \$155,292, and is expected to increase to \$164,442. Based on a price of \$200,000, an auto condo would cost about \$587 per month if financed with a 30-year fixed mortgage at 7% interest, with a 20% down payment. Many buyers are likely to be cash buyers.

Auto-condo projects in the area are all essentially sold out, except for Workshops of Watertown, which is in its initial selling period. Units range from the \$150,000 to \$200,000 price range. Currently, the property has sold 24 of its 48 units, with another five units reserved.

There are four auto-condo projects currently under construction or recently opened in the PMA. Two-projects are expansions to existing facilities (Auto Motorplex Medina and Park Place Storage Minnetrista, and two are new facilities (Garages Too and Workshops of Watertown.)

Office and industrial space in along the Highway 12 corridor have low vacancy rates, at 4.2% for office space and 6.5% for industrial space. Office rents average \$24.37 per foot and industrial space averages \$6.75 per foot, according to data from Costar. Absorption year over year has been slightly negative for both sectors.

EXHIBITS
For a Mixed-Use PUD Application on a 58 Acre Parcel in
Independence, MN

EXHIBIT No. 8: **Neighboring Nelson Road Map of Single Family Lot**
Sizes Depicting Proposed New Lots Compatibility with
Surrounding Neighborhood



EXHIBITS
For a Mixed-Use PUD Application on a 58 Acre Parcel in
Independence, MN

EXHIBIT No. 9: **Water Well Capacity Memorandum by**
 Anderson Engineering



November 15, 2022

Bill Stoddard
Stoddard Companies
440 Third Street
Excelsior MN, 55331

Subject: Water Well Capacity
Mixed Use Development
Highway 12 and Nelson Road, Independence, MN
Project Number: 16915

Dear Bill,

As requested, we have evaluated the site located in the southwest quadrant of Nelson Road and US Highway 12 in Independence, Minnesota for both domestic and fire protection water capacity. The site is currently outside of municipal service limits and as such will be served by drilled well groundwater. Our study is limited to estimates of demands and review of MDH Well Index, with no physical exploration occurring.

Domestic Demand

The proposed development consists of eight single family homes, one commercial building of approximately 10,600 SF, and eight automobile condominium buildings with a total of 120 units. Four buildings with 18 units each, three buildings with 12 units each, and one building with 12 units.

It is assumed that single family homes will each drill their own wells. For that reason, that portion of the development is excluded from the study. The commercial building is divided into four units at 2,650 SF each. Each unit is anticipated to have its own bathroom, and will have a total demand of 5 GPM per unit, or 20 GPM for 4-unit building.

Fixture Units per Commercial Unit

1. Vanity (2.5 GPM)
2. Toilet (2.5 GPM)

For the eight Automobile Condominium buildings, each unit will contain 4 fixtures, with design demands associated with each fixture for a total demand of 20 GPM per unit. Therefore, for the total development of 120-units, the theoretical peak demand of 2,400 GPM domestic flow is anticipated.

Fixture Units Per Unit

1. Kitchen faucet (3 GPM)
2. Toilet (2.5 GPM)
3. Hose bib (12 GPM)
4. Vanity (2.5 GPM)

Theoretical Peak Demand Calculation

$(3 \text{ GPM} + 2.5 \text{ GPM} + 12 \text{ GPM} + 2.5 \text{ GPM})/\text{Unit} \times (120 \text{ Units}) = 2,400 \text{ GPM (Theoretical)}$

Expected Design Peak Demand Calculation

Due to the nature of intermittent use of the water supply, the theoretical demand is greater than necessary, and the realistic demand will be far less than the theoretical demand. Using a conversion factor of 1 L/S = 15.85 GPM, the expected peak demand was found to be:

$2,400 \text{ GPM} \times (1 \text{ L/S} / 15.85 \text{ GPM}) = 151 \text{ L/S (Expected Theoretical Demand Flow)}$

Using the water demand nomogram (Attachment A) for a Theoretical Water Flow of 151 L/S on the x-axis, and the "Demand of the Largest Customer" of 0.8 L/S for the peak user, the resulting Expected Maximum Demand is

$151 \text{ L/S} = \text{Approximately } 5.6 \text{ L/S (Expected Maximum Demand)}$

$5.6 \text{ L/S} \times (15.85 \text{ GPM} / 1 \text{ L/S}) = 88.8 \text{ GPM (Expected Maximum Demand)}$

An approximate water demand of 90 GPM can be used.

Fire Demand

Fire sprinklers will be provided via water stored in tanks with fire pumps to provide flow and pressure to the sprinklers when demanded. The tanks will be filled by the wells at off peak times. The fire protection will not be provided directly by the wells.

Wells

We have reviewed surrounding wells on the MDH Web Index and found the following: (See appendix for well index) Map and summary table below.



WELL NUMBER	DEPTH OF WELL (FT)	SIZE OF WELL (IN)	GPM	STATIC WATER LEVEL (FT)	PUMPING WATER LEVEL (BELOW LAND SURFACE)
157802	155	4	75	72	NA
158177	169	4	100	52	NA
173227	169	4	100	57	NA
190340	151	4	100	67	NA
420169	169	4	20	98	NA
426199	182	4	30	60	NA
426898	151	4	25	70	NA
466002	168	4	25	60	NA
485623	167	4	100	69	NA
516858	170	4	30	78	170
535967	160	4	12	52	160

573564	150	4	NA	65	NA
644861	186	4	50	81	NA
Average	165.2	4	55.6	67.7	165

Conclusion/Anticipated System

Based on the required domestic and fire supply water demand anticipated, an approximate water demand flow of 90 GPM can be used for the anticipated project. Given the average flow rate of 55.6 GPM from existing wells adjacent to the site, we can conclude that approximately two wells could serve the commercial/auto-condominium portion of the development, plus eight additional wells to serve the single-family residences.

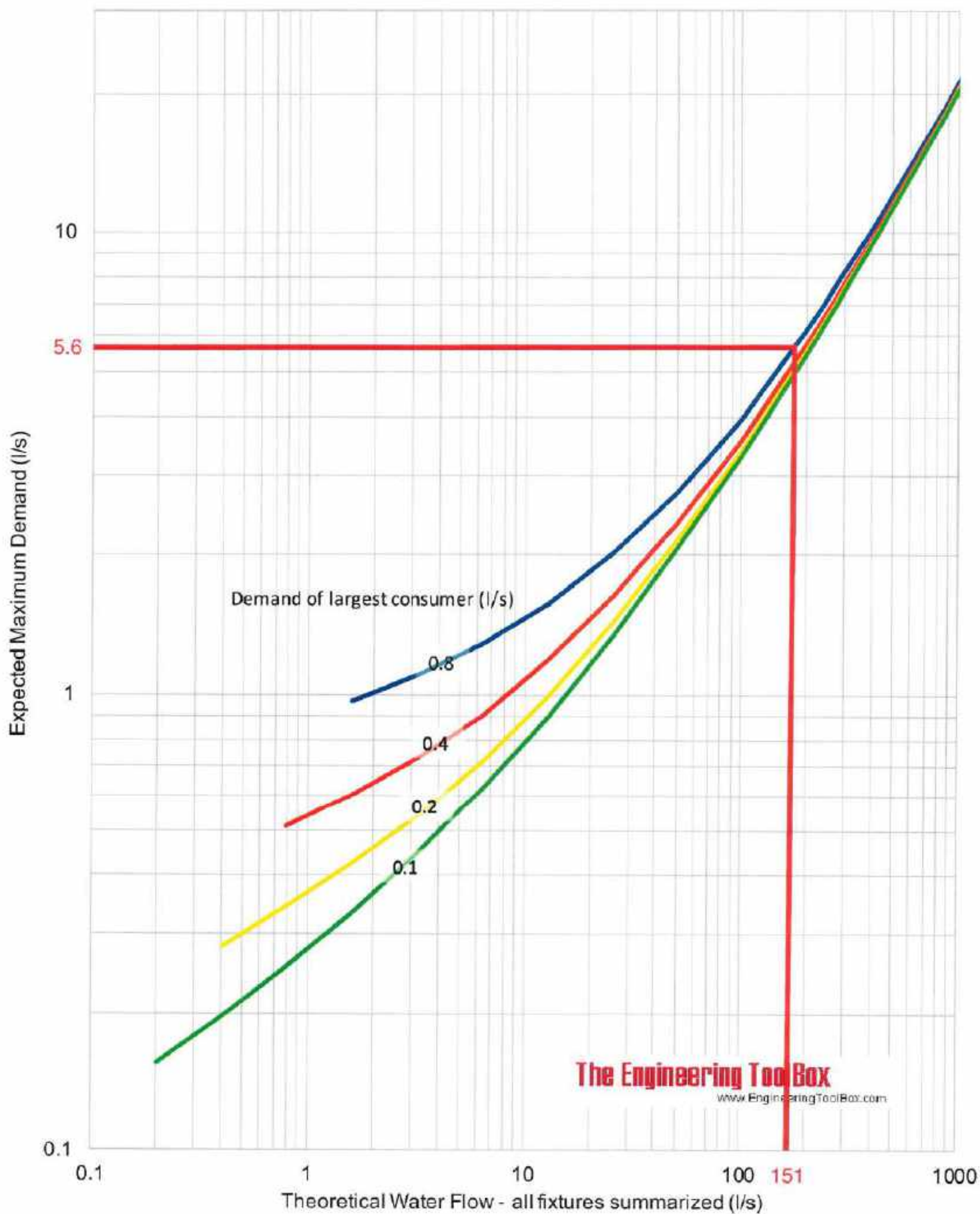
Sincerely,



Lee Koppy, P.E.
Senior Project Manager

Water Supply Maximum Expected Demand

ATTACHMENT A



The Engineering Tool Box
www.EngineeringToolBox.com

Demand of largest consumer (l/s) — 0.8 — 0.4 — 0.2 — 0.1

157802

County Hennepin
 Quad Delano
 Quad ID 122D

MINNESOTA DEPARTMENT OF HEALTH
WELL AND BORING REPORT
 Minnesota Statutes Chapter 1031

Entry Date 08/24/1991
 Update Date 02/11/2016
 Received Date

Well Name HANSON	Township 11E	Range 24	Dir. Section W 18	Subsection ACBQCB	Well Depth 155 ft.	Depth Completed 155 ft.	Date Well Completed 09/11/1978																																																		
Elevation 984 ft.	Elev. Method 7.5 minute topographic map (+/- 5 feet)				Drill Method Non-specified Rotary	Drill Fluid																																																			
Address C/W 2888 NELSON RD INDEPENDENCE MN					Use domestic	Status Active																																																			
Stratigraphy Information <table border="1"> <thead> <tr> <th>Geological Material</th> <th>From</th> <th>To (ft.)</th> <th>Color</th> <th>Hardness</th> </tr> </thead> <tbody> <tr> <td>CLAY</td> <td>0</td> <td>38</td> <td>YEL/BRN</td> <td rowspan="10">HARD</td> </tr> <tr> <td>CLAY</td> <td>38</td> <td>70</td> <td>BLUE</td> </tr> <tr> <td>GRAVEL</td> <td>70</td> <td>75</td> <td></td> </tr> <tr> <td>BOULDER</td> <td>75</td> <td>77</td> <td></td> </tr> <tr> <td>CLAY</td> <td>77</td> <td>79</td> <td>BLUE</td> </tr> <tr> <td>RED CLAY SANDY</td> <td>79</td> <td>94</td> <td>RED</td> </tr> <tr> <td>BOULDER</td> <td>94</td> <td>95</td> <td></td> </tr> <tr> <td>SANDY CLAY</td> <td>95</td> <td>99</td> <td>GRAY</td> </tr> <tr> <td>DIRTY SAND</td> <td>99</td> <td>125</td> <td></td> </tr> <tr> <td>MIXED YELLOW SAND</td> <td>125</td> <td>140</td> <td></td> </tr> <tr> <td>UNIFORM CLEAN SAND</td> <td>140</td> <td>155</td> <td>LT. BRN</td> </tr> </tbody> </table>					Geological Material	From	To (ft.)	Color	Hardness	CLAY	0	38	YEL/BRN	HARD	CLAY	38	70	BLUE	GRAVEL	70	75		BOULDER	75	77		CLAY	77	79	BLUE	RED CLAY SANDY	79	94	RED	BOULDER	94	95		SANDY CLAY	95	99	GRAY	DIRTY SAND	99	125		MIXED YELLOW SAND	125	140		UNIFORM CLEAN SAND	140	155	LT. BRN	Well Hydrofractured? Yes <input type="checkbox"/> No <input type="checkbox"/> From <input type="checkbox"/> To <input type="checkbox"/>		
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Casing Diameter 4 in.	Weight 151 lb./ft.	Hole Diameter 6.2 in.																																																							
Open Hole From 0 ft. To 155 ft.																																																									
Screen? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Type stainless	Make JOHNSON																																																							
Diameter 4 in.	Length 15 ft.	Set 151 ft.	155 ft.																																																						
Static Water Level 72 ft. land surface Measure 09/11/1978																																																									
Pumping Level (below land surface) ft. hrs. Pumping at 75 g.p.m.																																																									
Wellhead Completion Fitters adapter manufacturer <input type="checkbox"/> Casing Protection <input type="checkbox"/> 12 in. above grade <input type="checkbox"/> At-grade (Environmental Wells and Borings ONLY)																																																									
GROUTING INFORMATION Well Grouted? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not Specified																																																									
Nearest Known Source of Contamination feet Direction Type Well disinfested upon completion? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																																																									
Pump <input type="checkbox"/> Not Installed Date Installed 10/30/1978 Manufacturer's name DEMPSTER Model Number MP3-75-S2 HP 0.75 Volt 230 Length of drop pipe 84 ft Capacity 18 g.p. Typ Submersible																																																									
Abandoned Does property have any not in use and not sealed wells? <input type="checkbox"/> Yes <input type="checkbox"/> No																																																									
Variance Was a variance granted from the MDH for this well? <input type="checkbox"/> Yes <input type="checkbox"/> No																																																									
Miscellaneous First Bedrock: sand-brown Aquifer Quant. Coried Last Strat sand-brown Depth to Bedrock ft. Located by Minnesota Geological Survey Locate Method Digitized - scale 1:24,000 or larger (Digitizing Table) System UTM - NAD83, Zone 15, Meters X 440417 Y 4986629 Unique Number Verification Information from Input Date 01/04/1990																																																									
Angled Drill Hole																																																									
Well Contractor Stevens Well Co. 27194 STEVENS, J. Licensee Business Lic. or Reg. No. Name of Driller																																																									

County Hennepin
 Quad Delano
 Quad ID 122D

158117

MINNESOTA DEPARTMENT OF HEALTH
WELL AND BORING REPORT
 Minnesota Statutes Chapter 103J

Entry Date 08/24/1991
 Update Date 04/05/2016
 Received Date

Well Name MAAS, ROGER Well INDEPENDENCE MN 55359 Elevation 955 ft. Elev. Method 7.5 minute topographic map (+/- 5 feet)					Well Depth 169 ft. Depth Completed 169 ft. Drill Method Non-specified Rotary Drill Fluid		Date Well Completed 08/05/1978																																																								
Address Well INDEPENDENCE MN 55359					Use domestic Status Active																																																										
Stratigraphy Information <table border="1"> <thead> <tr> <th>Geological Material</th> <th>From</th> <th>To (ft.)</th> <th>Color</th> <th>Hardness</th> </tr> </thead> <tbody> <tr> <td>CLAY</td> <td>0</td> <td>12</td> <td>YELLOW</td> <td></td> </tr> <tr> <td>CLAY</td> <td>12</td> <td>67</td> <td>BLUE</td> <td></td> </tr> <tr> <td>MUDDY GRAVEL</td> <td>67</td> <td>90</td> <td></td> <td>SOFT</td> </tr> <tr> <td>CLAY & SAND</td> <td>90</td> <td>120</td> <td>BLUE</td> <td></td> </tr> <tr> <td>CLAY</td> <td>120</td> <td>127</td> <td>BLUE</td> <td>HARD</td> </tr> <tr> <td>SHALE & ST. PETER</td> <td>127</td> <td>137</td> <td>WHITE</td> <td></td> </tr> <tr> <td>SHALE & ST. PETER</td> <td>137</td> <td>146</td> <td>YELLOW</td> <td></td> </tr> <tr> <td>SHALE & SANDSTONE</td> <td>146</td> <td>152</td> <td>VARIED</td> <td></td> </tr> <tr> <td>SHALE</td> <td>152</td> <td>157</td> <td>BROWN</td> <td>HARD</td> </tr> <tr> <td>ST. PETER</td> <td>157</td> <td>169</td> <td>GRAY</td> <td>SOFT</td> </tr> </tbody> </table>					Geological Material	From	To (ft.)	Color	Hardness	CLAY	0	12	YELLOW		CLAY	12	67	BLUE		MUDDY GRAVEL	67	90		SOFT	CLAY & SAND	90	120	BLUE		CLAY	120	127	BLUE	HARD	SHALE & ST. PETER	127	137	WHITE		SHALE & ST. PETER	137	146	YELLOW		SHALE & SANDSTONE	146	152	VARIED		SHALE	152	157	BROWN	HARD	ST. PETER	157	169	GRAY	SOFT	Well Hydrofractured? Yes <input type="checkbox"/> No <input type="checkbox"/> From To Casing Type Single casing Joint Threaded Drive Shoe? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Above/Below Casing Diameter 4 in. To 161 ft. 11 lbs./ft. Hole Diameter 6.2 in. To 169 ft.			
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					Open Hole From ft. To ft. Screen? <input checked="" type="checkbox"/> Type stainless Make JOHNSON Diameter 4 in. Slot/Gauze 12 Length 8 ft. Set 161 ft. 169 ft.																																																										
					Static Water Level 52 ft. land surface Measure 08/05/1978																																																										
					Pumping Level (below land surface) ft. hcp. Pumping at 100 g.p.m.																																																										
					Wellhead Completion Without adapter main manufacturer <input type="checkbox"/> Model <input type="checkbox"/> Casing Protection <input type="checkbox"/> 12 in. above grade <input type="checkbox"/> At-grade (Environmental Wells and Borings ONLY)																																																										
					Grouting Information Well Grouted? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not Specified																																																										
					Nearest Known Source of Contamination feet Direction Type Well disinfected upon completion? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																																																										
					Pump <input type="checkbox"/> Not installed Date installed 10/29/1978 Manufacturer's name DEMPSTER Model Number MEL-50-S2 HP 0.5 Volt 230 Length of drop pipe 63 ft Capacity 15 g.p. Typ Submersible																																																										
					Abandoned Does property have any not in use and not sealed well(s)? <input type="checkbox"/> Yes <input type="checkbox"/> No																																																										
					Variance Was a variance granted from the MDH for this well? <input type="checkbox"/> Yes <input type="checkbox"/> No																																																										
					Miscellaneous First Bedrock St. Peter Sandstone Aquifer Jordan Last Strata Jordan Sandstone Depth to Bedrock 127 ft Located by Minnesota Geological Survey Locate Method Digitization (Screen) - Map (1:24,000) (15 meters or System UTM - NAD83, Zone 15, Meters X 440271 Y 4986814 Unique Number Verification Information from Input Date 06/02/2000																																																										
					Angled Drill Hole																																																										
					Well Contractor Stevens Well Co. 27194 STEVEN'S, J. Licensee Business Lic. or Reg. No. Name of Driller																																																										
Remarks																																																															

173227

County Hennepin
 Quad Delano
 Quad ID 122D

MINNESOTA DEPARTMENT OF HEALTH
WELL AND BORING REPORT
 Minnesota Statutes Chapter 103J

Entry Date 08/24/1991
 Update Date 04/05/2016
 Received Date

Well Name ZEGLIN, JOHN	Township 118	Range 24	Dir Section W 18	Subsection BABAAD	Well Depth 169 ft.	Depth Completed 169 ft.	Date Well Completed 08/12/1980																																																							
Elevation 974 ft.	Elev. Method 7.5 minute topographic map (+/- 5 feet)				Drill Method Non-specified Rotary	Drill Fluid																																																								
Address C/W 9285 12 HY INDEPENDENCE MN 55359					Use domestic Status Active																																																									
Stratigraphy Information <table border="1"> <thead> <tr> <th>Geological Material</th> <th>From</th> <th>To (ft.)</th> <th>Color</th> <th>Hardness</th> </tr> </thead> <tbody> <tr> <td>TOP SOIL</td> <td>0</td> <td>2</td> <td></td> <td></td> </tr> <tr> <td>CLAY</td> <td>2</td> <td>25</td> <td>YELLOW</td> <td></td> </tr> <tr> <td>CLAY</td> <td>25</td> <td>35</td> <td>BROWN</td> <td></td> </tr> <tr> <td>CLAY</td> <td>35</td> <td>54</td> <td>BLUE</td> <td></td> </tr> <tr> <td>SANDY CLAY</td> <td>54</td> <td>71</td> <td>RED</td> <td></td> </tr> <tr> <td>GRAVEL</td> <td>71</td> <td>77</td> <td></td> <td></td> </tr> <tr> <td>GRAVEL & GRAY CLAY</td> <td>77</td> <td>122</td> <td></td> <td></td> </tr> <tr> <td>SANDY CLAY</td> <td>122</td> <td>138</td> <td>RED</td> <td></td> </tr> <tr> <td>SHALE</td> <td>138</td> <td>161</td> <td>VARIED</td> <td></td> </tr> <tr> <td>FINE SANDSTONE</td> <td>161</td> <td>169</td> <td>GRAY</td> <td></td> </tr> </tbody> </table>					Geological Material	From	To (ft.)	Color	Hardness	TOP SOIL	0	2			CLAY	2	25	YELLOW		CLAY	25	35	BROWN		CLAY	35	54	BLUE		SANDY CLAY	54	71	RED		GRAVEL	71	77			GRAVEL & GRAY CLAY	77	122			SANDY CLAY	122	138	RED		SHALE	138	161	VARIED		FINE SANDSTONE	161	169	GRAY		Well Hydrofractured? Yes <input type="checkbox"/> No <input type="checkbox"/> From To		
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Pumping Level (below land surface) ft. hrs. Pumping at 100 g.p.m.																																																														
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Grouting Information Well Grouted? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not Specified																																																														
Nearest Known Source of Contamination feet Direction Type Well disinfected upon completion? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																																																														
Pump <input type="checkbox"/> Not Installed Date Installed 08/14/1980 Manufacturer's name AERMOTOR Model Number HP 0.5 Volt 220 Length of drop pipe 22 ft Capacity 100 g.p. Typ Submersible																																																														
Abandoned Does property have any not in use and not sealed well(s)? <input type="checkbox"/> Yes <input type="checkbox"/> No																																																														
Variance Was a variance granted from the MDH for this well? <input type="checkbox"/> Yes <input type="checkbox"/> No																																																														
Miscellaneous First Bedrock St. Peter Sandstone Aquifer Jordan Last Strat Jordan Sandstone Depth to Bedrock 138 ft Located by Minnesota Geological Survey Locate Method Digitized - scale 1:24,000 or larger (Digitizing Table) System UTM - NAD83, Zone 15; Meters X 440149 Y 4987157 Unique Number Verification Information from Input Date 01/04/1990																																																														
Angled Drill Hole																																																														
Well Contractor Stevens Well Co. 27194 DVORAK, J. Licensee Business Lic. or Reg. No. Name of Driller																																																														
Remarks																																																														

190340

County Hennepin

Quad Delano

Quad ID 122D

MINNESOTA DEPARTMENT OF HEALTH
WELL AND BORING REPORT
Minnesota Statutes Chapter 103J

Entry Date 07/05/1991

Update Date 03/12/2015

Received Date

Well Name JORDAN	Township 118	Range 24	Dir Section W 18	Subsection ACBBBD	Well Depth 151 ft.	Depth Completed 151 ft.	Date Well Completed 01/03/1983
Elevation 971 ft.	Elev. Method LIDAR 1m DEM (MNDNR)				Drill Method Non-specified Rotary	Drill Fluid	
Address C/W 2960 NELSON RD INDEPENDENCE MN					Use domestic Status Active		
Stratigraphy Information					Well Hydrofractured? Yes <input type="checkbox"/> No <input type="checkbox"/> From To		
Geological Material					Casing Type Single casing Joint Threaded		
					Drive Shoe? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Above/Below		
TOPSOIL From 0 To (ft.) 2 Color Hardness					Casing Diameter 4 in. To 147 ft. 10.7 lbs./ft. Hole Diameter 6.2 in. To 151 ft.		
CLAY 2 31 YELLOW							
CLAY 31 40 GREEN							
DIRTY GRAVEL 40 46							
CLAY 46 61 BLUE							
FINE SAND 61 70							
CLAY 70 91 RED							
GRAVEL 91 106							
SANDY CLAY 106 115 GRAY							
GRAVEL 115 143							
SAND 143 151 BROWN							
					Open Hole From ft. To ft.		
					Screen? <input checked="" type="checkbox"/> Type stainless Makes JOHNSON		
					Diameter 4 in. Slot/Gauge 18 Length 4 ft. Set 147 ft. 151 ft.		
					Static Water Level 67 ft. land surface Measure 01/03/1983		
					Pumping Level (below land surface) ft. hrs. Pumping at 100 g.p.m.		
					Wellhead Completion Process adapter manufacturer MONITOR Model		
					<input type="checkbox"/> Casing Protection <input type="checkbox"/> 12 in. above grade		
					<input type="checkbox"/> At-grade (Environmental Wells and Borings ONLY)		
					Croeting Information Well Grouted? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not Specified		
					Nearest Known Source of Contamination feet Direction Type		
					Well disinfected upon completion? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
					Pump <input checked="" type="checkbox"/> Not Installed Date Installed		
					Manufacturer's name		
					Model Number HP Vol		
					Length of drop pipe ft. Capacity g.p. Typ		
					Abandoned Does property have any not in use and not sealed well(s)? <input type="checkbox"/> Yes <input type="checkbox"/> No		
					Variance Was a variance granted from the MDH for this well? <input type="checkbox"/> Yes <input type="checkbox"/> No		
					Miscellaneous First Bedrock Aquifer Qual. buried		
					Last Strat sand-brown Depth to Bedrock ft		
					Located by Minnesota Geological Survey		
					Locate Method GPS SA Off (averaged) (15 meters)		
					System UTM - NAD83, Zone 15, Meters X 440390 Y 4986758		
					Unique Number/Verification Address Verification Input Date 07/28/2014		
					Angled Drill Note		
					Well Contractor Stevens Well Co. 27194 STEVENS, D.		
					Licenses Business Lic. or Reg. No. Name of Driller		
Remarks							

420169

County Hennepin
 Quad Delano
 Quad ID 122D

MINNESOTA DEPARTMENT OF HEALTH
WELL AND BORING REPORT
 Minnesota Statutes Chapter 1031

Entry Date 08/24/1991
 Update Date 04/05/2016
 Received Date

Well Name SCHOENBORN, 118	Township 24	Range W 7	Subsection CCDCDA	Well Depth 169 ft.	Depth Completed 169 ft.	Date Well Completed 08/06/1986																			
Elevation 971 ft.	Elev. Method 7.5 minute topographic map (+/- 5 feet)			Drill Method Non-specified Rotary	Drill Fluid																				
Address Well 9414 12 HY INDEPENDENCE MN 55359				Use domestic	Status Active																				
Stratigraphy Information <table border="1"> <thead> <tr> <th>Geological Material</th> <th>From</th> <th>To (ft.)</th> <th>Color</th> <th>Hardness</th> </tr> </thead> <tbody> <tr> <td>CLAY</td> <td>0</td> <td>90</td> <td></td> <td></td> </tr> <tr> <td>GRAVEL</td> <td>90</td> <td>140</td> <td></td> <td></td> </tr> <tr> <td>SHALE & SANDROCK</td> <td>140</td> <td>169</td> <td></td> <td></td> </tr> </tbody> </table>				Geological Material	From	To (ft.)	Color	Hardness	CLAY	0	90			GRAVEL	90	140			SHALE & SANDROCK	140	169			Well Hydrofractured? Yes <input type="checkbox"/> No <input type="checkbox"/> From To	
				Geological Material	From	To (ft.)	Color	Hardness																	
				CLAY	0	90																			
				GRAVEL	90	140																			
				SHALE & SANDROCK	140	169																			
				Casing Type Single casing Joint																					
				Drive Shoe? Yes <input type="checkbox"/> No <input type="checkbox"/> Above/Below																					
				Casing Diameter 4 in. To 165 ft.	Weight lbs./ft.																				
				Open Hole From ft. To ft.																					
				Screen? Diameter 2 in. Length 12 ft.	Type stainless	Make JOHNSON																			
Static Water Level 98 ft. land surface		Measure 08/06/1986																							
Pumping Level (below land surface) ft. hrs. Pumping at 20 g.p.m.																									
Wellhead Completion Wellhead adapter manufacturer WHITEWATER Model																									
<input type="checkbox"/> Casing Protection <input type="checkbox"/> 12 in. above grade																									
<input type="checkbox"/> At-grade (Environmental Wells and Borings ONLY)																									
Grouting Information Material neat cement			Well Grouted? Amount From To	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Specified																					
Nearest Known Source of Contamination feet Direction			Well disinfected upon completion? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Type																				
Pump Manufacturer's name RED JACKET Model Number HP 0.75 Length of drop pipe 100 ft. Capacity g.p. Typ Submersible			Date Installed 08/06/1986																						
Abandoned Does property have any not in use and not sealed well(s)?			<input type="checkbox"/> Yes <input type="checkbox"/> No																						
Variance Was a variance granted from the MDH for this well?			<input type="checkbox"/> Yes <input type="checkbox"/> No																						
Miscellaneous First Bedrock St. Peter-Jordan Last Strata St. Peter-Jordan Located by Minnesota Geological Survey Locate Method Digitized - scale 1:24,000 or larger (Digitizing Table) System UTM - NAD83, Zone 15, Meters Unique Number Verification Information from			Aquifer St. Peter-Jordan Depth to Bedrock 140 ft.	Y 4987220 Input Date 03/01/1990																					
Angled Drill Hole																									
Well Contractor Torgerson Well Co. Licensee Business			27066 Lic. or Reg. No.	TORGERSON, S. Name of Driller																					

426199

County Hennepin
 Quad Delano
 Quad ID 122D

MINNESOTA DEPARTMENT OF HEALTH
WELL AND BORING REPORT
 Minnesota Statutes Chapter 1031

Entry Date 08/24/1991
 Update Date 02/14/2014
 Received Date

Well Name SCHAUST, ED	Township 118	Range 24	Dir Section W 18	Subsection ABBBC	Well Depth 182 ft.	Depth Completed 182 ft.	Date Well Completed 12/03/1986
Elevation 1002	Elev. Method 7.5 minute topographic map (+/- 5 feet)				Drill Method Non-specified Rotary	Drill Fluid	
Address C/W 3148 NELSON RD INDEPENDENCE MN					Use domestic	Status Active	
Stratigraphy Information Geological Material From To (ft.) Color Hardness CLAY 0 65 GRAVEL 65 95 CLAY 95 130 WATER SAND 130 182					Well Hydrofractured? Yes <input type="checkbox"/> No <input type="checkbox"/> From To		
					Casing Type Single casing Joint		
					Drive Shoe? Yes <input type="checkbox"/> No <input type="checkbox"/> Above/Below		
					Casing Diameter 4 in. To 177 ft.	Weight lbs./ft.	
					Open Hole From ft. To ft.		
					Screen? <input checked="" type="checkbox"/> Slot/Gauze	Type stainless	Make JOHNSON
					Diameter 2 in.	Length ft.	Set ft.
					Static Water Level 60 ft. land surface Measure 12/03/1986		
					Pumping Level (below land surface) ft. hrs. Pumping at 30 g.p.m.		
					Wellhead Completion Pitless adapter manufacturer WHITEWATER Model <input type="checkbox"/> Casing Protection <input type="checkbox"/> 12 in. above grade <input type="checkbox"/> At-grade (Environmental Wells and Borings ONLY)		
					Grouting Information Well Grouted? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Specified Material Amount From To well grouted, type unknown ft. ft.		
					Nearest Known Source of Contamination feet Direction Type Well disinfected upon completion? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
					Pump <input type="checkbox"/> Not Installed Date Installed 12/04/1986 Manufacturer's name RED JACKET Model Number HP 2 Volt Length of drop pipe 80 ft Capacity g.p. Typ Submersible		
					Abandoned Does property have any not in use and not sealed well(s)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
					Variance Was a variance granted from the MDH for this well? <input type="checkbox"/> Yes <input type="checkbox"/> No		
					Miscellaneous First Bedrock Aquifer Quasi-buried Last Strat sand Depth to Bedrock ft. Located by Minnesota Geological Survey Locs Method Digitized - scale 1:24,000 or larger (Digitizing Table) System UTM - NAD83, Zone 15, Meters X 440470 Y 4987096 Unique Number Verification Information from Input Date 01/01/1990		
					Angled Drill Hole		
					Well Contractor Torgerson Well Co. 27056 TORGERSON, S. Licensee Business Lic. or Reg. No. Name of Driller		
Remarks							

County Hennepin

MINNESOTA DEPARTMENT OF HEALTH WELL AND BORING REPORT

Entry Date 07/05/1991

Update Date 03/12/2015

Received Date

426898

Quad Delano

Quad ID 122D

Minnesota Statutes Chapter 1031

Well Name	Township	Range	Eir Section	Subsection	Well Depth	Depth Completed	Date Well Completed
JOHNSON, RICH	118	24	W 18	ABCBAB	151 ft.	151 ft.	05/20/1987
Elevation	990 ft.	Elev. Method	LIDAR in DEM (MNDNR)				
Address					Drill Method	Non-specified Rotary	Drill Fluid
C/W 3104 NELSON RD INDEPENDENCE MN					Bentonite		
Stratigraphy Information					Use	domestic	Status
Geological Material	From	To (ft.)	Color	Hardness	Active		
CLAY	0	30	YELLOW	MEDIUM			
CLAY	30	35	BROWN	HARD			
CLAY	35	65	GRAY	MEDIUM			
GRAVEL	65	83	BLUE	MEDIUM			
CLAY	83	85	GRAY	MEDIUM			
GRAVEL	85	93	BLUE	MEDIUM			
CLAY	93	100	GRAY	MEDIUM			
SAND SILTY	100	110	GRAY	SOFT			
CLAY GRAY	110	145	GRAY	MEDIUM			
GRAVEL (GOOD)	145	151	BLO/GRY	MEDIUM			
Well Hydrofractured?					Yes	<input type="checkbox"/>	No
Casing Type					Single casing	Joint	
Drive Shoe?					Yes	<input type="checkbox"/>	No
Casing Diameter					Weight	Hold Diameter	
4 in. To 147 ft.					151 ft.	6.2 in. To 151 ft.	
Open Hole					From	To	
Screen?					<input checked="" type="checkbox"/>	Type	Make
Diameter					Slot/Gauge	Length	Set
in. 15					4 ft.	147 ft.	151 ft.
Static Water Level					70 ft.	land surface	Measure
Pumping Level (below land surface)					ft.	1 hrs.	Pumping at
Wellhead Completion					25	g.p.m.	
Fitless adapter manufacturer					WHITEWATER	Model	
Casing Protection					<input checked="" type="checkbox"/>	12 in. above grade	
At-grade (Environmental Wells and Borings ONLY)							
Grouting Information					Well Grouted?	<input checked="" type="checkbox"/>	Yes
Material					Amount	From	To
bentonite					18 Cubic feet	7 ft.	140 ft.
Nearest Known Source of Contamination					100 feet	Southwest Direction	Septic tank/drain field Type
Well disinfected upon completion?					<input checked="" type="checkbox"/>	Yes	<input type="checkbox"/>
Pump					<input type="checkbox"/>	Not Installed	Date Installed
Manufacturer's name					MYERS	HP	230
Model Number					1711P	Capacity	12 g.p.
Length of deep pipe					126 ft.	Typ	Submersible
Abandoned					Does property have any not in use and not sealed well(s)?	<input type="checkbox"/>	Yes
Variance					<input type="checkbox"/>	Yes	<input type="checkbox"/>
Miscellaneous					First Bedrock	Aquifer	Quart. buried
Last Strata					gravel (+larger)-gray	Depth to Bedrock	ft.
Located by					Minnesota Geological Survey		
Locate Method					GPS SA Off (averaged) (15 meters)		
System					UTM - NAD83, Zone 15, Meters	X 440423	Y 4986982
Unique Number Verification					Address verification	Input Date	07/28/2014
Angled Drill Hole							
Well Contractor					Bergerson-Caswell	27058	SCHMIDT, L
License Business					Lic. or Reg. No.	Name of Driller	

466002

County Hennepin

Quad Delano

Quad ID 122D

MINNESOTA DEPARTMENT OF HEALTH
WELL AND BORING REPORT
 Minnesota Statutes Chapter 1031

Entry Date 07/15/1992

Update Date 04/05/2016

Received Date

Well Name THOMAS, JACOB	Township 118	Range 24	Dir Section W 18	Subsection BCDDAD	Well Depth 168 ft.	Depth Completed 168 ft.	Date Well Completed 05/01/1990																				
Elevation 979 ft.	Elev. Method LIDAR Im DEM (MNDNR)				Drill Method Non-specified Rotary	Drill Fluid																					
Address C/W 2828 COUNTY LINE RD DELANO MN					Use domestic	Status Active																					
Stratigraphy Information <table border="1"> <thead> <tr> <th>Geological Material</th> <th>From</th> <th>To (ft.)</th> <th>Color</th> <th>Hardness</th> </tr> </thead> <tbody> <tr> <td>CLAY</td> <td>0</td> <td>125</td> <td></td> <td></td> </tr> <tr> <td>GRAVEL</td> <td>125</td> <td>150</td> <td></td> <td></td> </tr> <tr> <td>SHALE & SOFT</td> <td>150</td> <td>168</td> <td></td> <td></td> </tr> </tbody> </table>					Geological Material	From	To (ft.)	Color	Hardness	CLAY	0	125			GRAVEL	125	150			SHALE & SOFT	150	168			Well Hydrofractured? Yes <input type="checkbox"/> No <input type="checkbox"/> From <input type="checkbox"/> To <input type="checkbox"/>		
					Geological Material	From	To (ft.)	Color	Hardness																		
					CLAY	0	125																				
					GRAVEL	125	150																				
SHALE & SOFT	150	168																									
Casing Type Single casing	Joint																										
Drive Shoe? Yes <input type="checkbox"/> No <input type="checkbox"/>	Above/Below																										
					Casing Diameter 4 in. To 163 ft.	Weight lbs./ft.																					
					Open Hole From ft. To ft.																						
					Screen? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/>	Type stainless	Make JOHNSON																				
					Diameter 2 in.	Slot/Gauge 12	Set 163 ft. 168 ft.																				
					Static Water Level 60 ft. land surface Measure 05/01/1990																						
					Pumping Level (below land surface) ft. hrs. Pumping at 25 g.p.m.																						
					Wellhead Completion Pileless adapter manufacturer WHITEWATER Model																						
					Casing Protection <input type="checkbox"/> 12 in. above grade																						
					At-grade (Environmental Wells and Borings ONLY)																						
					Grouting Information Well Grouted? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Specified																						
					Material neat cement	Amount From ft. To ft.	40 ft.																				
					Nearest Known Source of Contamination feet Direction Type																						
					Well disinfected upon completion? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																						
					Pump <input type="checkbox"/> Not Installed	Date Installed 05/01/1990																					
					Manufacturer's name JACUZZI	Model Number HP 0.75	Volts Type Submersible																				
					Length of drop pipe 80 ft	Capacity g.p.																					
					Abandoned Does property have any not in use and not sealed well(s)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																						
					Variance Was a variance granted from the MDH for this well? <input type="checkbox"/> Yes <input type="checkbox"/> No																						
					Miscellaneous First Bedrock St. Peter-Jordan Aquifer St. Peter-Jordan																						
					Last Strat St. Peter-Jordan	Depth to Bedrock 150	ft.																				
					Located by Minnesota Geological Survey																						
					Locate Method GPS SA OK (averaged) (15 meters)																						
					System UTM - NAD83, Zone 15, Meters	X 439970	Y 4986443																				
					Unique Number Verification	Address verification	Input Date 07/28/2014																				
					Angled Drill Hole																						
					Well Contractor Torgerson Well Co. 27056 TORGERSON, S. Licensee Business Lic. or Reg. No. Name of Driller																						

Remarks

OLD WELL PERMANENTLY SEALED; FORM FILED.

485623

County Hennepin

Quad Delano

Quad ID 122D

MINNESOTA DEPARTMENT OF HEALTH
WELL AND BORING REPORT
Minnesota Statutes Chapter 1031

Entry Date 12/23/1992

Update Date 03/07/2015

Received Date

Well Name GARDNER,	Township 118	Range 24	Dir Section W 7	Subsection CCCCAC	Well Depth 167 ft.	Depth Completed 167 ft.	Date Well Completed 06/11/1992																																																	
Elevation 985 ft.	Elev. Method LIDAR 1m DEM (MNDNR)	Drill Method Non-specified Rotary		Drill Fluid Bentonite																																																				
Address C/W 9560 12 HY DELANO MN					Use domestic	Status Active																																																		
Stratigraphy Information <table border="1"> <thead> <tr> <th>Geological Material</th> <th>From</th> <th>To (ft.)</th> <th>Color</th> <th>Hardness</th> </tr> </thead> <tbody> <tr> <td>CLAY</td> <td>0</td> <td>30</td> <td>YELLOW</td> <td></td> </tr> <tr> <td>CLAY & GRAVEL</td> <td>30</td> <td>50</td> <td>YELLOW</td> <td></td> </tr> <tr> <td>CLAY & GRAVEL</td> <td>50</td> <td>70</td> <td>GRAY</td> <td></td> </tr> <tr> <td>GRAVEL</td> <td>70</td> <td>95</td> <td>VARIED</td> <td></td> </tr> <tr> <td>GRAVEL & CLAY</td> <td>95</td> <td>120</td> <td>RED</td> <td></td> </tr> <tr> <td>GRAVEL</td> <td>120</td> <td>145</td> <td>VARIED</td> <td></td> </tr> <tr> <td>GRAVEL & CLAY</td> <td>145</td> <td>155</td> <td>RED</td> <td></td> </tr> <tr> <td>GRAVEL & SAND</td> <td>155</td> <td>167</td> <td>VARIED</td> <td></td> </tr> <tr> <td>GRAVEL & SHALE</td> <td>167</td> <td>167</td> <td>WHITE</td> <td></td> </tr> </tbody> </table>					Geological Material	From	To (ft.)	Color	Hardness	CLAY	0	30	YELLOW		CLAY & GRAVEL	30	50	YELLOW		CLAY & GRAVEL	50	70	GRAY		GRAVEL	70	95	VARIED		GRAVEL & CLAY	95	120	RED		GRAVEL	120	145	VARIED		GRAVEL & CLAY	145	155	RED		GRAVEL & SAND	155	167	VARIED		GRAVEL & SHALE	167	167	WHITE		Well Hydractuated? Yes <input type="checkbox"/> No <input type="checkbox"/>	From Ta
					Geological Material	From	To (ft.)	Color	Hardness																																															
					CLAY	0	30	YELLOW																																																
					CLAY & GRAVEL	30	50	YELLOW																																																
					CLAY & GRAVEL	50	70	GRAY																																																
					GRAVEL	70	95	VARIED																																																
					GRAVEL & CLAY	95	120	RED																																																
					GRAVEL	120	145	VARIED																																																
					GRAVEL & CLAY	145	155	RED																																																
					GRAVEL & SAND	155	167	VARIED																																																
GRAVEL & SHALE	167	167	WHITE																																																					
Casing Type Single casing	Joint Glued																																																							
Drive Shoe? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Above/Below																																																							
Casing Diameter 4 in. To 162 ft.	Weight lbs./ft.	Hole Diameter 8 in. To 167 ft.																																																						
Open Hole From ft. To ft.																																																								
Screen? <input checked="" type="checkbox"/>	Type telescoping	Make JOHNSON																																																						
Diameter 4 in.	Slot/Gauge 18	Length 3 ft.	Set 162 ft. 167 ft.																																																					
Static Water Level 69 ft. land surface Measure 06/11/1992																																																								
Pumping Level (below land surface) ft. hrs. Pumping at 100 g.p.m.																																																								
Wellhead Completion Fitness adapter manufacturer MAASS Model J <input type="checkbox"/> Casing Protection <input type="checkbox"/> 12 in. above grade <input type="checkbox"/> At-grade (Environmental Wells and Borings ONLY)																																																								
Grouting Information Well Grouted? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Specified Material neat cement Amount From ft. To ft. 30 ft.																																																								
Nearest Known Source of Contamination feet Direction Type Well disinfected upon completion? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																																																								
Pump <input type="checkbox"/> Not Installed Date Installed 06/12/1992 Manufacturer's name GOULDS Model Number HP 0.75 Volt 230 Length of drop pipe 100 ft Capacity 12 g.p. Typ. Submersible																																																								
Abandoned Does property have any not in use and not sealed well(s)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																																																								
Variance Was a variance granted from the MDH for this well? <input type="checkbox"/> Yes <input type="checkbox"/> No																																																								
Miscellaneous First Bedrock Aquifer Quasi, buried Last Strat pebbly sand/silt/clay- Depth to Bedrock ft Located by Minnesota Geological Survey Elevation Method GPS SA Off (averaged) (15 meters) System UTM - NAD83, Zone 15, Meters X 439672 Y 4987237 Unique Number Verification Address verification Input Date 07/28/2014																																																								
Angled Drill Hole																																																								
Well Contractor Stevens Well Drilling Co. Inc. 86654 JOHNSON, R Licensee Business Lic. or Reg. No. Name of Driller																																																								
Minnesota Well Index Report		485623		Printed on 11/14/2023 NE-012015-15																																																				

County Hennepin

MINNESOTA DEPARTMENT OF HEALTH
WELL AND BORING REPORT
Minnesota Statutes Chapter 103J

Entry Date 03/29/1993

Update Date 03/12/2015

Received Date

516858

Quad Delano

Quad ID 122D

Well Name POOL, KEVIN	Township 118	Range 24	Dir Section W 18	Subsection ABCACB	Well Depth 170 ft.	Depth Completed 170 ft.	Date Well Completed 09/00/1992
Elevation 988 ft.	Elev. Method LIDAR 1m DEM (MNDNR)				Drill Method Non-specified Rotary	Drill Fluid Water	
Address C/W 3066 NELSON RD INDEPENDENCE MN					Use domestic Status Active		
Stratigraphy Information					Well Hydrofractured? Yes <input type="checkbox"/> No <input type="checkbox"/> From <input type="checkbox"/> To <input type="checkbox"/>		
Geological Material					Casing Type Single casing Joint		
					Drive Shoe? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Above/Below		
CLAY From 0 To (ft.) 28 Color BROWN Hardness MEDIUM					Casing Diameter Weight Hole Diameter		
CLAY 28 140 GRAY MEDIUM					4 in. To 166 ft. lbs./ft. 8 in. To 30 ft.		
CLAY & SAND 140 158 GRAY MEDIUM					7 in. To 170 ft.		
WATER SAND 158 170 GRAY SOFT							
					Open Hole From ft. To ft.		
					Screen? <input checked="" type="checkbox"/> Type stainless Make JOHNSON		
					Diameter Slot/Gauze Length Set		
					2.5 in. 12 4 ft. 166 ft. 170 ft.		
					Static Water Level		
					78 ft. land surface Measure 09/00/1992		
					Pumping Level (below land surface)		
					170 ft. 2 hrs. Pumping at 30 g.p.m.		
					Wellhead Completion		
					Fits to adapter manufacturer WHITEWATER Model 4X5X6.5		
					<input type="checkbox"/> Casing Protection <input type="checkbox"/> 12 in. above grade		
					<input type="checkbox"/> At-grade (Environmental Wells and Borings ONLY)		
					Grouting Information Well Grouted? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Specified		
					Material Amount From To		
					benetomite ft. ft.		
					heat cement 1 Cubic yards ft. 30 ft.		
					Nearest Known Source of Contamination		
					100 feet West Direction Sewer Type		
					Well disinfected upon completion? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
					Pump <input type="checkbox"/> Not Installed Date Installed: 09/00/1992		
					Manufacturer's name MEYRES		
					Model Number HP 0.75 Volt 230		
					Length of drop pipe 110 ft Capacity 12 g.p. Type Submersible		
					Abandoned		
					Does property have any not in use and not sealed well(s)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
					Variance		
					Was a variance granted from the MDR for this well? <input type="checkbox"/> Yes <input type="checkbox"/> No		
					Miscellaneous		
					Flux Bedrock Aquifer Quar. buried		
					Last Strat sand-gray Depth to Bedrock ft		
					Located by Minnesota Geological Survey		
					Locate Method GPS SA Off (averaged) (15 meters)		
					System UTM - NAD83, Zone 15, Meters X 440473 Y 4986940		
					Unique Number Verification Address verification Input Date 07/28/2014		
					Angled Drill Hole		
					Well Contractor		
					Driller 27264 URAN, J.		
					Licensee Business Lic. or Reg. No. Name of Driller		
Remarks							

535967

County Hennepin
 Quad Delano
 Quad ID 122D

MINNESOTA DEPARTMENT OF HEALTH
WELL AND BORING REPORT
 Minnesota Statutes Chapter 103J

Entry Date 12/02/1996
 Update Date 03/12/2015
 Received Date

Well Name MCKINLEY,	Township 118	Range 24	Dir Section W 18	Subsection BDDBBB	Well Depth 160 ft.	Depth Completed 160 ft.	Date Well Completed 09/08/1994																				
Elevation 972 ft.	Elev. Method LiDAR 1m DEM (MNDNR)	Drill Method Non-specified Rotary		Drill Fluid																							
Address C/W 2883 NELSON RD INDEPENDENCE MN					Use domestic	Status Active																					
Stratigraphy Information <table border="1"> <thead> <tr> <th>Geological Material</th> <th>From</th> <th>To (ft.)</th> <th>Color</th> <th>Hardness</th> </tr> </thead> <tbody> <tr> <td>CLAY</td> <td>0</td> <td>22</td> <td>BROWN</td> <td>MEDIUM</td> </tr> <tr> <td>CLAY</td> <td>22</td> <td>148</td> <td>GRAY</td> <td>MEDIUM</td> </tr> <tr> <td>SAND FINE</td> <td>148</td> <td>160</td> <td>GRAY</td> <td>MEDIUM</td> </tr> </tbody> </table>					Geological Material	From	To (ft.)	Color	Hardness	CLAY	0	22	BROWN	MEDIUM	CLAY	22	148	GRAY	MEDIUM	SAND FINE	148	160	GRAY	MEDIUM	Well Hydrofractured? Yes <input type="checkbox"/> No <input type="checkbox"/> From <input type="checkbox"/> To <input type="checkbox"/>		
					Geological Material	From	To (ft.)	Color	Hardness																		
					CLAY	0	22	BROWN	MEDIUM																		
					CLAY	22	148	GRAY	MEDIUM																		
					SAND FINE	148	160	GRAY	MEDIUM																		
Casing Type Single casing	Joint																										
Drive Shoe? Yes <input type="checkbox"/> No <input type="checkbox"/>	Above/Below																										
Casing Diameter 4 in. To 155 ft.	Weight lbs./ft.	Hole Diameter 8.7 in. To 30 ft. 6.5 in. To 160 ft.																									
Open Hole From <input type="checkbox"/> To <input type="checkbox"/>																											
Screen? <input checked="" type="checkbox"/>					Type stainless	Make JOHNSON																					
Diameter 2.5 in.					Slot/Gauze 12	Length 5 ft.	Set 155 ft. 160 ft.																				
Static Water Level 52 ft. land surface					Measure	09/08/1994																					
Pumping Level (below land surface) 160 ft. 2 hrs. Pumping at 12 g.p.m.																											
Wellhead Completion Pileless adapter manufacturer: MERRILL Model: SPP <input type="checkbox"/> Casing Protection <input checked="" type="checkbox"/> 12 in. above grade <input type="checkbox"/> At-grade (Environmental Wells and Borings ONLY)																											
Grouting Information Well Grouted? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Specified																											
Material well grouted, type unknown					Amount 3 Sacks	From ft. 30	To ft.																				
Nearest Known Source of Contamination 75 feet West Direction					Septic tank/drain field Type																						
Well disinfected upon completion? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																											
Pump <input type="checkbox"/> Not Installed <input checked="" type="checkbox"/> Installed Date Installed: 09/08/1994																											
Manufacturer's name AERMOTOR					HP 0.5	Volts 230																					
Model Number 81212					Capacity 12 g.p.	Type Submersible																					
Length of drop pipe 93 ft.																											
Abandoned Does property have any not in use and not sealed well(s)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																											
Variance Was a variance granted from the MDR for this well? <input type="checkbox"/> Yes <input type="checkbox"/> No																											
Miscellaneous First Bedrock: sand-gray Last Strata: sand-gray Located by: Minnesota Geological Survey Locust Method: GPS SA Off (averaged) (15 meters) System: UTM - NAD83, Zone 15, Meters Unique Number Verification: X 440165 Y 4986562 Address Verification: 07/28/2014					Aquifer Quat. buried	Depth to Bedrock ft.																					
Remarks																											
Angled Drill Hole																											
Well Contractor Smith Bud Well Co. 86080 JOHN/SAM/KHAL Licensee Business Lic. or Reg. No. Name of Driller																											

573564

County Hennepin

Quad Delano

Quad ID 122D

MINNESOTA DEPARTMENT OF HEALTH
WELL AND BORING REPORT
Minnesota Statutes Chapter 103J

Entry Date 11/26/1996

Update Date 03/07/2015

Received Date

Well Name RYAN, PETE	Township 118	Range 24	Dir Section W 7	Subsection C00DB0	Well Depth 150 ft.	Depth Completed 150 ft.	Date Well Completed 10/27/1995
Elevation 960 ft.	Elev. Method LIDAR (or DEM) (MNDNR)				Drill Method Non-specified Rotary	Drill Fluid	
Address C/W 9226 12 KY INDEPENDENCE MN 55328					Use domestic: Status Active		
Stratigraphy Information					Well Hydrofractured? Yes <input type="checkbox"/> No <input type="checkbox"/> From To		
Geological Material					Casing Type Single casing Joint		
					Drive Shoe? Yes <input type="checkbox"/> No <input type="checkbox"/> Above/Below		
CLAY					Casing Diameter Weight: Hole Diameter		
From 0 To (ft.) 90 Color SOFT					4 in. To 142 ft. lbs./ft. 8 in. To 30 ft.		
SAND					6.2 in. To 150 ft.		
90 100 SOFT							
CLAY							
100 142 SOFT							
SAND							
142 150 SOFT							
					Open Hole From ft. To ft.		
					Screen? <input checked="" type="checkbox"/> Type stainless Make HALLIBURTON		
					Diameter Slot/Gauge Length Set		
					2 in. 10 8 ft. 142 ft. 150 ft.		
					Static Water Level		
					65 ft. land surface Measure 10/27/1995		
					Pumping Level (below land surface)		
					Wellhead Completion		
					Pileless adapter manufacturer WHITEWATER Model		
					<input type="checkbox"/> Casing Protection <input checked="" type="checkbox"/> 12 in. above grade		
					<input type="checkbox"/> At-grade (Environmental Wells and Borings ONLY)		
					Grouting Information Well Grouted? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Specified		
					Material Amount From To		
					beatonite 2 Sacks ft. 30 ft.		
					Nearest Known Source of Contamination		
					feet Direction Type		
					Well disinfected upon completion? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
					Pump <input type="checkbox"/> Not Installed Date Installed 11/06/1995		
					Manufacturer's name RED JACKET		
					Model Number ZSBE-12BC HP 0.75 Volt 230		
					Length of drop pipe 84 ft. Capacity 10 g.p. Type Submersible		
					Abandoned		
					Does property have any out in use and not sealed well(s)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
					Variance		
					Was a variance granted from the MDH for this well? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
					Miscellaneous		
					First Bedrock Aquifer Quat. buried		
					Last Str. sand Depth to Bedrock ft.		
					Located by Minnesota Geological Survey		
					Locate Method GPS SA Off (averaged) (15 meters)		
					System UTM - NAD83, Zone 15, Meters <input checked="" type="checkbox"/> 440266 Y 4987345		
					Unique Number Verification Address verification Input Date 07/28/2014		
					Angled Drill Hole		
					Well Contractor		
					Stodola Don Well Co. 27172 MCMAHON, F.		
					Licenses Business Lic. or Reg. No. Name of Driller		
Remarks							

644861

County Hennepin

Quad Delano

Quad ID 122D

MINNESOTA DEPARTMENT OF HEALTH
WELL AND BORING REPORT
 Minnesota Statutes Chapter 1031

Entry Date 06/11/2001

Update Date 03/12/2015

Received Date

Well Name AHLSTROM	Township 118	Range 24	Dir Section W 18	Subsection ABBAD	Well Depth 186 ft.	Depth Completed 186 ft.	Date Well Completed 10/31/2000	
Elevation 999 ft.	Elev. Method LIDAR 1m DEM (MNDNR)				Drill Method Non-specified Rotary	Drill Fluid Water		
Address Well 3180 NELSON RD INDEPENDENCE MN					Use domestic			Status Active
Stratigraphy Information					Well Hydrofractured? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> From To			
					Casing Type Single casing Joint			
Geological Material					Drive Shoe? Yes <input type="checkbox"/> No <input type="checkbox"/> Above/Below			
CLAY					Casing Diameter 4 in. To 181 ft. Weight lbs./ft. Hole Diameter 6.5 in. To 186 ft.			
CLAY								
CLAY								
CLAY W/GRAVEL								
SAND & GRAVEL								
SAND & CLAY								
SAND & CLAY								
SAND & GRAVEL								
Open Hole								
Screen? <input checked="" type="checkbox"/>					Type plastic			
Diameter					Make JAYCO			
Slot/Gauze					Length			
3 in.					5 ft.			
Static Water Level								
81 ft.					Measure 09/26/2000			
Pumping Level (below land surface)								
ft.					hrs.			
Pumping at					.50 g.p.m.			
Wellhead Completion								
Fitness adapter manufacturer					WHITEWATER			
Casing Protection					Model SU4			
At-grade (Environmental Wells and Borings ONLY)					12 in. above grade			
Grouting Information								
Well Grouted? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Specified								
Material					Amount			
high solids bentonite					3 Sacks			
From					To			
0 ft.					38 ft.			
Nearest Known Source of Contamination								
54 feet					North Direction			
Well disinfected upon completion? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					Septic tank/drain field Type			
Pump <input type="checkbox"/> Not Installed					Date Installed 10/31/2000			
Manufacturer's name					STA-RITE			
Model Number					HP 0.25			
Length of drop pipe					Volt 230			
126 ft.					Capacity 10 g.p.			
Typ.					Submersible			
Abandoned								
Does property have any box in use and not sealed well(s)?					<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Variance								
Was a variance granted from the MDH for this well?					<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Miscellaneous								
First Bedrock					Aquifer Quat. buried			
Last Strat					Depth to Bedrock			
sand + larger brown					ft.			
Located by					Minnesota Geological Survey			
Locate Method					GPS-SA Off (averaged) (15 meters)			
System					UTM - NAD83, Zone 15, Meters			
Unique Number Verification					X 440436 Y 4987147			
Address Verification					Input Date 07/29/2014			
Angled Drill Hole								
Well Contractor								
Stevens Well Co.					27194			
Licensee Business					Lic. or Reg. No.			
STEVENSON, J.					Name of Driller			
Remarks								

EXHIBITS
For a Mixed-Use PUD Application on a 58 Acre Parcel in
Independence, MN

EXHIBIT No. 10: **Septic System Primary & Alternate Size Design by**
Homestead Septic

November 12th, 2022

Dale Denn
HomeStead Septic
1108 Goldenrod Lane
Shakopee, MN 55379
Cell: 612-310-7887

MPCA Septic License # 583 – Intermediate Designer, Installer, Maintainer, & Inspector.
(Hold a Degree Major in Soil Science from the UW-River Falls)

To: Mr. Stoddard

Regarding: 16915 Hwy 212 Auto Condos Septic Sites

I have reviewed the proposed improvements for this site in regards to suitable soil for septic sites and an initial review of estimated septic effluent flows for proposed buildings of this type of use and capacity.

Based on NRCS Soil Maps of the parcel, and a personal cruise of the property in regards to determining suitable soil based on soil forming processes, such as topography, elevation, slope, slope direction, and parent material..... but without any soil borings or soil test pits.....there appears to be enough suitable soil for septic systems for the proposed improvements.

This does take into account the anticipated septic setbacks to property lines and wetland boundaries.

See attached supporting exhibits.



Dale Denn
HomeStead Septic



ANDERSON
 31605 114 Avenue W, #102
 Plymouth, MN 55441 | 763.432.8000
 P 763.432.8000 | F 763.432.8009
 andersonengineering.com

MIXED USE
DEVELOPMENT

INDEPENDENCE,
MINNESOTA

STODARD COMPANIES

REVISION LOG	
NO.	DESCRIPTION

PRELIMINARY	
DATE	BY

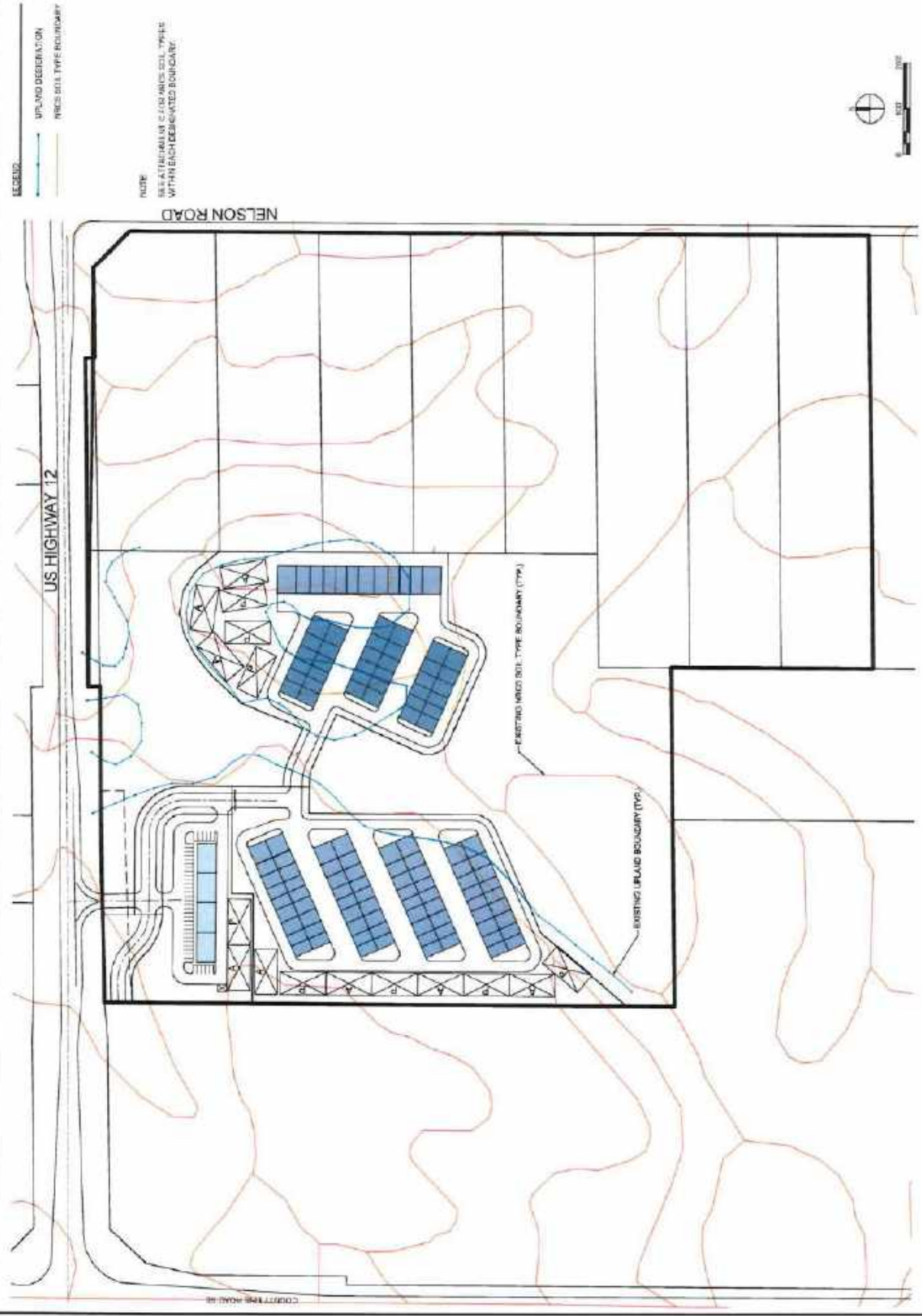
DRAWING TITLE

SITE PLAN
WITH NRCS

DRAWING NO.

ATTACHMENT A

PROJECT	DATE
10-5002	10/18





ANDERSON
 15485 1st Avenue NW, #100
 Plymouth, MN 55441-4400
 P: 763.412.4000 F: 763.412.4588
 www.andersonmn.com

**MIXED USE
DEVELOPMENT**

**INDEPENDENCE,
MINNESOTA**

STODDARD COUPAINES

REVISION	DATE	DESCRIPTION

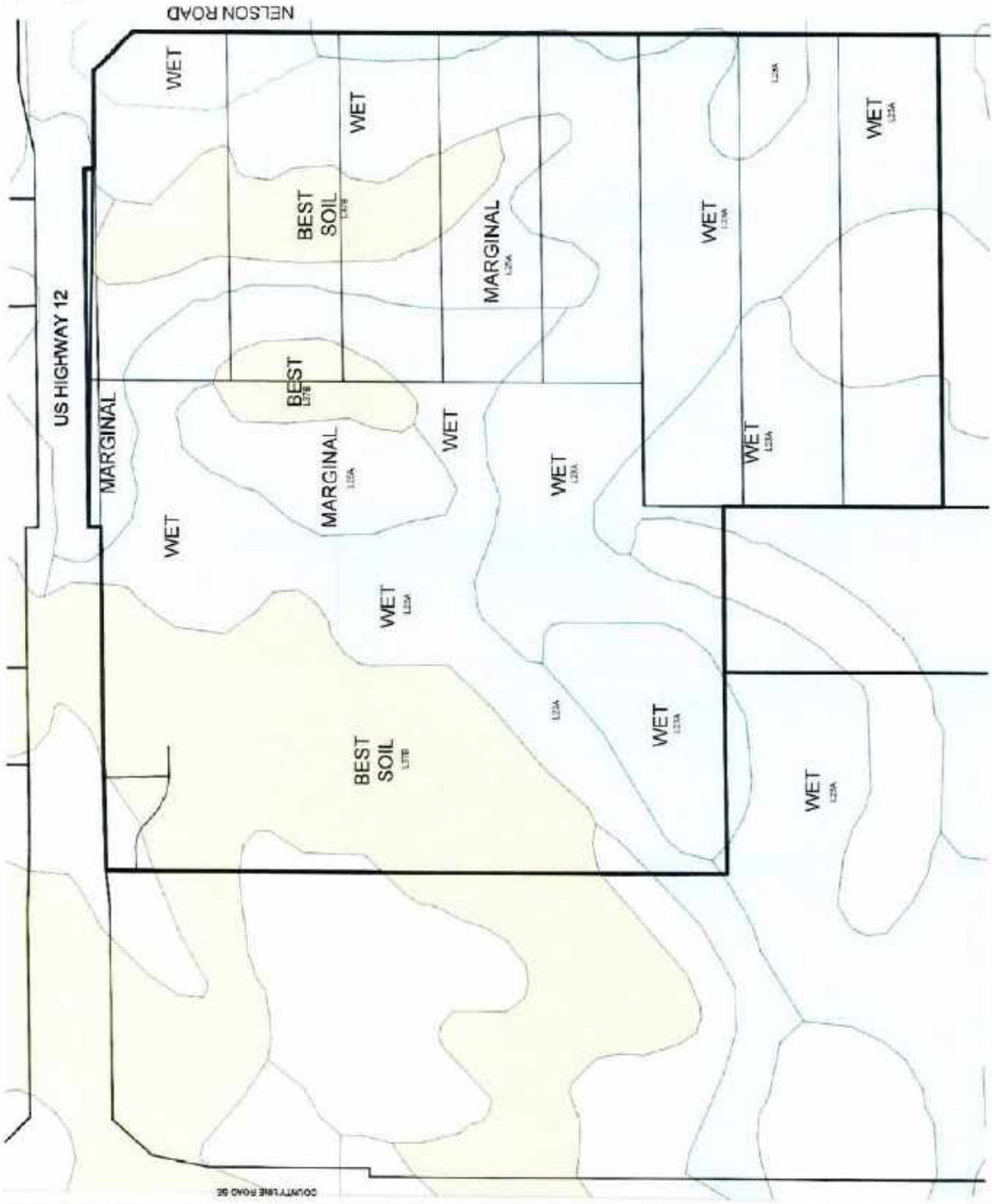
PRELIMINARY	
REVISION	DATE

**UPLAND &
WETLANDS**

ATTACHMENT B

DATE	BY	SCALE
11/14/2022	10/1/22	1"=40'





ANDERSON

33025 111 Avenue N, #100
 Minneapolis, MN 55441 | P 761.413.4200
 6400 West 100th Avenue, #100, Minneapolis, MN

MIXED USE
 DEVELOPMENT

INDEPENDENCE,
 MINNESOTA

STODDARD COMPANIES

PRELIMINARY

NO. 1011 NIGHT ONLY BUILDING

PRELIMINARY

NO. 1011 NIGHT ONLY BUILDING

PRELIMINARY

NO. 1011 NIGHT ONLY BUILDING

PRELIMINARY

NO. 1011 NIGHT ONLY BUILDING

PRELIMINARY

NO. 1011 NIGHT ONLY BUILDING

PRELIMINARY

NO. 1011 NIGHT ONLY BUILDING

PRELIMINARY

NO. 1011 NIGHT ONLY BUILDING

EXHIBITS
For a Mixed-Use PUD Application on a 58 Acre Parcel in
Independence, MN

EXHIBIT No. 11: **Concept Life Safety Fire Suppression System Options**
from Summit Fire Consulting

From: Dale Lindh [SFPH] dlindh@summitcompanies.com
Subject: Sprinkler design
Date: October 1, 2021 at 2:28 PM
To: bill@lbill.us



Bill-

It was very nice to talk with you this afternoon. I have attached some general information that the State of Minnesota put together on the use of wells as a water supply for fire protection systems. I also attached a couple drawings of what I believe are similar projects that Summit has sprinklered in the past.

I am assuming that your project will be heated to maintain at least 40 degrees F so a wet sprinkler system can be installed. If this is true you will need about 400 gpm this would require a 12" minimum well size.

The other option would be to install a fire pump and water storage tank. The tank would need to be about 24,000 to 36,000 gallons of water based on the fire sprinkler demand and if the sprinkler systems are monitored.

The above number are based on that the fire sprinkler system water source does not need to supply fire hydrants spaced around the site.

Please let me know if you need any additional information.

Dale



Dale Lindh
Design Manager

D 651-251-1846
C 651-248-3681

575 Minnehaha Ave W
St. Paul, MN 55103
Office: 651-251-1880
www.summitcompanies.com

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From: Natalie Buckman [SFNC] nbuckman@SummitFireConsulting.com &
Subject: water supply - Medina
Date: October 6, 2021 at 1:50 PM
To: bill@lbill.us

Bill-

Thanks for chatting yesterday. Below I've snipped out the code section related to water supply options. Using the shared well will not be an option for non-domestic type uses. The two options most realistic for your site are the tank (above ground tank/pump is more cost effective; otherwise underground tank/vertical turbine pump) or potentially the pond/pump. The pond ultimately may end up being just as costly/complicated. It needs to be large enough to supply the sprinkler system demand for a certain amount of time (minimum of at least 20 minutes), needs that gallonage available without freeze concern, and then piping (with straining devices) and pump to supply the building.

Let me know if you have some thoughts on direction or any questions related to this. We can help pull together design criteria, etc for either option if needed and then this can be used for bidding purposes to contractors so you can get competitive pricing.

Thanks,

24.2 Types.

24.2.1* Water supplies for sprinkler systems shall be one of the following or any combination:

- (1) A connection to an approved public or private waterworks system in accordance with 24.2.2
- (2) A connection including a fire pump in accordance with 24.2.3
- (3) A connection to a water storage tank at grade or below grade installed in accordance with NFPA 22 and filled from an approved source
- (4) A connection to a pressure tank in accordance with 24.2.4 and filled from an approved source
- (5) A connection to a gravity tank in accordance with 24.2.5 and filled from an approved source
- (6) A penstock, flume, river, lake, pond, or reservoir in accordance with 24.2.6
- (7)*A source of recycled or reclaimed water where the building owner (or their agent) has analyzed the source of the water and the treatment process (if any) that the water undergoes before being made available to the sprinkler system and determined that any materials, chemicals, or contaminants in the water will not be detrimental to the components of the sprinkler system it comes in contact with



Natalie Buckman
Fire Protection Consultant

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☎ 651-402-7738

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St. Paul, MN 55103
Office: 651-251-1880
www.summitfireconsulting.com

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MINNESOTA DEPARTMENT OF PUBLIC SAFETY
State Fire Marshal Division

STATEMENT OF POLICY

Policy #: FP-10 (2014)	Subject of Policy: Use of Wells as a Water Supply for Fire Protection Systems		
Reviewed and Approved By: Bruce West	Title: State Fire Marshal	Effective Date: 07/01/2014	Revised Date: n/a (new)

APPLIES TO:

All Inspection Personnel, Inspection Supervisors, Code/Plans Specialists.

PURPOSE:

To establish installation criteria allowing the use of private wells as the water supply for fire protection systems.

POLICY:

Private wells meeting the following criteria can be used as the water supply for fire protection systems.

Section 1 – Basic Requirements

1.1 The private water supply system (well and pump) can serve as either a stand-alone water supply for fire protection or as a combination for domestic, irrigation, and fire protection water needs.

1.2 From a reliability standpoint, it is generally preferred to have a combination domestic / irrigation and fire protection water supply. Rationale: there is a higher probability that a problem with the well or private water supply system will be detected sooner if there are problems with the domestic or irrigation usage.

1.3 If a private water supply system (well and pump) is used to supply water for both fire protection and domestic or irrigation purposes, they should not be interpreted to be a fire pump. Fire pumps have specific installation criteria and electrical requirements. These are private water supply systems that provide water for fire protection but not defined as fire pumps (see NFPA 20 – 2003, Section 5.7.1 and A.5.7.1).

1.4 A stand-alone well for fire protection systems can be used but additional protection and procedures will be necessary. Stand-alone wells must meet the requirements for fire pumps. Rationale: fire pumps have a higher reliability.

1.5 Private wells of sufficient diameter are allowed to have multiple pumps within the same casing. This is desirable in situations where low flow domestic use and high flow irrigation / fire protection situations may occur or where there may be low flow for domestic and small sprinkler flows and high flow for high sprinkler demands.

1.6 The private water supply system may be combined with on-site storage capacity or may be the sole source of the fire protection system water supply if the flow is adequate.

1.7 If the well is the sole source of the fire protection water supply (i.e. there is no on-site storage), the well must incorporate a variable speed or frequency drive / controller. Variable frequency drives sense a loss of pressure and will adjust the pump speed to maintain constant pre-set pressure on the system.

Section 2 – Well Size and Capacity

2.1 The well and pump must be installed to meet the fire protection demands. This includes both flow (in gallons per minute – GPM) and pressure (in pounds per square inch – psi).

The following chart is provided as guidance for design purposes (note: these well diameters and flow rates will vary from one equipment manufacturer to another; specific pump manufacturer's criteria should be consulted):

Gallons per Minute (Demand):	Minimum Well Size (in inches):
0 – 75 GPM	6"
76 – 150 GPM	8"
151 – 350 GPM	10"
351 – 700 GPM	12"
Above 700 GPM	Specific design criteria needed

Section 3 – Electrical Supply

3.1 The electrical supply must meet the requirements of the Minnesota State Electrical Code (i.e. the National Electric Code / NFPA 70).

3.2 Since these wells are not fire pumps, the specific installation criteria and exemptions for fire pumps in the Minnesota State Electrical Code are not applicable.

3.3 The power supply for wells shall be arranged so that the interruption of electrical power to the building from firefighting operations (i.e. pulling the electric meter or turning off the main disconnect) will not disable the well. The following are possible means of accomplishing this:

3.3.1 Provide a separate electrical power service to the well. This would include its own disconnect means, over-current protection, and electric meter.

3.3.2 Provide a common electrical power service to the well and building. The service would first go to the well (with a separate disconnect means, over-current protection, and electric meter) and then travel to the building (which would again have a separate disconnect means and over-current protection).

3.4 The well shall have an independent disconnecting means and over-current protection located near the well. It is preferred that the well be on a separate electrical feed from the electric utility.

3.4 A back-up or secondary power supply (such as a generator) is required to supply the well with electrical power in the event of a power outage in the following circumstances:

3.4.1 If the well is located in an area where the electric power is lost for more than four (4) hours per year.

3.4.2 The well supplies fire protection to occupancies with a high life safety risk (such as hospitals, nursing homes, schools, and assembly occupancies).

3.4.3 The Private Water Supply system supplies fire protection water to occupancies posing a high property loss fire risk (such as manufacturing occupancies – where the loss of power poses an enhanced fire risk due to the loss of cooling, process controls, or ventilation – or large mercantile occupancies).

Section 4 – Reliability and Monitoring

4.1 The private water supply system shall have an electronic device to monitor the integrity of pump. The controller shall send an alarm signal for the following conditions:

- Loss of electrical power to the well pump, including loss of phase in three-phase electrical installations.
- Pump failure or no start condition.
- Low temperature conditions in the well-house (if one is present).

4.2 The monitoring required by Section 4.1 shall send an alarm signal to a constantly attended location or central station alarm monitoring service.

Section 5 – Initial Acceptance

5.1 The private water supply system shall produce the minimum required flow (in GPM) at the required pressure (in psi) for a minimum of four (4) hours or show pumping level stability of 6" per hour (which ever comes first). The pumping level shall be monitored at minimum flow rate (in GPM) and shall the pump shall maintain a minimum of 15 ft of submergence.

5.2 The private water supply system shall be equipped with a flow meter, orifice, weir, or other acceptable device to measure the flow (gpm) of the system at minimum design rate during the required test.

5.3 A copy of the Minnesota Dept of Health Well Record and the as-built drawings shall also be kept within the control cabinet housing the variable frequency drive. The as-built drawings shall show the depth of the well, static water level, pumping level, pump setting, pump model, motor horsepower, voltage, amp load, and casing depth.

5.4 The well shall be test pumped at 75%, 100% and 125% of design flow capacity showing both flow rates and corresponding pumping levels. The design of the pump and variable frequency drive controls shall consider seasonal static water level fluctuations and interference from other wells in the area. The water supply system shall be capable of providing minimum flow rates at 125% of the normal or design total dynamic head (TDH).

5.5 A copy of the original test pump report shall be maintained on site at all times as a reference for future testing of the system.

Section 6 – Maintenance

6.1 The private water supply system shall be tested annually (if a stand alone system) or once every five (5) years if the system has a domestic use. The private water supply system shall produce the minimum required flow (in GPM) at the required pressure (in psi) for a minimum of four (4) hours or show pumping level stability of 6" per hour (which ever comes first). The pumping level shall be monitored at minimum flow rate (in GPM) and shall the pump shall maintain a minimum of 15 ft. of submergence. It is recommended to test the system during peak demand on the formation during the months of July and August.

6.2 A copy of the annual test report showing the static water level, flow rate (GPM), volts, amps, pressure (psi), pumping level in the well (in feet), and submergence (in feet) shall be kept within the control cabinet housing the variable frequency driver for a minimum of the past ten (10) years.

EXHIBITS
For a Mixed-Use PUD Application on a 58 Acre Parcel in
Independence, MN

EXHIBIT No. 12: **Trip Generation Analysis by**
STS Traffic Solutions, Vern Swing, PE



November 14, 2022

To: Bill Stoddard
From: Vernon Swing, PE

Re: Trip Generation Study – Independence Business Park/Garage Storage, Independence, MN

Per your request, S² Traffic Solutions, LLC has conducted a trip generation analysis for the proposed Independence Garage Storage development. The approximately 27.43 acre site is adjacent to the south side of TH 12, is west of Nelson Road, and is east of County Line Rd. The proposed development will include a 151,900 square foot (sf) storage building consisting of 120 units, and a separate 10,600 sf commercial building (assumed to be general light commercial/industrial for the purposes of this analysis). Additionally, access to the site is assumed to occur from an existing full access location to TH 12, as a right in right access (RIRO) until such time as the vacant parcel immediately west of the site develops providing access at that time to County Line Rd. See attached site plan. This memorandum summarizes the trip generation potential for the proposed use.

Trip Generation

The trip generation for the proposed Independence Garage Storage development has been estimated based on the methodology described by the Institute of Transportation Engineers (ITE) in *Trip Generation*, 11th Edition. ITE Land Use Codes 151 Mini Warehouse, and 110 General Light/Commercial Industrial most closely match the proposed development. Table 1 summarizes the findings.

Table 1
Trip Generation Zeglin Property

Land Use	ITE Code	AM Peak Hour		PM Peak Hour		Daily Trips
		Enter	Exit	Enter	Exit	
Mini Warehouse (120 Units)	151	1 Trip	0 Trips	1 Trip	1 Trip	19 Trips
Commercial/LI (10.6 k-sf)	110	6 Trips	1 Trips	1 Trip	6 Trips	49 Trips
TOTAL		8 Trips		9 Trips		68 Trips

As shown in Table 1, the site is estimated to generates 7 entering and 1 exiting trips during the morning traffic peak, 2 entering and 7 exiting trips during the afternoon traffic peak hour, and 68 trips per day. This equates to roughly 1 trip every 7 minutes during the peak times. Further, based on anecdotal evidence the garage style mini-storage will generate far fewer trips from November through April as the stored vehicles are not used during wintery conditions.

For comparison purposes, the trip generation for an urban commercial/industrial park (ITE Land Use Code 130) with 162,500 sf of development will generate 55 trips during the AM Peak, 45 entering and 10 exiting; 55 trips during the PM Peak, 12 entering and 43 exiting; and 548 trips per day. The level of traffic forecast for the site as proposed will not impact the capacity of the surrounding roadways.

As mentioned above, the access to the site is proposed as a RIRO access. This access will include a 50 foot radius, and a 164 foot right turn lane with 120 foot taper section (consistent with MnDOT Design Manual Chapter 5) to allow the turning vehicles a refuge from the path of the through vehicles as they slow to enter the site. It is noted, that the City of Delano is located just west of County Line Rd, and vehicle speed are limited to 40 mph in this area of the City, therefore it is anticipated that the approach speed to the RIRO will be less than the posted 55mph.

In conclusion, the development will generate approximately 1 trip every 7 minutes during the peak times and only 2 trips per hour during the remainder of the day. This level of traffic will have no impact on the operations of the adjacent roadways. The RIRO access will operate well until a future connection through the adjacent parcel to the west can be completed. Please contact Vernon Swing at vswingtraffic@gmail.com or 612-968-4142 with any questions.

Attachment: Site Plan

