



CITY COUNCIL MEETING AGENDA
TUESDAY OCTOBER 7, 2025

CITY COUNCIL MEETING TIME: 6:30 PM

1. Call to Order

2. Pledge of Allegiance

3. Roll Call

4. ****Consent Agenda****

All items listed under Consent Agenda are considered to be routine by Council and will be acted on by one motion. There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

a. Approval of the City Council Minutes from the September 16, 2025, Regular City Council Meeting.

b. Approval of Accounts Payable; (Batch #1 - Checks No. 23952-23979).

5. Reports of Boards and Committees by Council and Staff.

6. AT&T (Applicant) requests that the City consider the following action for the property located at 3310 County Line Road, Independence, MN (PID No. 07-118-24-33-0004):

a. **RESOLUTION NO. 25-1007-01** – Considering a conditional use permit amendment to allow the upgrade and replacement of cellular antennas on the existing wireless tower and ground equipment located on the subject property.

7. Greg A Jurvakainen (Applicants) and Carter Berkleman (Owner) request that the City consider the following action for the properties located at 6785 Highway 12, Independence, MN (PID No. 22-118-24-42-0001) and the property to the south that does not have an address but is identified by the following PID Number (PID No. 22-118-24-31-0002):

a. **RESOLUTION NO. 25-1007-02** – Considering a minor subdivision to allow a lot line rearrangement between the two subject properties. The minor subdivision would add approximately 50' to the south side of the 6785 Highway 12 property.

8. Scott Kirchner (Applicant/Owner) requests that the City consider the following action for the Property located at 6551 County Road 6, Independence, MN (PID No. 34-118-24-12-0001):

a. **RESOLUTION NO. 25-1007-03** – Considering a minor subdivision to allow a rural view lot subdivision and;

- b. A variance to allow a rural view lot to exceed the maximum size of 10 acres.
- 9. Approval of an extension to the record the Minor Subdivision of the property located at 8910 Highway 12.
 - a. **RESOLUTION NO. 25-1007-04** – Considering approval of an extension to record the minor subdivision for the property located at 8910 Highway 12.
- 10. Community Clean Up Proclamation – Thanking Presbyterian Church of Maple Plain’s Good Works philanthropy service work for installing the new playground edging at the Ox Yoke park playground the in Independence.
- 11. Open/Misc.
- 12. Adjourn.



CITY COUNCIL MEETING MINUTES
TUESDAY SEPTEMBER 16, 2025

CITY COUNCIL MEETING TIME: 6:30 PM

1. CALL TO ORDER

Mayor Brad Spencer called the meeting to order on Tuesday, September 16, 2025, at 6:30 PM

2. PLEDGE OF ALLEGIANCE

Mayor Spencer led the group in the Pledge of Allegiance.

3. ROLL CALL

PRESENT: Spencer, McCoy, Betts, Grotting

ABSENT: Fisher

STAFF: City Administrator Kaltsas, Administrative Services Director Simon,

VISITORS: See Sign in Sheet

4. ****CONSENT AGENDA****

Mayor Spencer stated that the consent agenda items would be considered routine and acted on by one motion unless someone would like to remove an item for discussion. The consent agenda

- a. Approval of the City Council Minutes from the August 21, 2025, Joint City Council Meeting with Maple Plain.
- b. Approval of City Council Minutes from the September 2, 2025, Regular City Council Meeting.
- c. Approval of Accounts Payable; (Batch #1 - Checks No. 23906-23949).

Motion by Betts, seconded by McCoy to approve the consent agenda. Ayes: Spencer, Betts, McCoy, Grotting. Nays: None. Absent: Fisher. Abstain: None. Motion Approved. 4-0

5. Reports of Boards and Committees by Council and Staff.

Council member Lynn Betts Attended the following meeting:

- Hwy 12 Coalition

Council member Ray McCoy Attended the following meeting:

- Police Commission

- Fire Commission

Council member Steve Grotting Attended the following meeting:

- Fire Commission

Mayor Brad Spencer Attended the following meeting:

- Hwy 12 Coalition
- Meeting with Delano, Maple Plain and Independence on lobbyist
- Fire Commission Merger Budget
- NW League of Municipalities
- Meeting with Chief Leuer
- McGarry's Golf Charity Event

City Administrator Mark Kaltsas Attended the following meeting:

- Met with City of Medina, Three Rivers Park & Hennepin County Sheriff about the no-wake on Lake Independence – more to come on this.
- We had a volunteer group from a local church that helped clean up the playground area at Ox Yoke Park – Kaltsas will provide pictures of the completed work in the weekly update.

6. Consider Approval of the 2026 Preliminary Budget and Tax Levies:

- a. **RESOLUTION NO. 25-0916-01** – Establishing the 2026 Preliminary Budget.
- b. **RESOLUTION NO. 25-0916-02** – Establishing the General and Debt Service Preliminary Tax Levy and Setting a Date for the 2025 Truth in Taxation Meeting for December 2, 2025, at 6:00 PM.
- c. **RESOLUTION NO. 25-0916-03** – Establishing the Pioneer Sarah Creek Watershed Management Commission Preliminary Tax Levy.

City Administrator Kaltsas presented the 2026 preliminary budget and tax levies. He noted that the preliminary levy showed a general operating levy increase of 6.22% and an overall city operating levy of 7.64%. This represented approximately \$235,000 above the previous year's general operating budget.

Kaltsas reviewed the city's tax capacity, noting that Independence is primarily a residential community with limited commercial/industrial properties and significant agricultural properties, but no multifamily housing. He presented a comparison of tax capacity rates with other cities, highlighting that Independence has maintained a tax rate below 40% since 2016, with the current projection showing an increase from 31.21% to 32.16%.

Kaltsas explained that 86% of the city's revenue comes from property taxes, with the next largest source being licenses and permits (primarily building permits). For expenditures, 42% goes to policing and 10% to fire services, meaning over 50% of the general fund budget is for emergency services. An additional 20% is allocated to streets, public works, and utilities, with 15% for administration.

Kaltsas highlighted that excluding police and fire services, the general government levy would actually decrease by approximately \$70,000 or 4% year over year. Police costs increased by \$237,000 and fire costs by \$65,000. He noted that the Police Commission is working with the department to stabilize the budget moving forward.

Due to staffing changes in the police department, Kaltsas indicated that by the final levy certification in December, there may be potential for reducing the preliminary levy to under 5% for the general levy and just above 6% for the total city operating levy.

Councilmember Grotting asked about election costs, noting that the \$10,000 budgeted didn't seem to reflect the actual staff time involved. Kaltsas explained that while the budget line item is \$10,000, the true cost is likely closer to \$30,000 when accounting for staff time, which is not directly reflected in the election budget but is absorbed in existing staff duties.

Motion by McCoy, seconded by Grotting to approve RESOLUTION 25-0916-01 establishing the 2026 Preliminary Budget, setting the General Fund expenditures at a maximum of \$4,594,841. Ayes: Spencer, Betts, McCoy, Grotting. Nays: None. Absent: Fisher. Abstain: None. Motion Approved. 4-0

Motion by Spencer, seconded by Betts to approve RESOLUTION 25-0916-02 Establishing the general and debt service preliminary tax levy at \$4,412,508 and setting the Truth in Taxation meeting for December 2, 2025 at 6:00pm. Ayes: Spencer, Betts, McCoy, Grotting. Nays: None. Absent: Fisher. Abstain: None. Motion Approved. 4-0

Motion by Betts, seconded by Grotting to approve RESOLUTION 25-0916-03 Establishing the Pioneer Sarah Creek Watershed Management Commission Preliminary Tax Levy at \$81,056. Ayes: Spencer, Betts, McCoy, Grotting. Nays: None. Absent: Fisher. Abstain: None. Motion Approved. 4-0

Councilmember Grotting asked about the 12.28% increase in the watershed levy. City Administrator Kaltsas explained that there has been an uptick in costs associated with administering wetlands in the Pioneer Creek watershed district. Rather than shifting these costs solely to the general fund, additional funding was budgeted for the watershed levy. He noted that the increase was only about \$8,000-\$9,000, and that Pioneer Sarah Creek had kept their budget almost flat without this additional piece.

7. Overview/Discussion of Possible Pioneer Creek Community Park Grant Application

City Administrator Kaltsas presented information about a potential grant application for Pioneer Creek Community Park. He explained that the city had previously applied for a Hennepin County youth activities grant in 2023 for soccer fields, pickleball facilities, and parking improvements but was unsuccessful. Since then, the grant criteria have been modified to better allow western cities to compete with inner-ring cities.

Kaltsas proposed focusing the new grant application solely on multipurpose athletic fields (which could accommodate football, soccer, lacrosse, frisbee, rugby, etc.) rather than including parking and road improvements, as these don't directly accommodate youth activities. He suggested reducing the grant request to approximately \$162,500, well below the \$300,000 threshold, to be more competitive.

Kaltsas noted that the city currently has approximately \$485,000 in its park fund, which could be used for complementary improvements if the grant were awarded.

Councilmember McCoy commented that it was "a start," and Mayor Spencer acknowledged that while it's challenging for the city to meet some of the grant criteria that favor other areas, it was worth continuing to try.

8. Acceptance of Donation for Historic City Hall Refurbishment.

Mayor Spencer reported that a resident, who requested anonymity despite being named on the agenda, had donated \$1,000 toward the refurbishment of the old city hall. The resident was grateful that the city had begun restoring the exterior to make the building weather resistant and wanted to encourage others to join in supporting the effort.

Mayor Spencer mentioned that he had sent a thank you card and token of appreciation to the donor. He suggested the possibility of having an opening event next year during the country's 250th anniversary celebration.

Mayor Spencer noted that the building was looking nice, though he mentioned that a resident named Marvin had commented that the vertical siding looked "a little trendy" for what was originally an old barn.

9. **ADDED: Maple Plain Fire Consolidation – Discussion and Update.**

City Administrator Kaltsas explained that at a recent joint council meeting with Maple Plain regarding fire department consolidation between Maple Plain and West Suburban, there had been discussion about having West Suburban's chief take over interim management of both departments.

This arrangement would allow for efficiencies in training, procedures, and operations to be identified prior to the formal consolidation. It would help address any issues before the January 1st consolidation date, allowing the merged department to be "off and running" on day one.

Kaltsas noted that both fire chiefs were in agreement that this was a good next step. If approved by Maple Plain at their upcoming council meeting, the arrangement would take effect October 1, 2025.

Councilmember Grotting asked about the reporting structure, noting that the memo indicated the chief would report to the city administrator (which appeared to be Mark Kaltsas). Kaltsas clarified that this was an error in the memo - the chief would actually report to Jacob, the Maple Plain city administrator.

Motion by Spencer, seconded by Betts to approve the interim management arrangement to the Maple Plain Council for approval at their next meeting. Ayes: Spencer, Betts, Grotting. Nays: None. Absent: Fisher. Abstain: McCoy. Motion Approved. 3-0

10. Open/Misc.

11. Adjourn

Motion by Betts, seconded by McCoy to adjourn the meeting at 7:05pm. Ayes: Spencer, Betts, McCoy, Grotting. Nays: None. Absent: Fisher. Abstain: None. Motion Approved. 4-0

City of Independence

Request for an Amendment to the Conditional Use Permit to Allow the Upgrade and Replacement of Antennas and Ground Equipment on the Existing Telecommunications Tower

<i>To:</i>	City Council
<i>From:</i>	Mark Kaltsas, City Planner
<i>Meeting Date:</i>	October 7, 2025
<i>Applicant:</i>	AT&T Wireless
<i>Owner:</i>	Delano United Methodist Church
<i>Location:</i>	3310 County Line Road

Request:

AT&T (Applicant) requests that the City consider the following action for the property located at 3310 County Line Road, Independence, MN (PID No. 07-118-24-33-0004):

- a. A conditional use permit amendment to allow the upgrade and replacement of cellular antennas on the existing wireless tower and ground equipment located on the subject property.

Property/Site Information:

The property is located on the east side of County Line Road, just north of TH 12. The property is comprised of the existing church building and parking lot, open space and wetlands. The property has the following characteristics:

Property Information for 3310 County Line Road

Zoning: *Agriculture*

Comprehensive Plan: *Agriculture*

Acreage: 6.89 Acres

3310 County Line Road



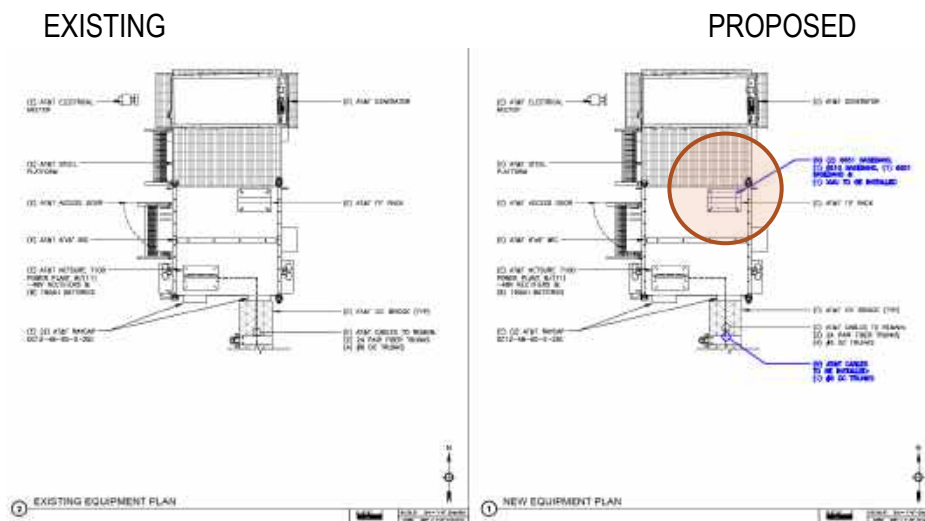
Discussion:

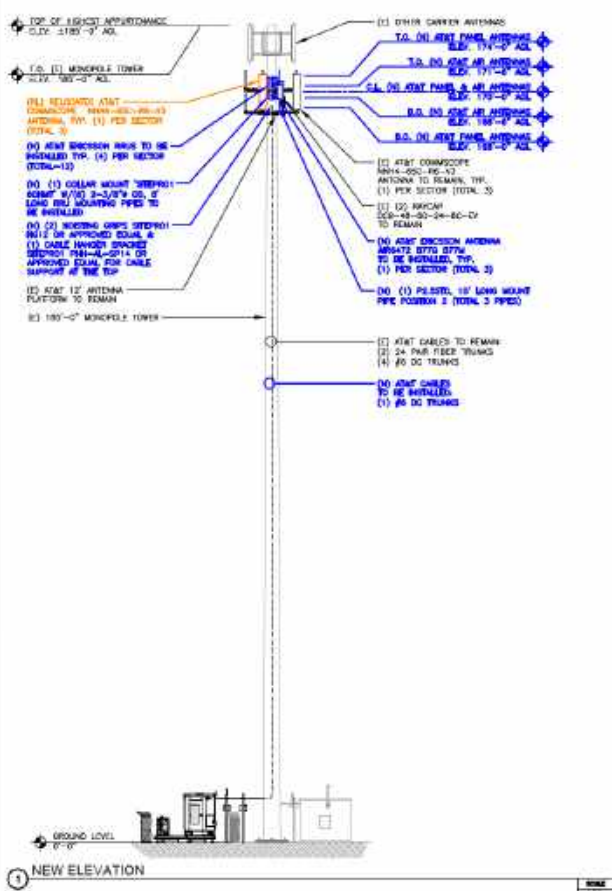
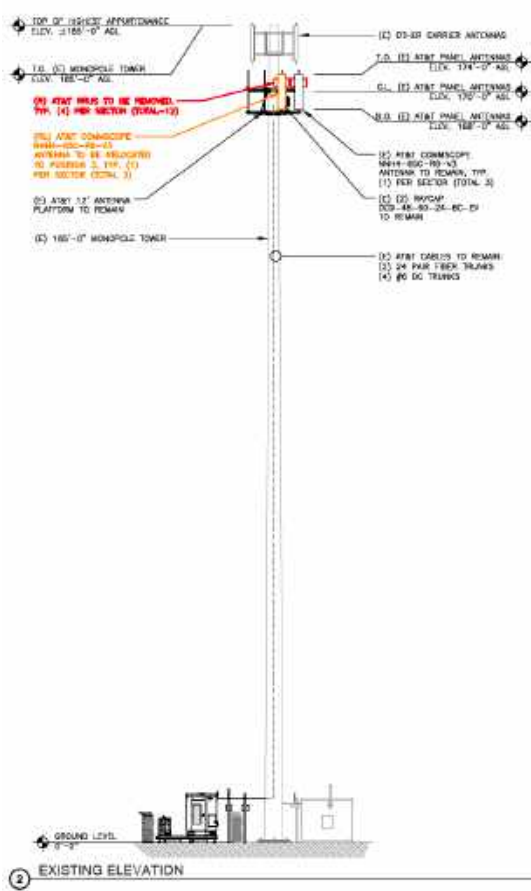
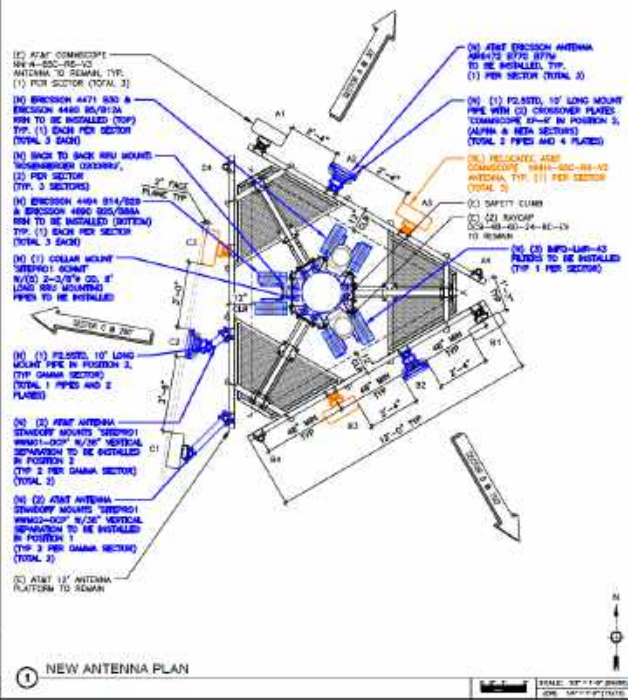
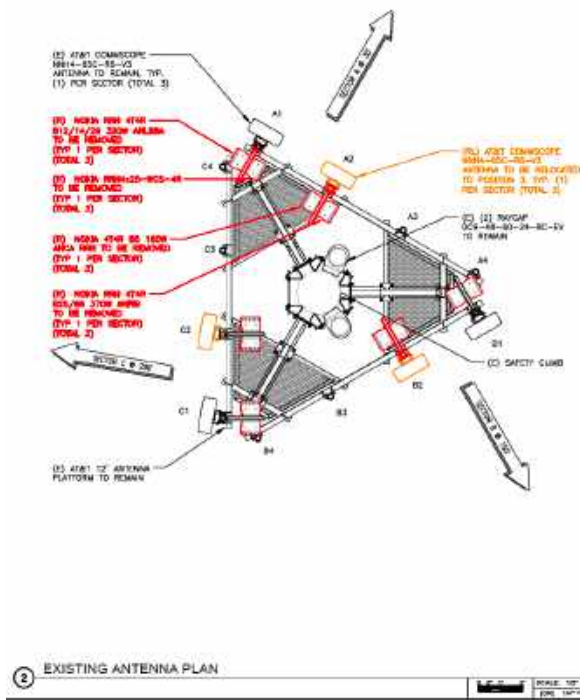
The City has received an application from AT&T to replace/upgrade several antennas, radio equipment and ground equipment on the existing wireless communications tower located on the subject property. There are currently two (2) different carriers on the existing tower. The City initially issued a conditional use permit to allow the construction of this wireless communications tower in 2001. The city approved an amendment to the ATT conditional use permit in 2019 to allow the replacement and upgrade of existing antennas on the tower. A condition of that amendment (and all new CUPs for wireless communications towers) requires any increase or expansion in the number and/or size of the antennas, radios or base equipment to obtain an amendment to the conditional use permit.

The city has reviewed the application and would note that the applicant is proposing the following changes:

- Relocate 3 existing antennas
- Install 3 new antennas
- Remove 12 existing RRH radios
- Install 6 new RRH radios
- Install 3 new RRU radios
- Install 6 new filters
- Install new DC trunk cable
- Install new baseband XMU on existing cabinet

The applicant is proposing to replace and or relocate the antennas/radios as noted above. currently on the tower. In addition, the applicant is proposing to install a new xmu on the base cabinet along with a new trunk cable. Considering an amendment to the conditional use permit will help the city to track and document the equipment on the tower and at the base that is associated with AT&T in order to maintain a clear record of approved equipment. The city should note the before and after images providing further detail below.





The applicant has provided the City with a structural analysis done by a third-party engineer which confirms that the tower can accommodate the proposed equipment changes.

Any amendment to an existing CUP must meet the same requirements established for granting a new CUP. The criteria for granting a conditional use permit are clearly delineated in the City's Zoning Ordinance (Section 520.11 subd. 1, a-i) as follows:

1. *The conditional use will not adversely affect the health, safety, morals and general welfare of occupants of surrounding lands.*
2. *The proposed use will not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity for the proposes already permitted or on the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.*
3. *Existing roads and proposed access roads will be adequate to accommodate anticipated traffic.*
4. *Sufficient off-street parking and loading space will be provided to serve the proposed use.*
5. *The proposed conditional use can be adequately serviced by public utilities or on-site sewage treatment, and sufficient area of suitable soils for on-site sewage treatment is available to protect the city form pollution hazards.*
6. *The proposal includes adequate provision for protection of natural drainage systems, natural topography, tree growth, water courses, wetlands, historic sites and similar ecological and environmental features.*
7. *The proposal includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance.*
8. *The proposed condition use is consistent with the comprehensive plan of the City of Independence.*
9. *The proposed use will not stimulate growth incompatible with prevailing density standards.*

The proposed improvements are consistent with upgrades to other similar towers and will allow for transmission of new technology. The overall visual impact will be minor due to this being a replacement of existing antennas. The existing tower has a conditional use permit. The City will need to determine if the requested amendment to the conditional use permit meet all of the aforementioned conditions and restrictions.

Planning Commission Discussion:

Commissioners reviewed the request and asked questions of staff and the applicant. Commissioners found the request to be straight forward and that it met all applicable criteria for granting a conditional use permit. Commissioners recommended approval to the City Council.

Neighbor Comments:

The City has not received any written comments regarding the proposed amendment to the conditional use permit, site plan approval or variance.

Recommendation:

Planning Commissioners recommended approval of the request for an amendment to the conditional use permit with the following findings and conditions:

1. The proposed conditional use permit amendment meets all applicable conditions and restrictions stated Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. The conditional use permit amendment shall include the following additional conditions:
 - a. The conditional use permit shall be reviewed annually by the City.
 - b. This amendment approves the changes shown on the approved plans. The antennas shall be installed in accordance with the approved plans and elevations attached hereto as EXHIBIT B.
 - c. The City can administratively approve any replacement of existing antennas. Any expansion or increase to the size of the existing ground equipment, buildings or number of antennae will be subject to the City's review and an amendment to the conditional use permit.
3. The applicant shall pay for all costs associated with the City's review and processing of the requested amendment to the conditional use permit and site plan review.
4. The City Council may revoke the conditional use permit if the applicant violates any of the conditions set forth in the conditional use permit.

Attachments:

1. Application
2. Proposed Plan Set
3. Third Party Structural Verification Letter



RESOLUTION OF THE
CITY OF INDEPENDENCE
HENNEPIN COUNTY, MINNESOTA

RESOLUTION NO. 25-1007-01

A RESOLUTION GRANTING APPROVAL OF AN AMENDMENT TO THE
CONDITIONAL USE PERMIT AND SITE PLAN APPROVAL FOR THE
TELECOMMUNICATIONS TOWER AND EQUIPMENT
LOCATED AT 3310 COUNTY LINE ROAD

WHEREAS, the City of Independence (the “City”) is a municipal corporation under the laws of Minnesota; and

WHEREAS, the City adopted a comprehensive plan in 2020 to guide the development of the community; and

WHEREAS, the City has adopted a zoning ordinance and other official controls to assist in implementing the comprehensive plan; and

WHEREAS, AT&T Wireless (the “Applicant”) submitted a request for an amendment to the Conditional Use Permit and Site Plan Review to allow antennas to be replaced or upgraded on the existing telecommunications tower and new equipment on the ground within the lease area on the property located at 3310 County Line Road (PID No. 07-118-24-33-0004) (the “Property”); and

WHEREAS, the Property is zoned Agriculture; and

WHEREAS, the Property is legally described on attached Exhibit A; and

WHEREAS the requested amendment to the Conditional Use Permit, Variance and Site Plan meets all requirements, standards and specifications of the City of Independence zoning ordinance for Agriculture property; and

WHEREAS the Planning Commission held a public hearing on September 16, 2025, to review the application for an amendment to the Conditional Use Permit and Site Plan Review, following mailed and published noticed as required by law; and

WHEREAS, the City Council has reviewed all materials submitted by the Applicant; considered the oral and written testimony offered by the applicant and all interested parties; and

has now concluded that the application is in compliance with all applicable standards and can be considered for approval; and

WHEREAS, the initial Conditional Use Permit was issued in December 2013.

WHEREAS, this amendment adds additional provisions to the previous Conditional Use Permit for this property and all previous conditions shall remain in force.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF INDEPENDENCE, MINNESOTA, that it should and hereby does approve the application by AT&T Wireless for an amendment to the Conditional Use Permit and Site Plan Approval per the City's zoning regulations with the following conditions:

1. The proposed conditional use permit amendment and site plan review meets all applicable conditions and restrictions stated Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. The conditional use permit amendment shall include the following additional conditions:
 - a. The conditional use permit shall be reviewed annually by the City.
 - b. This amendment approves the changes shown on the approved plans. The antennas shall be installed in accordance with the approved plans and elevations attached hereto as EXHIBIT B.
 - c. The City can administratively approve any replacement of existing antennas. Any expansion or increase to the size of the existing ground equipment, buildings or number of antennae will be subject to the City's review and an amendment to the conditional use permit.
3. The applicant shall pay for all costs associated with the City's review and processing of the requested amendment to the conditional use permit and site plan review.
4. The City Council may revoke the conditional use permit if the applicant violates any of the conditions set forth in the conditional use permit.

This resolution was adopted by the City Council of the City of Independence on this 7th day of October 2025, by a vote of ____ ayes and ____ nays.

Brad Spencer, Mayor

ATTEST:

Mark Kaltsas, City Administrator

EXHIBIT A
(Legal Description)

EXHIBIT B
(Approved Site Plan)

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PREFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
BUILDING CODE: 2020 MINNESOTA BUILDING CODE
PLUMBING CODE: 2020 MINNESOTA PLUMBING CODE
MECHANICAL CODE: 2020 MINNESOTA MECHANICAL CODE
ELECTRICAL CODE: 2020 MINNESOTA ELECTRICAL CODE
FIRE & SAFETY CODE: 2020 MINNESOTA FIRE CODE

PROJECT TEAM

APPLICANT:

AT&T NORTHERN PLAINS (MNP)
7900 XERXES AVE S
BLOOMINGTON, MN 55431

SITE ACQUISITION:

SMARTLINK
CONTACT: JACQUELYN SPOHR
JACQUELYN.SPOHR@SMARTLINKGROUP.COM

ARCHITECT
ENGINEERING:

JOHN M. BANKS
604 FOX GLEN
BARRINGTON, IL 60010
CONTACT: JOHN M. BANKS
PHONE: (847) 277-0070
EMAIL: JBANKS@WESTCHESTERSERVICES.COM

CONSTRUCTION
MANAGER:

MASTEC SOLUTIONS
CONTACT: CHRISTOPHER WATSON
EMAIL: CHRISTOPHER.WATSON2@MASTEC.COM

VICINITY MAP



LOCAL MAP



PROJECT DESCRIPTION

MODIFICATION TO AN UNMANNED TELECOMMUNICATIONS FACILITY, BASED ON DE130 SCOPING DATED 09/19/2024 CONSISTING OF THE FOLLOWING SCOPE:
ANTENNA LOCATION:
REMOVE:

- (3) NOKIA RRH 4T4R B12/14/29 AHLBBA
- (3) NOKIA RRH4X25-WCS-4R
- (3) NOKIA RRH 4T4R B5 AHCA
- (3) NOKIA RRH 4T4R B25/66 AHFIB

INSTALL:

- (3) ERICSSON AIR6472 B77G B77M ANTENNAS IN POSITION 2
- (3) P2.5STD 10' LONG MOUNTING PIPES IN POSITION 2
- (4) CROSSOVER PLATES 'COMMSCOPE XP-R' IN POSITION 2
- (3) ERICSSON RRU 4471 B30 FOR POSITION 1
- (3) ERICSSON RRU 4490 B5/B12A FOR POSITION 1
- (3) ERICSSON RRU 4494 B14/B29 FOR POSITION 3
- (3) ERICSSON RRU 4890 B25/B66A FOR POSITION 3
- (3) IMFQ-LMR-43 FILTERS
- (6) RRU DUAL MOUNT BRACKETS 'ROSENBERGER D200RRU'
- (1) RRU COLLAR MOUNT 'SITEPRO1 6CHMT'
- (6) 2-3/8"Ø OD, 6' LONG RRU MOUNTING PIPES
- (2) ANTENNA STANDOFFS 'SITEPRO1 WWM02-DCP' IN POSITION 1 (GAMMA SECTOR)
- (2) ANTENNA STANDOFFS 'SITEPRO1 WWM01-DCP' IN POSITION 2 (GAMMA SECTOR)
- (2) HOISTING GRIPS SITEPRO1 HG12
- (1) CABLE HANGER BRACKET SITEPRO1 PHH-AL-SP14

RELOCATE:

- (3) COMMSCOPE NNH4-65C-R6-V3 ANTENNAS FROM POSITION 2 TO POSITION 3

EXISTING TO RE-USE:

- (3) COMMSCOPE NNH4-65C-R6-V3 ANTENNAS FROM POSITION 1
- (2) RAYCAP DC9-48-60-24-8C-EV SURGE SUPPRESSOR
- (1) 12' ANTENNA PLATFORM

EQUIPMENT LOCATION:
REMOVE:

- ALL NOKIA BBUs

INSTALL:

- (2) 6651 BASEBAND
- (1) 6610 BASEBAND
- (1) XMU
- (1) 6601 BASEBAND
- (1) #6 DC TRUNK
- ADDITIONAL BREAKERS AS NEEDED PER ATT-CEM-18002
- BBU INFORMATION TO BE FINALIZED PRIOR TO CONSTRUCTION

EXISTING TO RE-USE:

- (1) NETSURE 7100 POWER PLANT
- (11) -48VDC RECTIFIERS
- (8) 190AH BATTERIES
- (2) RAYCAP DC12-48-60-0-25E
- (4) #6 DC TRUNKS
- (2) 24PR FIBER TRUNKS

GENERAL CONTRACTOR NOTES

DO NOT SCALE THESE DRAWINGS

THESE PLANS ARE FORMATTED TO BE FULL SIZE AT 24" x 36", CONTRACTORS SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME.

DRIVING DIRECTIONS

SCAN FOR DRIVING DIRECTIONS:


GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

STATEMENTS

STRUCTURAL ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THE DRAWINGS SET. FOR ANALYSIS OF EXISTING AND/OR PROPOSED COMPONENTS, REFER TO STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.

ANTENNA MOUNT ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THIS DRAWING SET. FOR ANALYSIS OF MOUNT TO SUPPORT EXISTING AND/OR PROPOSED COMPONENTS, REFER TO ANTENNA MOUNT STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.

REFERENCE NOTES

THESE PLANS WERE COMPLETED PER FINAL/APPROVED LTE 4C(FIRSTNET)/5G NR RADIO/5G NR 1SR CBAND RFDS ID# T.B.D. V:7.00 DATED T.B.D.

CONTRACTOR SHALL REQUEST CURRENT RFDS & WORKBOOK FROM CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.

GC SHALL REVIEW AND COMPLY WITH MOUNT STRUCTURAL ANALYSIS DATED: XX/XX/XXXX

PROJECT # 3511A1G8FG

GC SHALL REVIEW AND COMPLY WITH TOWER STRUCTURAL ANALYSIS DATED: XX/XX/XXXX

811

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN MINNESOTA, CALL GOPHER STATE ONE CALL

TOLL FREE: 1-800-252-1166 OR FAX A LOCATE: 1-800-236-4967

www.gopherstateonecall.org

MINNESOTA STATUTE
REQUIRES MIN OF 48 HOURS
NOTICE BEFORE YOU
EXCAVATE

ANY DEVIATION THAT DIFFERS SUBSTANTIALY FROM WHAT IS SHOWN ON THE CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE ENGINEER OF RECORD. NO CHANGES THAT ALTER THE CHARACTER OF THE WORK CAN BE MADE DURING CONSTRUCTION WITHOUT ISSUING A CHANGE ORDER.
CONTACT JOHN BANKS - JBANKS@WESTCHESTERSERVICES.COM







604 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: AE@Westchesterservices.com

JOHN M. BANKS
ARCHITECT
604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JBANKS@WESTCHESTERSERVICES.COM

REV.

DATE

DESCRIPTION

BY

A

01/13/25

ISSUED FOR REVIEW

SH

B

02/18/25

ISSUED FOR REVIEW

SH

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

IT IS A VIOLATION OF LAW FOR ANY PERSONS, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT TO ALTER THIS DOCUMENT

SITE NUMBER: MNL01123
SITE NAME: DELANO COUNTY LINE
FA#: 11571089
3310 COUNTY LINE RD SE
DELANO, MN 55328

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

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GENERAL CONSTRUCTION NOTES:

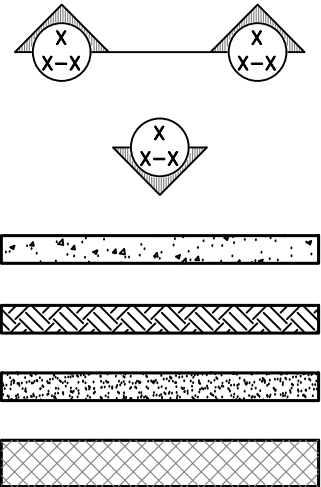
1. PLANS ARE INTENDED TO BE DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
2. THE CONTRACTOR SHALL OBTAIN, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
3. CONTRACTOR SHALL CONTACT USA (UNDERGROUND SERVICE ALERT) AT (800) 2477-2600, FOR UTILITY LOCATIONS, 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION. SEE WORK OR CONSTRUCTION.,
4. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE UBC'S REQUIREMENTS REGARDING EARTHQUAKE RESISTANCE, FOR, BUT NOT LIMITED TO, PIPING, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS, AND MECHANICAL EQUIPMENT. ALL WORK MUST COMPLY WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
6. REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE, THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.
7. THE BUILDING DEPARTMENT ISSUING THE PERMITS SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK, OR AS OTHERWISE STIPULATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION.
8. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
9. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING FACILITIES.
10. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY. PRIOR TO THE START OF CONSTRUCTION, ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
11. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
12. ANY DRAIN AND/OR FIELD TILE ENCOUNTERED/DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION, AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO THE ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
13. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC...SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
14. INCLUDE MISC. ITEMS PER AT&T SPECIFICATIONS.

APPLICABLE CODES, REGULATIONS AND STANDARDS:

1. SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONS, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION.
2. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.
3. SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION F THE FOLLOWING STANDARDS:
- 3.1. AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
- 3.2. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, FIFTEENTH EDITION.
- 3.3. TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-H, STRUCTURAL, STANDARD FOR STRUCTURAL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES.
- 3.4. INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRICAL EQUIPMENT.
- 3.5. IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE").
- 3.6. TIA 607 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS TELCORDIA GR-63 NETWORK.
- 3.7. EQUIPMENT BUILDING SYSTEM (NEB); PHYSICAL PROTECTION.
- 3.8. TELCORDIA GR-347 CENTRAL OFFICE POWER WIRING.
- 3.9. TELCORDIA GR-1275 GENERAL INSTALLATION REQUIREMENTS.
- 3.10. TELCORDIA GR-1503 COAXIAL CABLE CONNECTIONS.
- 3.11. ANY AND ALL OTHER LOCAL & STATE LAWS AND REGULATIONS.
- 3.12. FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

A.B.	ANCHOR BOLT
A.BV.	ABOVE
ACCA	ANTENNA CABLE COVER ASSEMBLY
ADD'L	ADDITIONAL
A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
ALUM.	ALUMINUM
ALT.	ALTERNATE
ANT.	ANTENNA
APPRX.	APPROXIMATE(LY)
ARCH.	ARCHITECT(URAL)
AWG.	AMERICAN WIRE GAUGE
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
B.N.	BOUNDARY NAILING
B.T.C.W.	BARE TINNED COPPER WIRE
B.O.F.	BOTTOM OF FOOTING
B/U	BACK-UP CABINET
CAB.	CABINET
CANT.	CANTILEVER(ED)
C.I.P.	CAST IN PLACE
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION(OR)
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
d	PENNY (NAILS)
DBL.	DOUBLE
DEPT.	DEPARTMENT
D.F.	DOUGLAS FIR
DIA.	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DWG.	DRAWING(S)
DWL.	DOWEL
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATION
E.M.T.	ELECTRICAL METALLIC TUBING
E.N.	EDGE NEAR
ENG.	ENGINEER
EQ.	EQUAL

SYMBOLS LEGEND:



ABBREVIATIONS:

EXP.	EXPANSION	P/C	PRECAST CONCRETE
EXST.	(E) EXISTING	PCS	PERSONAL COMMUNICATION SERVICES
FAB.	FABRICATION(OR)	PLY.	PLYWOOD
F.F.	FINISH FLOOR	PPC	POWER PROTECTION CABINET
F.G.	FINISH GRADE	PRC	PRIMARY RADIO CABINET
FIN.	FINISH(ED)	P.S.F.	POUNDS PER SQUARE FOOT
FLR.	FLOOR	P.S.I.	POUNDS PER SQUARE INCH
FLS.	FOUNDATION	P.T.	PRESSURE TREATED
F.O.C.	FACE OF CONCRETE	PLY.	POWER (CABINET)
F.O.M.	FACE OF MASONRY	QTY.	QUANTITY
F.O.S.	FACE OF STUD	RAD.	(R) RADIUS
F.O.W.	FACE OF WALL	REF.	REFERENCE
F.S.	FINISH SURFACE	REINF.	REINFORCEMENT(ING)
FT. (')	FOOT (FEET)	REQ'D.	REQUIRED
FTG.	FOOTING	RGS	RIGID GALVANIZED STEEL
G.	GROWTH (CABINET)	SCH.	SHEDULE
GA.	GAUGE	SHT.	SHEET
GL.	GALVANIZE(D)	SIM.	SIMILAR
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER	SPEC.	SPECIFICATIONS
GLB. (GLU-LAM)	GLUE LAMINATED BEAM	SQ.	SQUARE
G.P.S.	GLOBAL POSITIONING SYSTEM	S.S.	STAINLESS STEEL
GRND.	GROUND	STD.	STANDARD
HDR.	HEADER	STL.	STEEL
HGR.	HANGER	STRUC.	STRUCTURAL
HT.	HEIGHT	TEMP.	TEMPORARY
ICGB.	ISOLATED COPPER GROUND BUS	THK.	THICK(NESS)
IN. (")	INCH(ES)	T.N.	TOE NAIL
INT.	INTERIOR	T.O.A.	TOP OF ANTENNA
LB. (#)	POUND(S)	T.O.C.	TOP OF CURB
L.B.	LAG BOLTS	T.O.F.	TOP OF FOUNDATION
L.F.	LINEAR FEET (FOOT)	T.O.P.	TOP OF PLATE (PARAPET)
L.	LONG(ITUDINAL)	T.O.S.	TOP OF STEEL
MAS.	MASONRY	T.O.W.	TOP OF WALL
MAX.	MAXIMUM	TYP.	TYPICAL
M.B.	MACHINE BOLT	U.G.	UNDERGROUND
MECH.	MECHANICAL	U.L.	UNDERWRITERS LABORATORY
MFR.	MANUFACTURER	U.N.O.	UNLESS NOTIFIED OTHERWISE
MIN.	MINIMUM	V.I.F.	VERIFY IN FIELD
MISC.	MISCELLANEOUS	W	WIDE (WIDTH)
MTL.	METAL	w/	WITH
(N)	NEW	WD.	WOOD
NO. (#)	NUMBER	W.P.	WEATHERPROOF
N.T.S.	NOT TO SCALE	WT.	WEIGHT
O.C.	ON CENTER	CL	CENTERLINE
OPNG.	OPENING	PL	PLATE, PROPERTY LINE
(P)	PROPOSED		

	MATCH LINE
	GROUND CONDUCTOR
	OVERHEAD SERVICE CONDUCTORS
	TELEPHONE CONDUIT
	POWER CONDUIT
	COAXIAL CABLE
	CHAIN LINK FENCE
	WOOD FENCE
	(E) EXISTING EQUIPMENT
	(R) EQUIPMENT TO BE REMOVED
	(N) EQUIPMENT TO BE INSTALLED
	(RL) EQUIPMENT RELOCATED



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REVISIONS

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SITE NAME: DELANO COUNTY LINE
FA#: 11571089
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DELANO, MN 55328

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

GN-1

THIS IS NOT A SITE SURVEY

ALL PROPERTY BOUNDARIES, ORIENTATION OF TRUE NORTH AND STREET HALF-WIDTHS HAVE BEEN OBTAINED FROM A TAX PARCEL MAP AND EXISTING DRAWINGS AND ARE APPROXIMATE.

APN: 0711824330004



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SHEET TITLE

SITE PLAN

SHEET NUMBER

A-1

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1

SITE PLAN

0 1' 2' 4'

SCALE: 1/4" = 1'-0" (24x36)

(OR) 1/8" = 1'-0" (11x17)

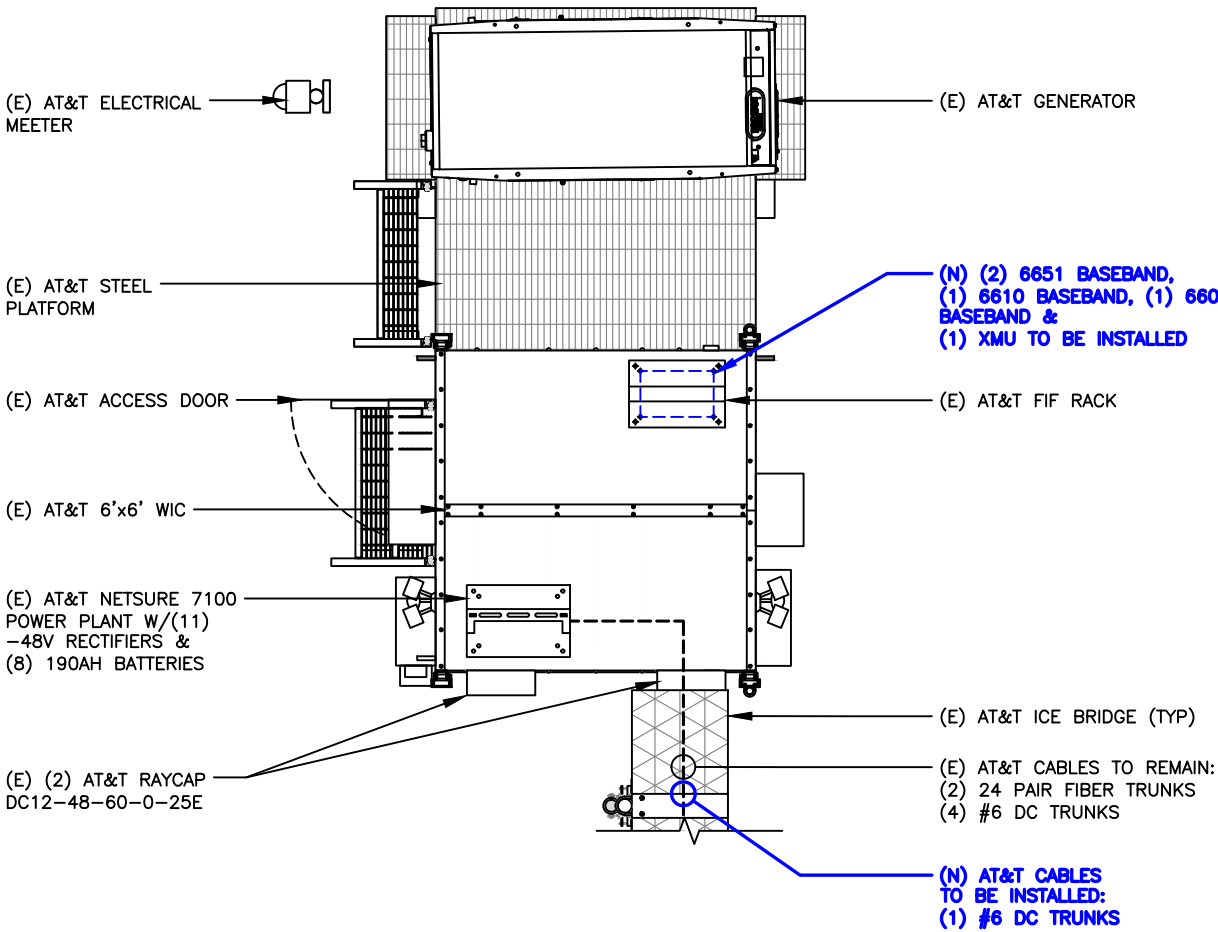
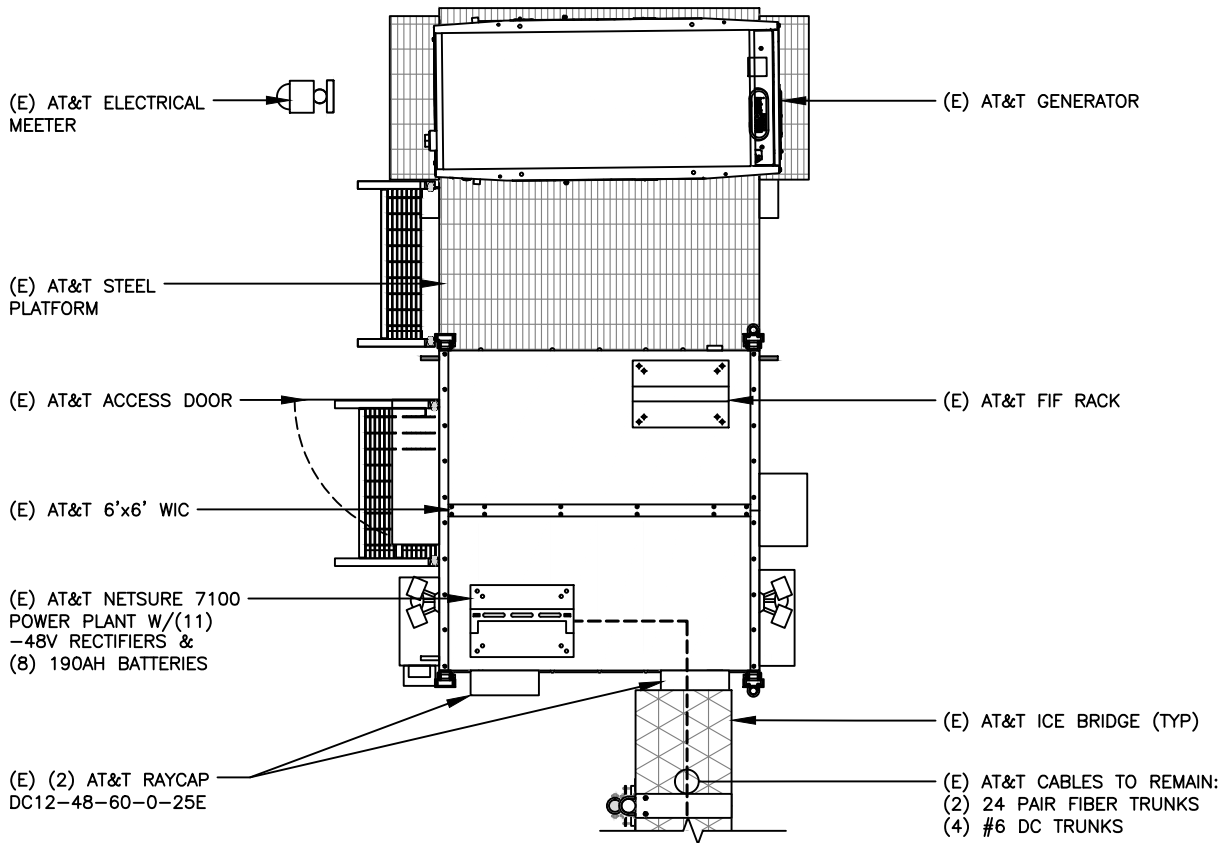
ADDITIONAL SCOPE:

REMOVE ALL NOKIA BBU

ADDITIONAL SCOPE:

INSTALL BREAKERS AS NEEDED PER ATT-CEM-18002

BBU INFORMATION TO BE FINALIZED PRIOR TO CONSTRUCTION



EXISTING EQUIPMENT PLAN

NEW EQUIPMENT PLAN



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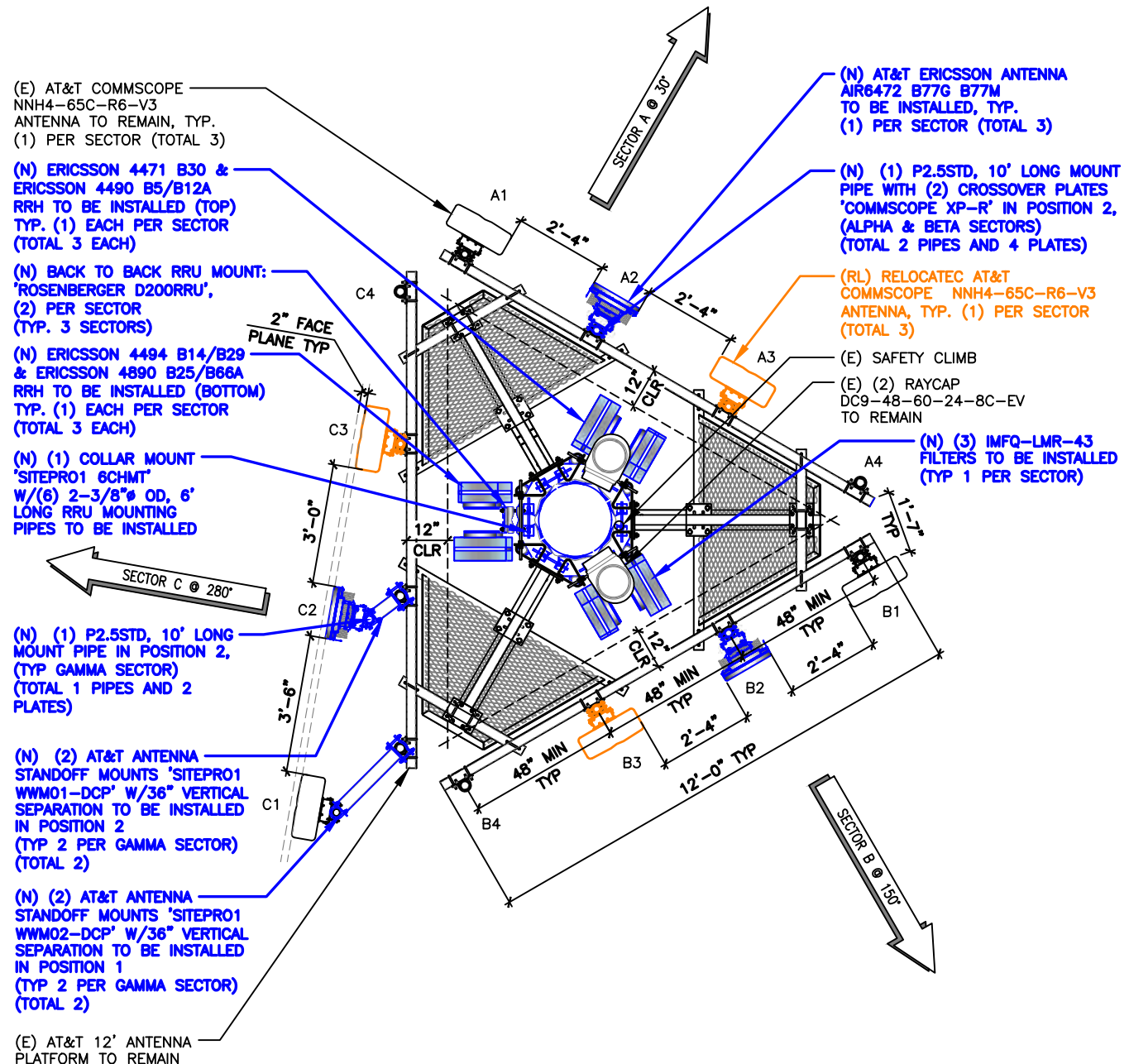
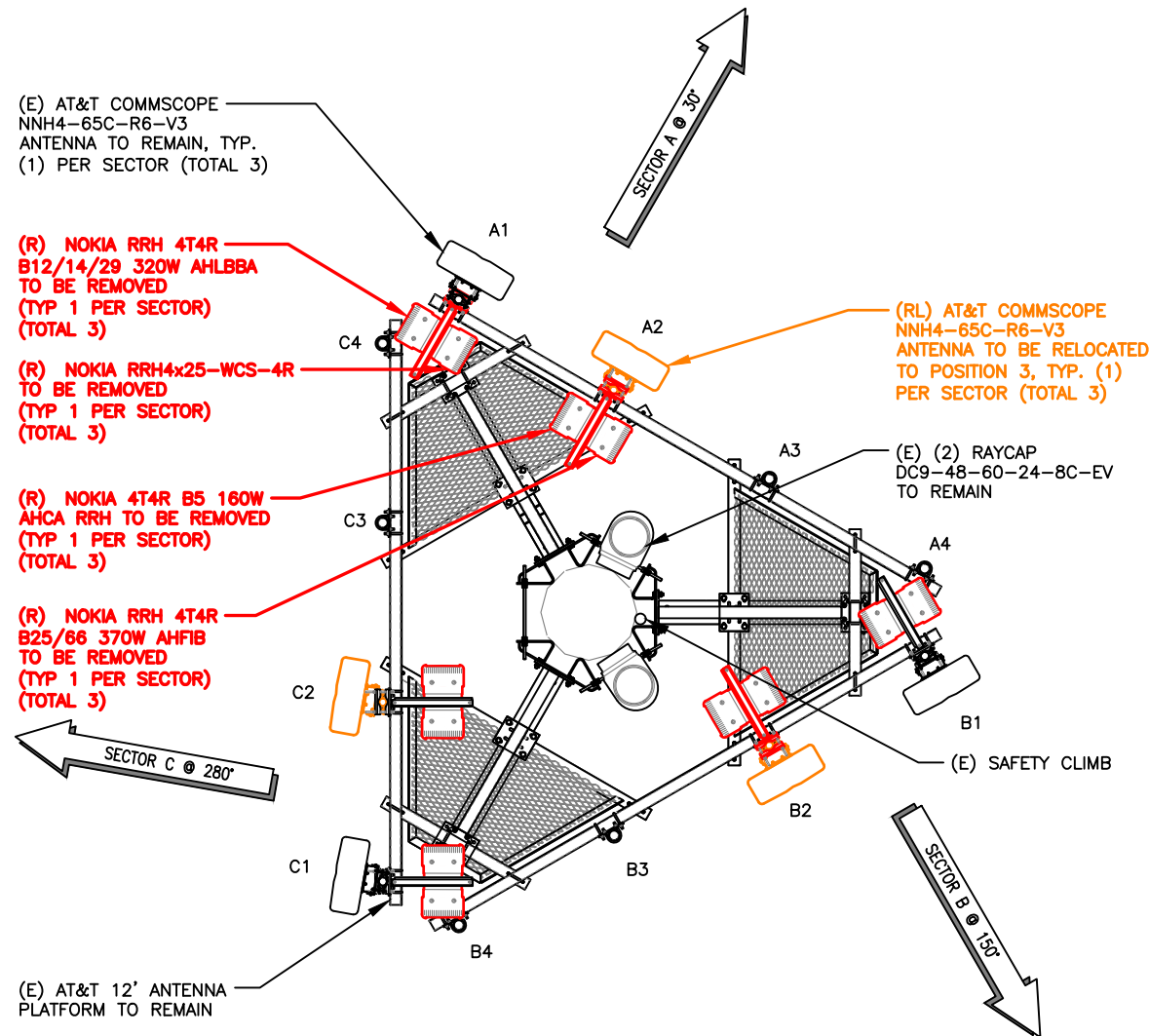
SHEET TITLE
**EXISTING & NEW
EQUIPMENT PLANS**

SHEET NUMBER
A-2

ADDITIONAL SCOPE:

REMAINING ANTENNA MOUNTING PIPES
TO BE RELOCATED/ADJUSTED TO
MATCH AT&T SPACING STANDARDS

NOTE:
GENERAL CONTRACTOR SHALL
ENSURE A MINIMUM OF 12"
CLEARANCE FROM BACK OF MOUNT
TO ANY NON-ANTENNA EQUIPMENT



2 EXISTING ANTENNA PLAN

1 NEW ANTENNA PLAN



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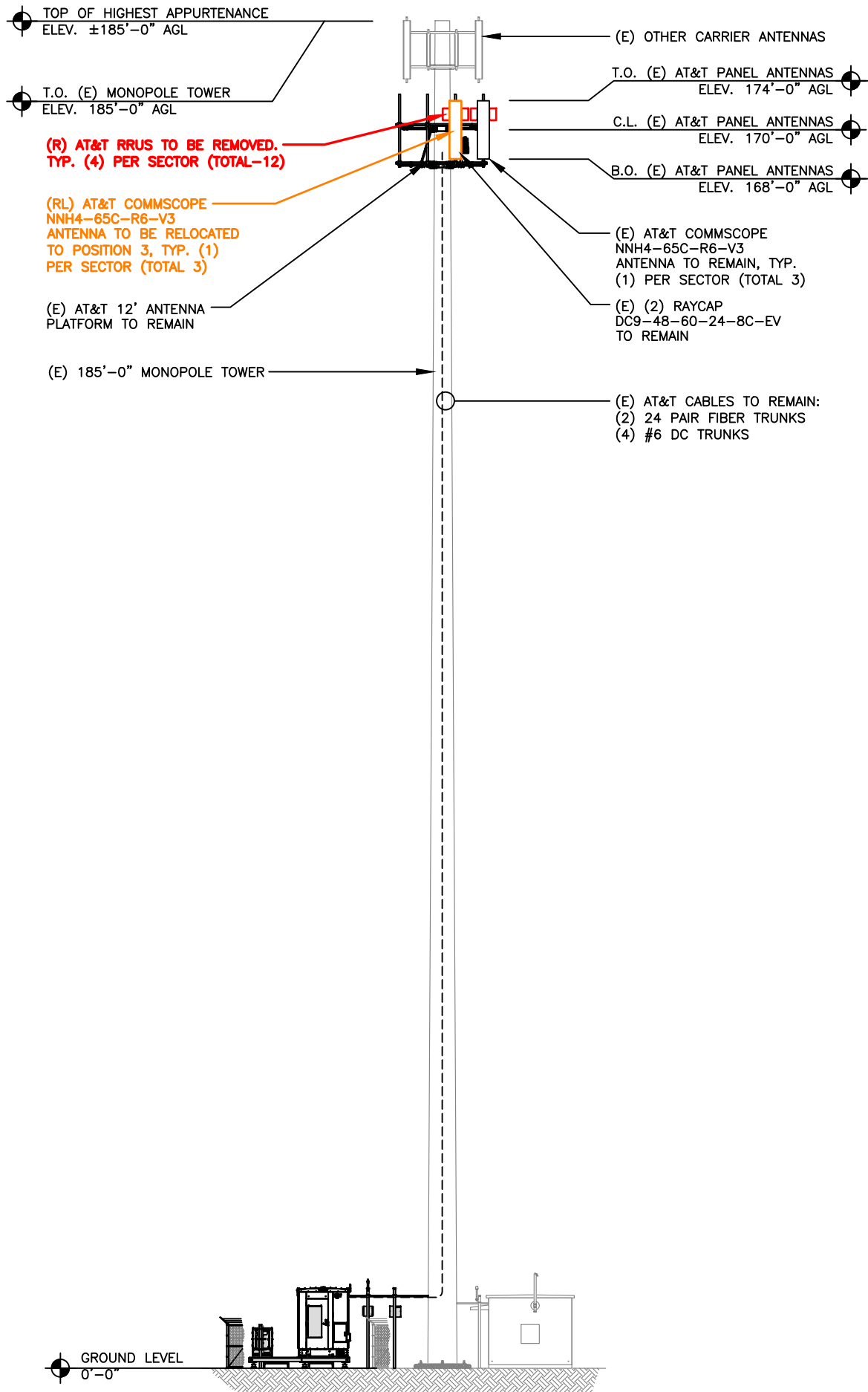
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SHEET TITLE
**EXISTING & NEW
ANTENNA PLANS**

SHEET NUMBER

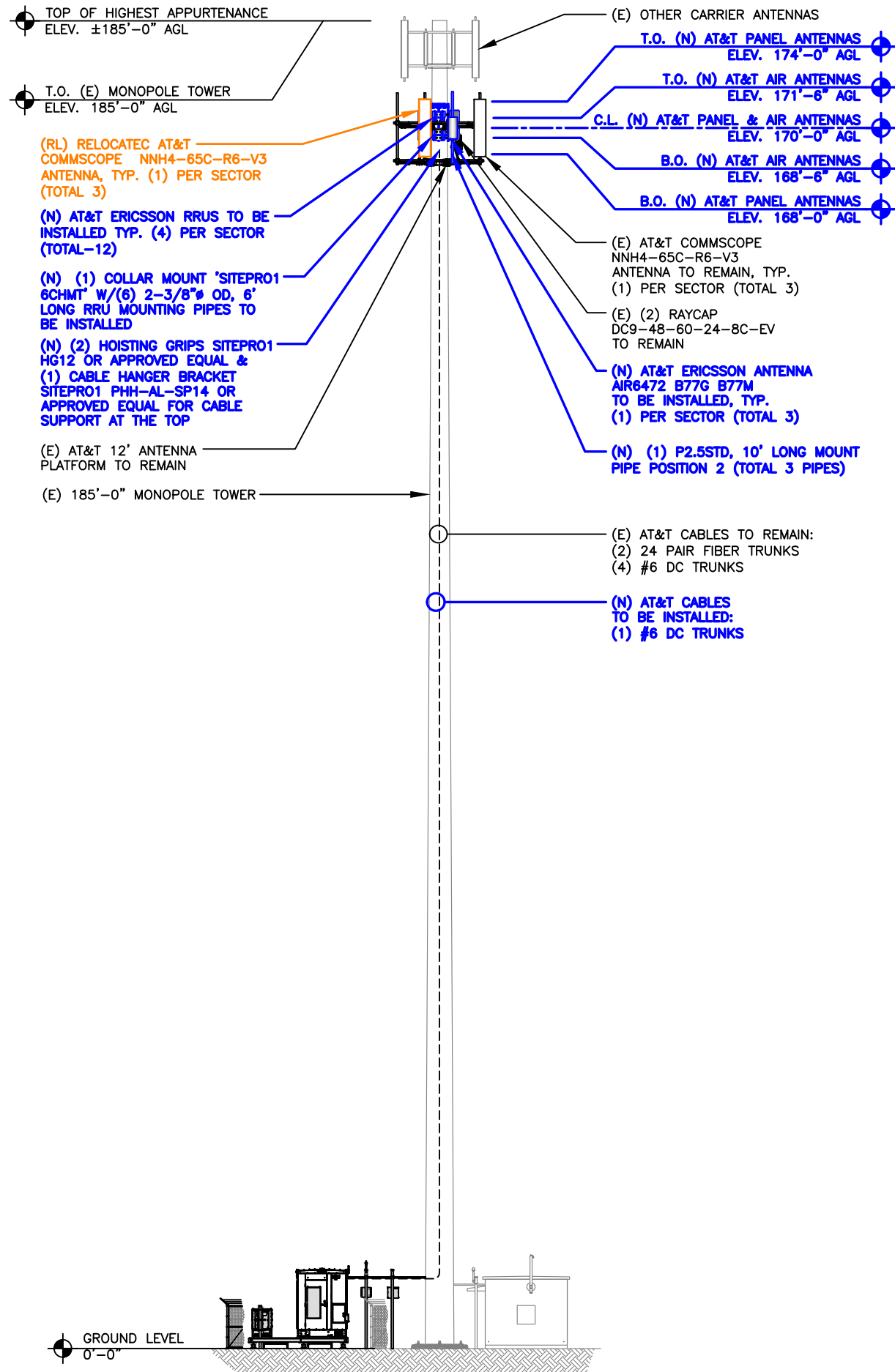
A-3

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2 EXISTING ELEVATION

SCALE
N.T.S.



1 NEW ELEVATION

SCALE
N.T.S.



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SHEET TITLE
**EXISTING & NEW
ELEVATIONS**

SHEET NUMBER
A-4

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EXISTING ANTENNA CONFIGURATION AND CABLE SCHEDULE

SECTOR	POS.	BAND TECH.	ANTENNA MODEL	ANTENNA DIMENSIONS (HxWxD)	ANTENNA AZIMUTH	RAD CENTER	QTY./RRU MODEL	QTY./TMA MODEL	QTY./RAYCAP MODEL	CABLING	CABLE LENGTH
A	1	AWS/700 1900	(X) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"	30°	170'-0" AGL	(1) B12/14/29 370W AHLBA (R) (1) RRH4x25-WCS-4R (R)	-	(2) RAYCAP (X) DC9-48-60-24-8C-EV	(2) 24PR FIBER TRUNKS (X) (4) #6 DC POWER TRUNK (X)	190'-0"
	2	850/WCS	(XR) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"			(1) B5 160W AHCA (R) (1) 4T4R B25/66 320W AHFIB (R)				
	3	-	-	-			-				
	4	-	-	-			-				
B	1	AWS/700 1900	(X) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"	150°	170'-0" AGL	(1) B12/14/29 370W AHLBA (R) (1) RRH4x25-WCS-4R (R)	-			
	2	850/WCS	(XR) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"			(1) B5 160W AHCA (R) (1) 4T4R B25/66 320W AHFIB (R)				
	3	-	-	-			-				
	4	-	-	-			-				
C	1	AWS/700 1900	(X) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"	280°	170'-0" AGL	(1) B12/14/29 370W AHLBA (R) (1) RRH4x25-WCS-4R (R)	-			
	2	850/WCS	(XR) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"			(1) B5 160W AHCA (R) (1) 4T4R B25/66 320W AHFIB (R)				
	3	-	-	-			-				
	4	-	-	-			-				

CABLE LENGTH IS APPROXIMATE AND MUST BE VERIFIED PRIOR TO CONSTRUCTION

(N) = NEW
(X) = EXISTING
(R) = REMOVE
(XR) = EXISTING/RELOCATED



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ANTENNA SCHEDULE

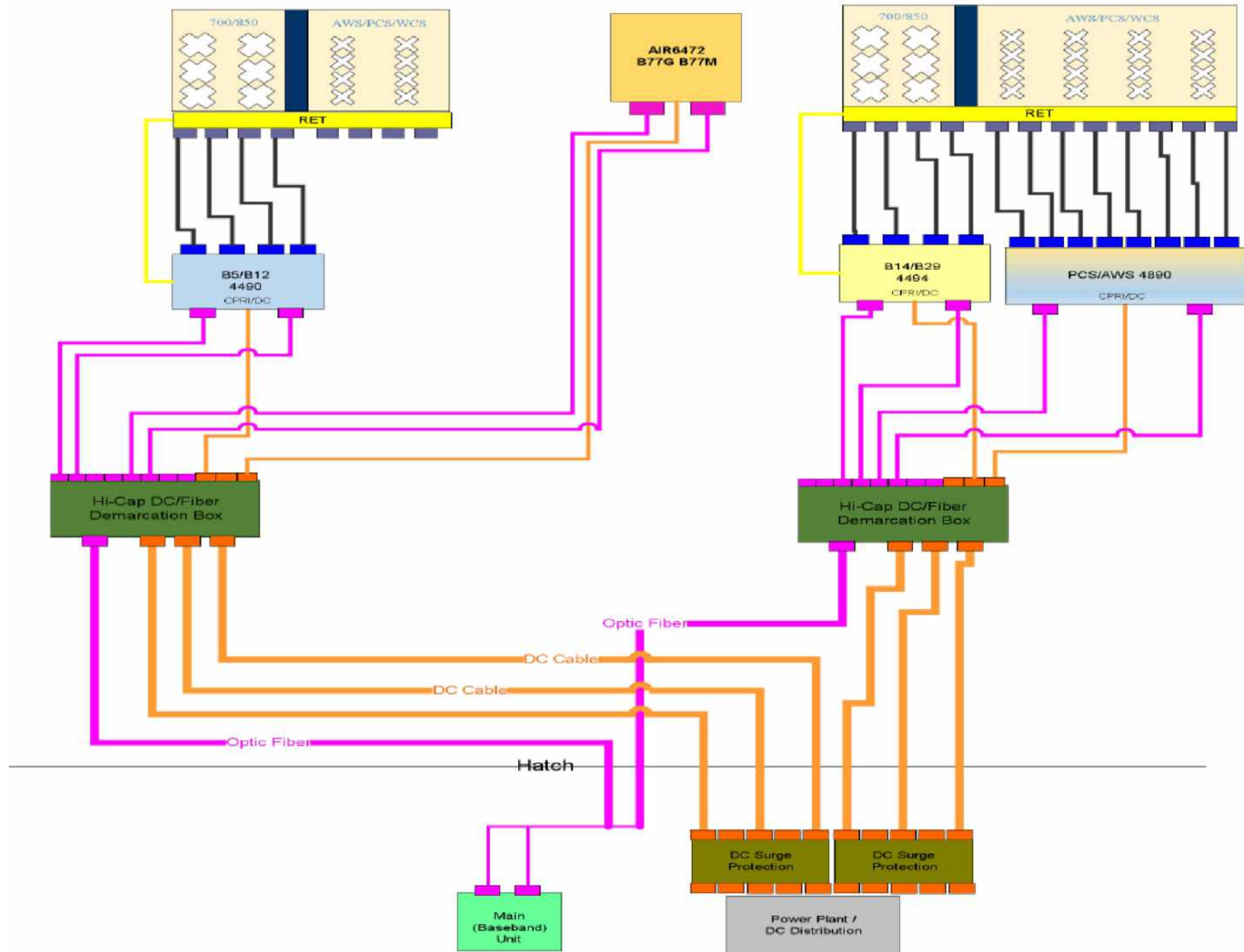
SHEET NUMBER

RF-1

PROPOSED ANTENNA CONFIGURATION AND CABLE SCHEDULE

SECTOR	POS.	BAND TECH.	ANTENNA MODEL	ANTENNA DIMENSIONS (HxWxD)	ANTENNA AZIMUTH	RAD CENTER	QTY./RRU MODEL	QTY./TMA/FILTER MODEL	QTY./RAYCAP MODEL	CABLING	CABLE LENGTH			
A	1	700/850	(X) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"	30°	170'-0" AGL	(1) ERICSSON 4471 B30 (N) (1) ERICSSON 4490 B5/B12A (N)	-	(2) RAYCAP (X) DC9-48-60-24-8C-EV	(2) 24PR FIBER TRUNKS (X) (4) #6 DC POWER TRUNK (X) (1) #6 DC POWER TRUNK (X)	190'-0"			
	2	5G CBAND	(N) ERICSSON AIR6472 B77G B77M	36.4"x16.1"x7.5"			INTEGRATED RADIO							
	3	AWS/700/1900	(XR) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"			(1) ERICSSON 4494 B14/B29 (N) (1) ERICSSON 4890 B25/B66A (N)	(1) IMFQ-LMR-43						
	4	-	-	-			-							
B	1	700/850	(X) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"	150°	170'-0" AGL	(1) ERICSSON 4471 B30 (N) (1) ERICSSON 4490 B5/B12A (N)	-				(2) RAYCAP (X) DC9-48-60-24-8C-EV	(2) 24PR FIBER TRUNKS (X) (4) #6 DC POWER TRUNK (X) (1) #6 DC POWER TRUNK (X)	190'-0"
	2	5G CBAND	(N) ERICSSON AIR6472 B77G B77M	36.4"x16.1"x7.5"			INTEGRATED RADIO							
	3	AWS/700/1900	(XR) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"			(1) ERICSSON 4494 B14/B29 (N) (1) ERICSSON 4890 B25/B66A (N)	(1) IMFQ-LMR-43						
	4	-	-	-			-							
C	1	700/850	(X) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"	280°	170'-0" AGL	(1) ERICSSON 4471 B30 (N) (1) ERICSSON 4490 B5/B12A (N)	-	(2) RAYCAP (X) DC9-48-60-24-8C-EV	(2) 24PR FIBER TRUNKS (X) (4) #6 DC POWER TRUNK (X) (1) #6 DC POWER TRUNK (X)	190'-0"			
	2	5G CBAND	(N) ERICSSON AIR6472 B77G B77M	36.4"x16.1"x7.5"			INTEGRATED RADIO							
	3	AWS/700/1900	(XR) COMMSCOPE NNH4-65C-R6-V3	96"x19.6"x7.8"			(1) ERICSSON 4494 B14/B29 (N) (1) ERICSSON 4890 B25/B66A (N)	(1) IMFQ-LMR-43						
	4	-	-	-			-							

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REVISIONS			
REV.	DATE	DESCRIPTION	BY
A	01/13/25	ISSUED FOR REVIEW	SH
B	02/18/25	ISSUED FOR REVIEW	SH

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I HEREBY CERTIFY THAT THESE PLANS WERE
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
REGISTERED ARCHITECT UNDER THE LAWS OF
THE STATE OF MINNESOTA

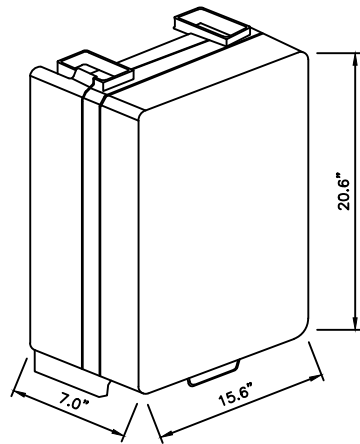
SITE NUMBER: MNL01123
SITE NAME: DELANO COUNTY LINE
FA#: 11571089
3310 COUNTY LINE RD SE
DELANO, MN 55328

SHEET TITLE
**PLUMBING
DIAGRAM**

SHEET NUMBER
RF-2

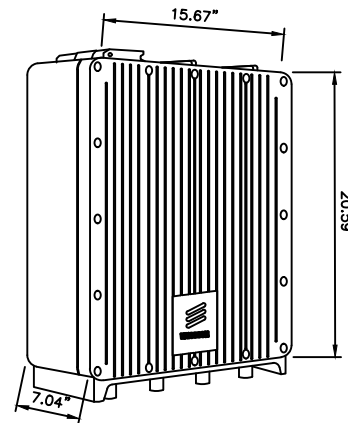
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12 NOT USED
N.T.S.



MANUFACTURER: ERICSSON
MODEL NO.: RRUS 4490 B5/B12A
WEIGHT: 65.04 LBS
CONNECTOR TYPE: 4.3-10 FEMALE

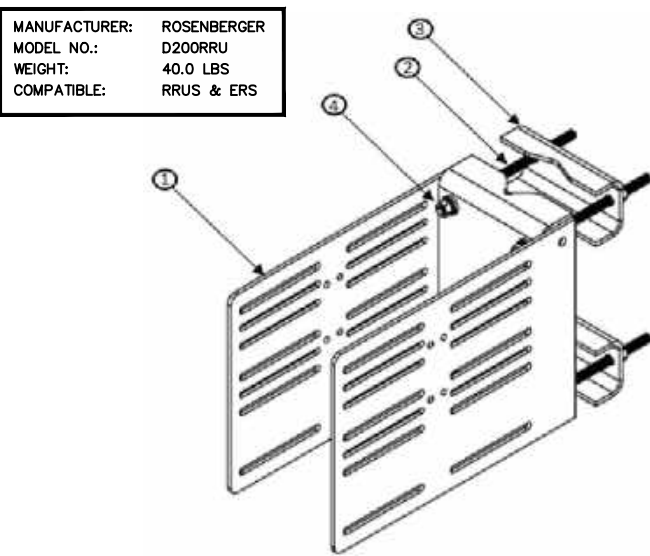
11 RRU DETAIL
N.T.S.



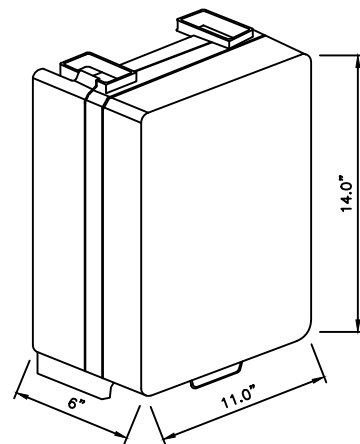
MANUFACTURER: ERICSSON
MODEL NO.: RRUS 4890 B25/B66A
WEIGHT: 67.24 LBS
CONNECTOR TYPE: 4.3-10 FEMALE

10 RRU DETAIL
N.T.S.

9 RRU MOUNTING DETAIL
N.T.S.

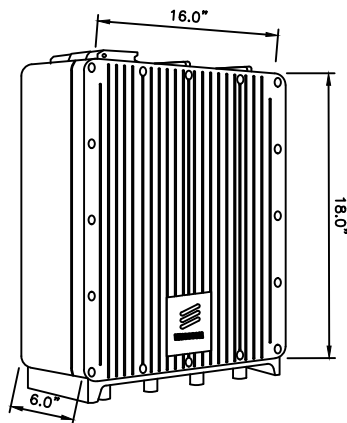


8 RRU DETAIL
N.T.S.



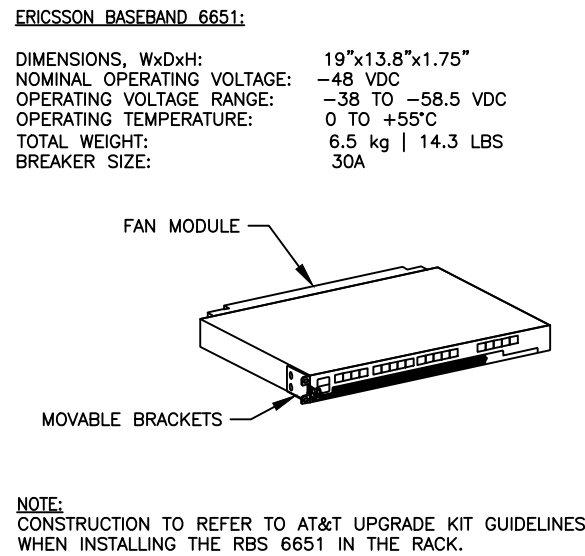
MANUFACTURER: ERICSSON
MODEL NO.: RRUS 4471 B30
WEIGHT: 56.23 LBS
CONNECTOR TYPE: 4.3-10 FEMALE

7 RRU DETAIL
N.T.S.

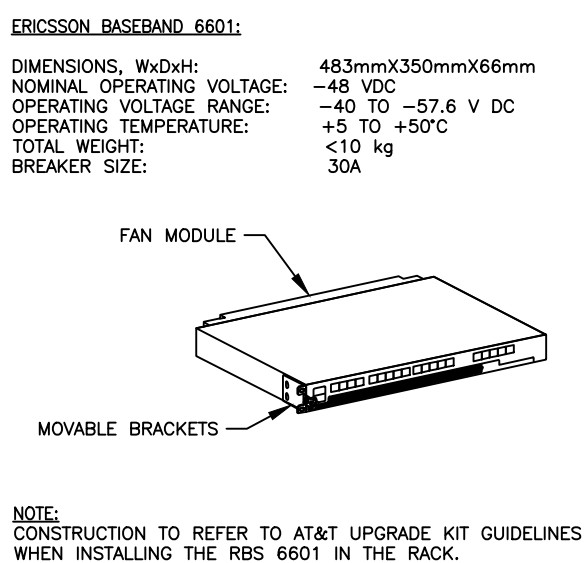


MANUFACTURER: ERICSSON
MODEL NO.: RRUS 4494 B14/B29
WEIGHT: 57.32 LBS
CONNECTOR TYPE: 4.3-10 FEMALE

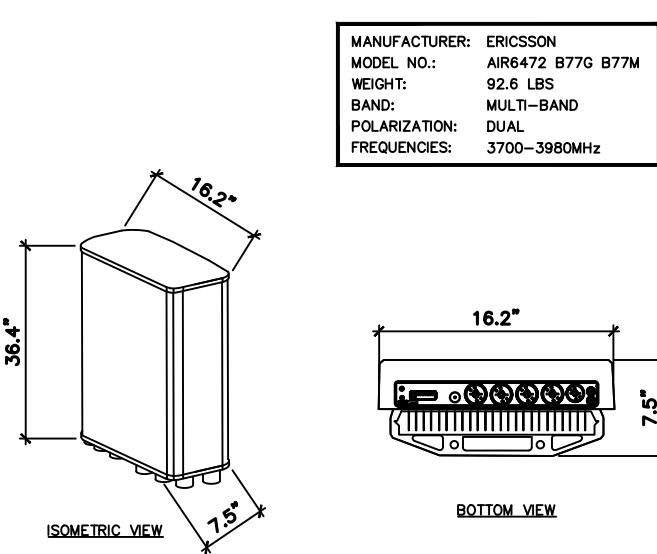
6 BASEBAND DETAIL
N.T.S.



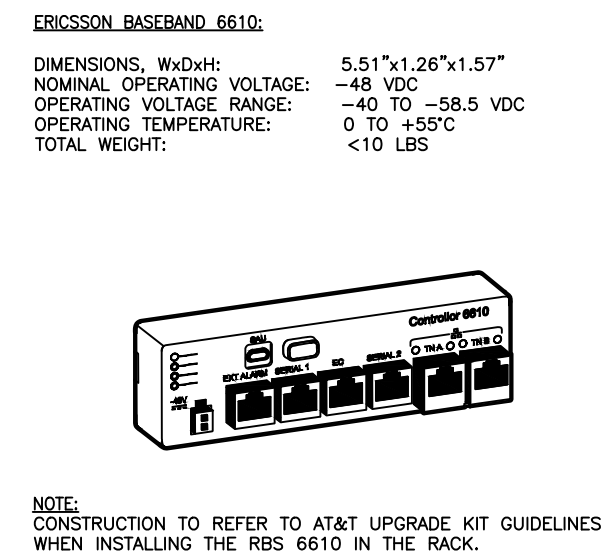
5 BASEBAND DETAIL
N.T.S.



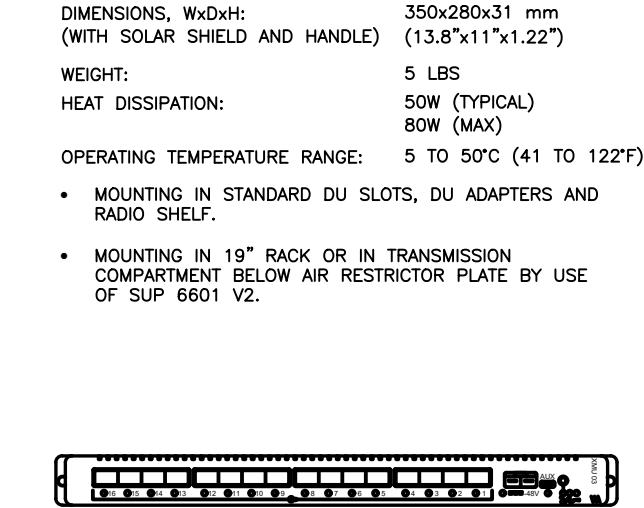
4 ANTENNA DETAIL
N.T.S.



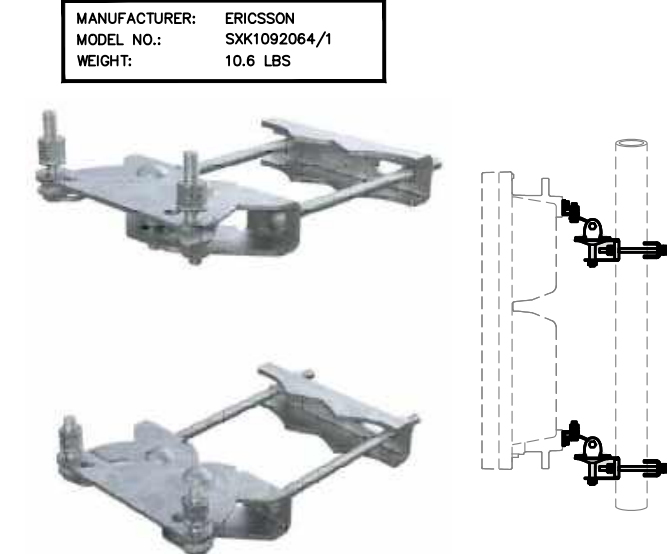
3 BASEBAND DETAIL
N.T.S.



2 XMU DETAIL
N.T.S.



1 ANTENNA MOUNTING DETAIL
N.T.S.



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B	02/18/25	ISSUED FOR REVIEW	SH

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SITE NAME: DELANO COUNTY LINE
FA#: 11571089
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DELANO, MN 55328

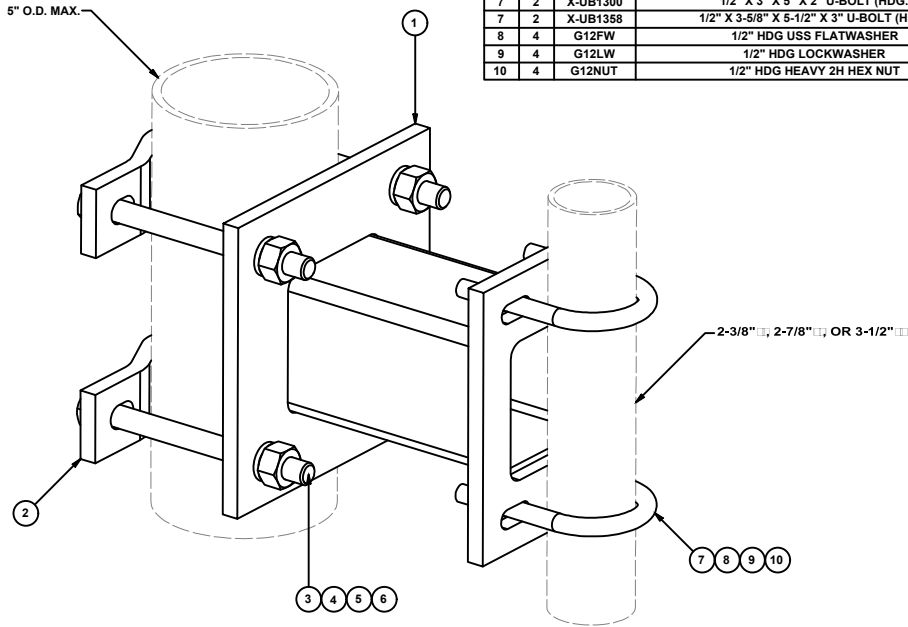
SHEET TITLE

DETAILS

SHEET NUMBER

D-1

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PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.
1	1	X-WWM01	8" STAND-OFF ARM / WALL MOUNT		18.12
2	2	DCP	1/2" THICK, 5-3/4" CNTER TO CENTER CLAMP HALF	8 1/8 in	2.36
3	4	G5807	5/8" x 7" HDG HEX BOLT GR5 FULL THREAD	7 in	0.70
4	4	G58FW	5/8" HDG USS FLATWASHER	1/8 in	0.07
5	4	G58LW	5/8" HDG LOCKWASHER		0.03
6	4	G58NUT	5/8" HDG HEAVY 2H HEX NUT		0.13
7	2	X-UB1212	1/2" X 2-1/2" X 4-1/2" X 2" U-BOLT (HDG.)		0.63
7	2	X-UB1300	1/2" X 3" X 5" X 2" U-BOLT (HDG.)		0.70
7	2	X-UB1358	1/2" X 3-5/8" X 5-1/2" X 3" U-BOLT (HDG.)		0.77
8	4	G12FW	1/2" HDG USS FLATWASHER	3/32 in	0.03
9	4	G12LW	1/2" HDG LOCKWASHER	1/8 in	0.01
10	4	G12NUT	1/2" HDG HEAVY 2H HEX NUT		0.07
TOTAL WT. #					31.24

TOLERANCE NOTES

TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:
SAWED, SHEARED AND GAS CUT EDGES ($\pm 0.030"$)
DRILLED AND GAS CUT HOLES ($\pm 0.030"$) - NO CONING OF HOLES
LASER CUT EDGES AND HOLES ($\pm 0.010"$) - NO CONING OF HOLES
BENDS ARE $\pm 1/2$ DEGREE
ALL OTHER MACHINING ($\pm 0.030"$)
ALL OTHER ASSEMBLY ($\pm 0.060"$)

PROPRIETARY NOTE:
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DESCRIPTION
8" STAND-OFF PIPE MOUNT

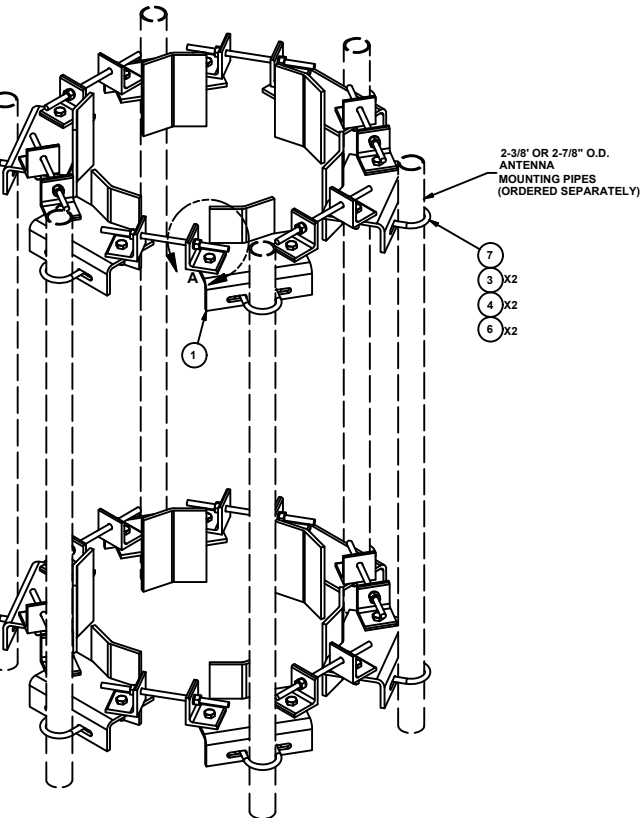
CPD NO. 87
SUB 02
DRAWN BY CMFL 1/18/2021
DRAWING USAGE CUSTOMER
ENG. APPROVAL
CHECKED BY



Locations:
New York, NY
Atlanta, GA
Los Angeles, CA
Plymouth, IN
Salem, OR
Dallas, TX
Engineering
Support Team:
1-888-753-7446

PART NO. WWM01-DCP
DWG. NO. WWM01-DCP

PAGE 1 OF 1



TOLERANCE NOTES

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DESCRIPTION
6 SIDED MONOPOLE MOUNT FOR ROUND OR POLYGON POLES 17-1/2" TO 56" DIA.

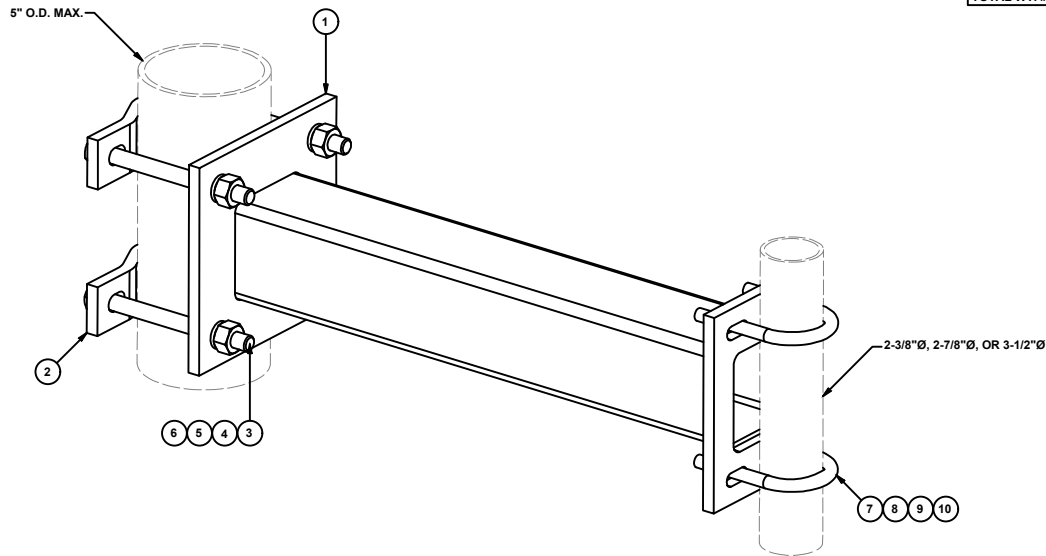
CPD NO. 81
SUB 01
DRAWN BY CEK 4/14/2014
DRAWING USAGE CUSTOMER
ENG. APPROVAL
CHECKED BY BMC 4/16/2014



Locations:
New York, NY
Atlanta, GA
Los Angeles, CA
Plymouth, IN
Salem, OR
Dallas, TX
Engineering
Support Team:
1-888-753-7446

PART NO. 6CHMT
DWG. NO. 6CHMT

PAGE 1 OF 1



PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.
1	1	X-WWM02	2" STAND-OFF ARM / WALL MOUNT		30.70
2	2	DCP	1/2" THICK, 5-3/4" CNTER TO CENTER CLAMP HALF	8 1/8 in	2.36
3	4	G5807	5/8" x 7" HDG HEX BOLT GR5 FULL THREAD	7 in	0.70
4	4	G58FW	5/8" HDG USS FLATWASHER	1/8 in	0.07
5	4	G58LW	5/8" HDG LOCKWASHER		0.03
6	4	G58NUT	5/8" HDG HEAVY 2H HEX NUT		0.13
7	2	X-UB1212	1/2" X 2-1/2" X 4-1/2" X 2" U-BOLT (HDG.)		0.63
7	2	X-UB1300	1/2" X 3" X 5" X 2" U-BOLT (HDG.)		0.70
7	2	X-UB1358	1/2" X 3-5/8" X 5-1/2" X 3" U-BOLT (HDG.)		0.77
8	4	G12FW	1/2" HDG USS FLATWASHER	3/32 in	0.03
9	4	G12LW	1/2" HDG LOCKWASHER	1/8 in	0.01
10	4	G12NUT	1/2" HDG HEAVY 2H HEX NUT		0.07
TOTAL WT. #					43.82

TOLERANCE NOTES

TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:
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DRILLED AND GAS CUT HOLES ($\pm 0.030"$) - NO CONING OF HOLES
LASER CUT EDGES AND HOLES ($\pm 0.010"$) - NO CONING OF HOLES
BENDS ARE $\pm 1/2$ DEGREE
ALL OTHER MACHINING ($\pm 0.030"$)
ALL OTHER ASSEMBLY ($\pm 0.060"$)

PROPRIETARY NOTE:
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DESCRIPTION
24" STAND-OFF PIPE MOUNT

CPD NO. 87
SUB 02
DRAWN BY CMFL 10/27/2021
DRAWING USAGE CUSTOMER
ENG. APPROVAL
CHECKED BY

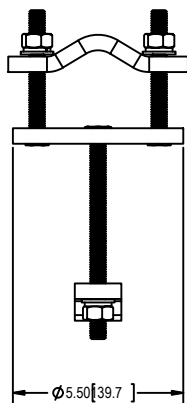


Locations:
New York, NY
Atlanta, GA
Los Angeles, CA
Plymouth, IN
Salem, OR
Dallas, TX
Engineering
Support Team:
1-888-753-7446

PART NO. WWM02-DCP
DWG. NO. WWM02-DCP

PAGE 1 OF 1

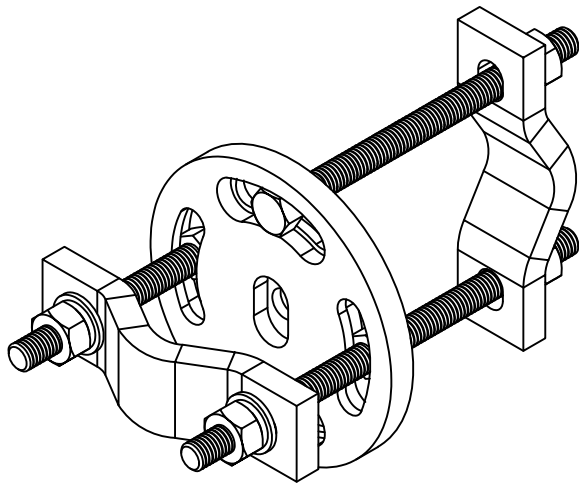
NOTES:
1.0 ALL METRIC DIMENSIONS ARE IN BRACKETS.



ITEM	PART NO.	DESCRIPTION	QTY.	WEIGHT	NOTE NO.
1	PCC401	PLUCK CROSSOVER CLAMP 4"	1	2.20 LBS	
2	SCP10	SMALL DISH CLAMP HALF	2	1.20 LBS	
3	SWF04A	1/2" GALV FLAT WASHER (A325)	4	0.02 LBS	
4	SN04A	1/2" GALV HEX NUT (A194 2H)	4	0.07 LBS	
5	SNL04	1/2" GALV LOCK WASHER	4	0.01 LBS	
6	SB0405FT	1/2-13 UNC X 4" GALV FULL THREAD HEX BOLT (GRADE 5)	2	0.24 LBS	
7	SB0405FT	1/2-13 UNC X 6" GALV FULL THREAD HEX BOLT (GRADE 5)	2	0.36 LBS	

CROSSOVER PLATE DETAIL

N.T.S.



COMMSCOPE, INC. OF NORTH CAROLINA

TOLERANCES
0 PLACE X $\pm .25$
1 PLACE X $\pm .12$
2 PLACE XX $\pm .06$
ANGLES $\pm 2^\circ$
SAP MATERIAL MASTER
XP-R

FINISH
ASTM A123
MATERIAL
A36

NAME
DATE
TITLE
CROSSOVER PLATE, ROUND, UP TO 3.5" OD
SCALE
DOCUMENT NO.
1:2
XP-R
SIZE
WORK AREA
MODEL
REVISION
DRAWING
SHEET
1 OF 1



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REVISIONS

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B	02/18/25	ISSUED FOR REVIEW	SH

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THE STATE OF MINNESOTA

SITE NUMBER: MNL01123
SITE NAME: DELANO COUNTY LINE
FA#: 11571089
3310 COUNTY LINE RD SE
DELANO, MN 55328

SHEET TITLE

DETAILS

SHEET NUMBER

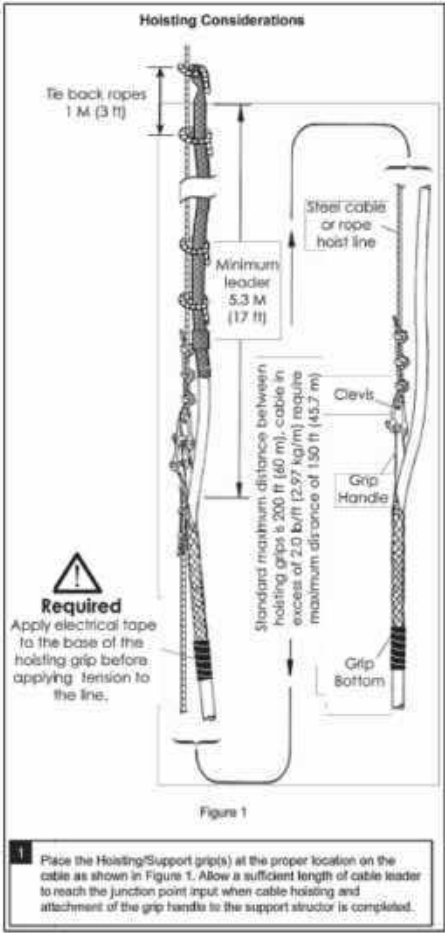
D-2

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4 NOT USED
N.T.S.

3 HOISTING GRIP DETAIL
N.T.S.

REFER TO HOISTING AND
SUPPORT GRIP INSTALLATION
INSTRUCTIONS PRIOR TO
INSTALLATION

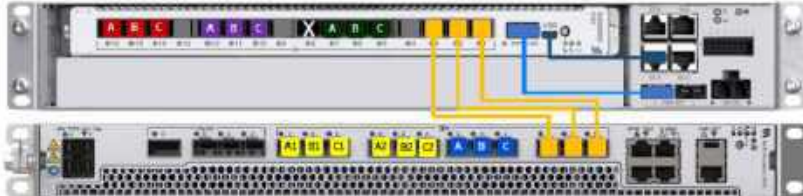


2 BASEBAND CONFIGURATION
N.T.S.

RF Design – Baseband Configuration

2024: Configuration A1.1: Triple Mode (12 TDD ASS NR and <= 15 LTE Cells and <= 12 NR Cells)

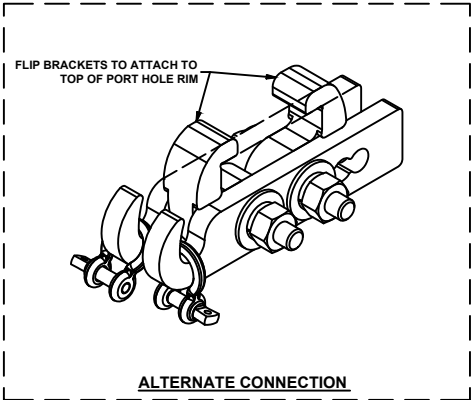
- Tri-Mode: TDD AAS + FDD NR/LTE: RANP6651 + 6601 SUP + R503 + CNTR6610 + SAU
- Additional basebands might be added in case of 4 or more sector site or number of cells exceeding the baseband limits. E.g 2x6651 (Swap/Acceleration) or 6651 + 6630 (Acceleration)



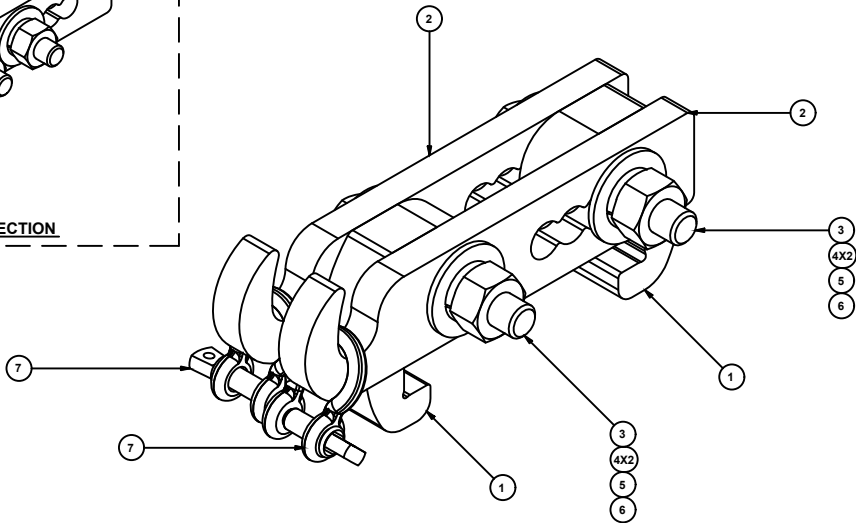
• Site Controller 6618 for External Alarms



- Radio 4498/4449 – B5 (B58) and B12 (700) OR Radio 4478 B12 (700) OR Radio 4478 B5 (B58)
- Radio 4494 – B14 (FNET) and B29 (700DE) OR Radio 4478 – B14 (FNET)
- AIR 6472 – B77D (C-Band) and B77G (3.45) (2 x eCPRI -> BW = 120MHz) OR AIR6449/AIR6449 B77D (C-Band – A1/B1/C1) + AIR6449 B77G (3.45 – A2/B2/C2)
- Radio 4898/8843 – B25 (PCS) and B66 (AWS)
- Radio 4471 – B38 (WCS) OR Radio 4415 – B38 (WCS)
- NOT CONNECTED



PARTS LIST						
ITEM QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.	
1	2	X-HRR-HANGH	1" MILL PLATE (A572 GR50)	12 in	1.14	2.29
2	2	X-HRR-HANGL	1/2" MILL PLATE (A572 GR.50)	12 in	1.34	2.68
3	2	G1203	1/2" x 3" HDG HEX BOLT GR5 FULL THREAD	3 in	0.22	0.43
4	4	G12FW	1/2" HDG USS FLATWASHER	3/32 in	0.03	0.14
5	2	G12LW	1/2" HDG LOCKWASHER	1/8 in	0.01	0.03
6	2	G12NUT	1/2" HDG HEAVY 2H HEX NUT		0.07	0.14
7	2	SHK14	1/4" SCREW PIN SHACKLE		0.10	0.21
TOTAL WT. #					5.92	



FINISH:
HOT DIP GALVANIZED.

TOLERANCE NOTES

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LASER CUT EDGES AND HOLES ($\pm 0.010"$) - NO CONING OF HOLES
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ALL OTHER ASSEMBLY ($\pm 0.060"$)

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DESCRIPTION
PORT HOLE HANGER KIT W/ 1/4" SHACKLES

CPD NO. 87
SUB 02
DRAWN BY CMFL 5/10/2023
DRAWING USAGE CUSTOMER
ENG. APPROVAL
CHECKED BY



Engineering
Support Team:
1-888-753-7446

PART NO. PHH-AL-SP14
DWG. NO. PHH-AL-SP14

PAGE
1 OF 3



604 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: AE@Westchesterservices.com

JOHN M. BANKS
ARCHITECT
604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JBANKS@WESTCHESTERSERVICES.COM

REVISIONS			
REV.	DATE	DESCRIPTION	BY
A	01/13/25	ISSUED FOR REVIEW	SH
B	02/18/25	ISSUED FOR REVIEW	SH

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

IT IS A VIOLATION OF LAW FOR ANY PERSONS,
UNLESS THEY ARE ACTING UNDER THE
DIRECTION OF A LICENSED PROFESSIONAL
ARCHITECT TO ALTER THIS DOCUMENT

I HEREBY CERTIFY THAT THESE PLANS WERE
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
REGISTERED ARCHITECT UNDER THE LAWS OF
THE STATE OF MINNESOTA

SITE NUMBER: MNL01123
SITE NAME: DELANO COUNTY LINE
FA#: 11571089
3310 COUNTY LINE RD SE
DELANO, MN 55328

SHEET TITLE

DETAILS

SHEET NUMBER

D-3

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.



(E) (2) AT&T RAYCAP
DC12-48-60-0-25E



(N) (2) 6651 BASEBAND,
(1) 6610 BASEBAND, (1)
6601 BASEBAND &
(1) XMU TO BE
INSTALLED

(E) AT&T FIF RACK



(E) AT&T NETSURE 7100
POWER PLANT W/(11)
-48V RECTIFIERS &
(8) 190AH BATTERIES



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D-4

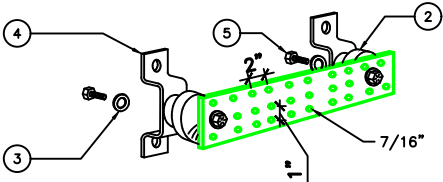
THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

GROUNDING NOTES:

- ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION REQUIREMENTS AND CONSTRUCTION ACCORDING TO SITE CONDITIONS.
- ALL GROUNDING CONDUCTORS: #2 AWG SOLID BARE TINNED COPPER WIRE UNLESS OTHERWISE NOTED.
- GROUND BAR LOCATED IN BASE OF EQUIPMENT WILL BE PROVIDED, FURNISHED AND INSTALLED BY THE VENDOR.
- ALL BELOW GRADE CONNECTIONS: EXOTHERMIC WELD TYPE. ABOVE GRADE CONNECTIONS: EXOTHERMIC WELD TYPE.
- GROUND RING SHALL BE LOCATED A MINIMUM OF 24" BELOW GRADE OR 6" MINIMUM BELOW THE FROST LINE.
- INSTALL GROUND CONDUCTORS AND GROUND OR MINIMUM OF 1'-0" FROM EQUIPMENT CONCRETE SLAB, SPREAD FOOTING, OR FENCE.
- EXOTHERMIC WELD GROUND CONNECTION TO FENCE POST: TREAT WITH A COLD GALVANIZED SPRAY.
- GROUND BARS:
A) EQUIPMENT GROUND BUS BAR (EGB) LOCATED AT THE BOTTOM OF ANTENNA POLE/MAST FOR MAKING GROUNDING JUMPER CONNECTIONS TO COAX FEEDER CABLES SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. JUMPERS (FURNISHED BY OWNERS) SHALL BE INSTALLED AND CONNECTED BY ELECTRICAL CONTRACTOR.
- ALL GROUNDING INSTALLATIONS AND CONNECTIONS SHALL BE MADE BY ELECTRICAL CONTRACTOR.
- OBSERVE N.E.C. AND LOCAL UTILITY REQUIREMENTS FOR ELECTRICAL SERVICE GROUNDING.
- GROUNDING ATTACHMENT TO TOWER SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS OR AT GROUNDING POINTS PROVIDED (2 MINIMUM).
- IF EQUIPMENT IS IN A C.L. FENCE ENCLOSURE, GROUND ONLY CORNER POSTS AND SUPPORT POSTS OF GATE. IF CHAIN LINK FENCE LID IS USED, THEN GROUND LID ALSO.
- GROUNDING AT PPC CABINET SHALL BE VERTICALLY INSTALLED.
- ALL GROUNDING FOR ANTENNAS SHALL BE CONNECTED SO THAT E WILL BY-PASS MAIN BUSS BAR.
- ALL EMT RUNS SHALL BE GROUNDED AND HAVE A BUSHING, NO PVC ABOVE GROUND.
- USE SEPARATE HOLES FOR GROUNDING AT BUSS BAR. NO "DOUBLE-UP" OF LUGS.
- POWER AND TELCO CABINETS SHALL BE GROUNDING (BONDED) TOGETHER.
- NO LB'S ALLOWED ON GROUNDING.
- PROVIDE STAINLESS STEEL CLAMP AND BRASS TAGS ON COAX AT ANTENNAS AND DOGHOUSE.
- ALL ELECTRICAL AND GROUNDING AT THE CELL SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), 780 (LATEST EDITION), AND MANUFACTURER SPECIFICATION.
- IF THE AC PANEL IN THE POWER CABINET IS WIRED AS SERVICE ENTRANCE, THE AC SERVICE GROUND CONDUCTOR SHALL BE CONNECTED TO GROUND ELECTRODE SYSTEM. WHEN THE AC PANEL IN THE POWER CABINET IS CONSIDERED A SUB-PANEL, THE GROUND WIRE SHALL BE INSTALLED IN THE AC POWER CONDUIT, THE INSTALLATION SHALL BE PER LOCAL AND NATIONAL ELECTRIC CODE (NFPA 30).
- EXOTHERMIC WELDING IS RECOMMENDED FOR GROUNDING CONNECTION WHERE PRACTICAL OTHERWISE, THE CONNECTIONS SHALL BE MADE USING COMPRESSION TYPE-2 HOLES, LONG BARREL LUGS OR DOUBLE CRIMP CLAMP "C" CLAMP. THE COPPER CABLES SHALL BE COATED WITH ANTIOXIDANT (COPPER SHIELD) BEFORE MAKING THE CONNECTIONS. THE MANUFACTURER'S TORQUING RECOMMENDATIONS ON THE BOLT ASSEMBLY TO SECURE CONNECTIONS SHALL BE FOLLOWED.
- THE ANTENNA CABLES SHALL BE GROUNDED AT THE TOP AND BOTTOM OF THE VERTICAL RUN FOR LIGHTING PROTECTION. THE ANTENNA CABLE SHIELD SHALL BE BONDED TO A COPPER GROUND BUSS AT THE LOWER MOST POINT OF A VERTICAL RUN JUST BEFORE IT BEGINS TO BEND TOWARD THE HORIZONTAL PLANE. WIRE RUNS TO GROUND SHALL BE KEPT AS STRAIGHT AND SHORT AS POSSIBLE. ANTENNA CABLE SHIELD SHALL BE GROUNDED JUST BEFORE ENTERING THE CELL CABINET. ANY ANTENNA CABLES OVER 200 FEET IN LENGTH SHALL ALSO BE EQUIPPED WITH ADDITIONAL GROUNDING AT MID-POINT.
- ALL GROUNDING CONDUCTORS INSIDE THE BUILDING SHALL BE RUN IN CONDUIT RACEWAY SYSTEM, AND SHALL BE INSTALLED AS STRAIGHT AS PRACTICAL WITH MINOR BENDS TO AVOID OBSTRUCTIONS.THE BENDING RADIUS OF ANY #2 GROUNDING CONDUCTOR IS 8" PVC RACEWAY MAY BE FLEXIBLE OR RIGID PER THE FIELD CONDITIONS. GROUNDING CONDUCTORS SHALL NOT MAKE CONTACT WITH ANY METALLIC CONDUITS, SURFACES OR EQUIPMENT.
- PROVIDE PVC SLEEVES WHERE GROUNDING CONDUCTORS PASS THROUGH THE BUILDING WALLS AND/OR CEILINGS.
- INSTALL GROUND BUSHINGS ON ALL METALLIC CONDUITS AND BOND TO THE EQUIPMENT GROUND BUSS IN THE PANEL BOARD.
- GROUND ANTENNA BASES, FRAMES, CABLE RACKS AND OTHER METALLIC COMPONENTS WITH #2 GROUNDING CONDUCTORS AND CONNECT TO INSULATED SURFACE MOUNTED GROUND BARS. CONNECTION DETAILS SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS FOR GROUNDING.
- ALL PROPOSED GROUNDING CONDUCTORS SHALL BE ROUTED AND CONNECTED TO THE MAIN GROUND BAR OR EXISTING GROUND RING.

4 GROUNDING NOTES

N.T.S.



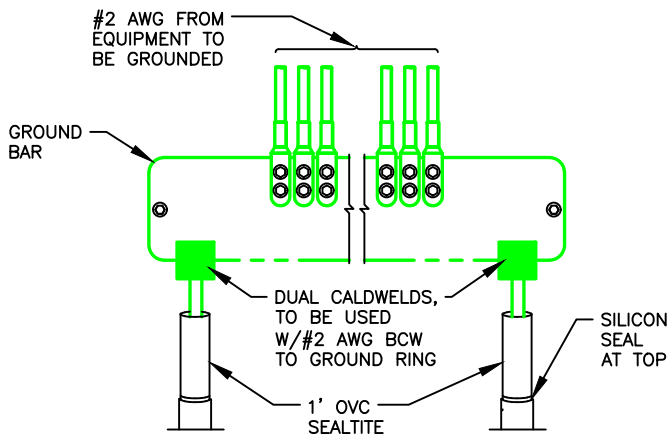
LEGEND

- COPPER GROUND BAR, "X1/4"X20". NEWTON INSTRUMENT CO. CAT. NO. B-6142 OR EQUAL. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION. (ACTUAL GROUND BAR SIZE WILL VARY BASED ON NUMBER OF GROUND CONNECTORS)
- INSULATORS, NEWTON INSTRUMENT CAT. NO. 3061-4 OR EQUAL
- 5/8" LOCKWASHERS, NEWTON INSTRUMENT CO. CAT. NO. 3015-8 OR EQUAL
- WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO. CAT. NO. A-6056 OR EQUAL
- 5/8"-11X1" HHCS BOLTS, NEWTON INSTRUMENT CO. CAT. NO. 3012-1 OR EQUAL
- INSULATORS SHALL BE ELIMINATED WHEN BONDING DIRECTLY TO TOWER/XXX STRUCTURE. CONNECTION TO TOWER/XXX STRUCTURE SHALL BE PER MANUFACTURERS RECOMMENDATIONS.

NOTE: ALL HARDWARE SHALL BE STAINLESS STEEL

5 GROUND BAR DETAIL

N.T.S.



NOTE:

- CONTRACTOR TO UTILIZE KOPR-SHIELD (THANS & BETTS) ON ALL LUG CONNECTIONS OR APPROVED EQUAL.
- ALL LUGS TO BE DUAL HOLE LONG BARREL AND CRIMPED TWICE WITH MFR'S RECOMMENDED TOOL.

3 GROUND BAR CONNECTION

N.T.S.

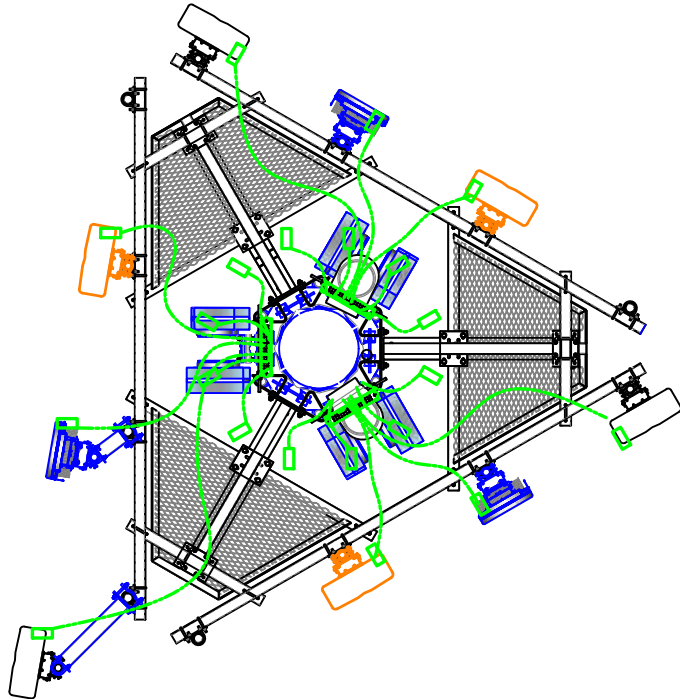
GROUNDING LEGEND

- MECHANICAL CONNECTION
- EXOTHERMIC WELD CONNECTION
- COMPRESSION FITTING CONNECTION
- PROPOSED GROUND WIRING
- EXISTING GROUND WIRING
- TINNED COPPER GROUND BAR 1/4"X4"X12" OR 1/4"X4"X20"
- COLLECTOR GROUND BAR
- MAIN GROUND BAR



2 ANTENNA GROUNDING PLAN (TYP. PER SECTOR)

N.T.S.



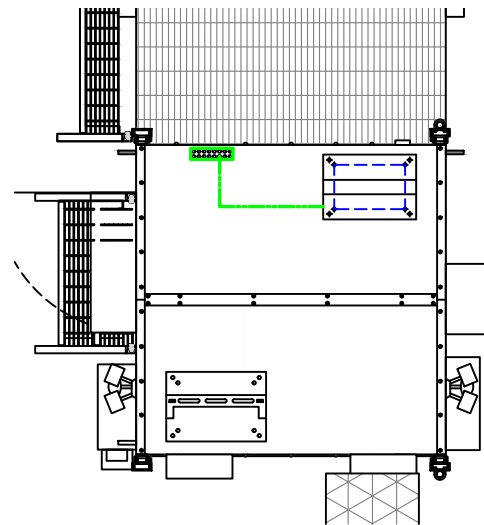
GROUNDING LEGEND

- MECHANICAL CONNECTION
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- COMPRESSION FITTING CONNECTION
- PROPOSED GROUND WIRING
- EXISTING GROUND WIRING
- TINNED COPPER GROUND BAR 1/4"X4"X12" OR 1/4"X4"X20"
- COLLECTOR GROUND BAR
- MAIN GROUND BAR



1 EQUIPMENT GROUNDING PLAN

N.T.S.



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FA#: 11571089
3310 COUNTY LINE RD SE
DELANO, MN 55328

SHEET TITLE

GROUNDING
PLANS & NOTES

SHEET NUMBER

G-1

Date: April 9, 2025

MasTec Communications Group
800 S. Douglas Rd., 10th Floor
Coral Gables, FL 33134

ARCHITECTURE & ENGINEERING DIVISION
604 FOX GLEN . BARRINGTON, IL 60010
847/277-0070 . FAX: 847/277-0080

AE@westchesterservices.com / www.westchesterservices.com

Subject: Structural Analysis Report

AT&T Turf 6

Site Name: Delano County Line
FA#: 11571089
IWM: WSUMW0046561

Engineering Firm Designation: Westchester Services, LLC

Site Data: 3310 County Line Rd., SE, Delano, MN 55328
N45.037277, W93.765194
Wright County – 185ft Monopole
12ft Face Platform Mount – 167ft Mounting Height

Westchester Services, LLC is pleased to submit this “Structural Analysis Report” to determine the structural integrity of the above-mentioned tower. The purpose of the analysis is to determine acceptability of the tower stress level. Based on our analysis we have determined the tower stress levels for the tower under the following load case to be:

Existing and Proposed Equipment

Sufficient Capacity

Note: See Table 2-1 for the existing and proposed loading.

Member Type	Result	Pass/Fail
Overall	83.6%	Pass

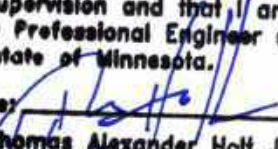
The analysis has been performed in accordance with the following criteria:

Building Code: 2020 Minnesota Building Code
TIA Standard: TIA-222-H

I certify that this report was prepared by me or under my direct supervision and that I am a Licensed Professional Engineer under the laws of the State of Minnesota.

Thomas Holt, PE
Professional Engineer

I hereby certify that this plan, specification, report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Signature: 
Name: Thomas Alexander Holt Jr
Date: 4/9/25 License Number: 58133

City of Independence
***Request for a Minor Subdivision
for the Property located at 6785 Hwy 12***

To: City Council
From: Mark Kaltsas, City Planner
Meeting Date: October 7, 2025
Owner/Applicants: Greg A Jurvakainen/ Carter Berkelman
Location: 6785 Highway 12

Request:

Greg A Jurvakainen (Applicants) and Carter Berkelman (Owner) request that the City consider the following action for the properties located at 6785 Highway 12, Independence, MN (PID No. 22-118-24-42-0001) and the property to the south that does not have an address but is identified by the following PID Number (PID No. 22-118-24-31-0002):

- a. A minor subdivision to allow a lot line rearrangement between the two subject properties. The minor subdivision would add approximately 50' to the south side of the 6785 Highway 12 property.

Property/Site Information:

The subject property is located along the south side of Highway 12, west of County Road 90 N. The existing property has an existing home. The unaddressed property has an existing accessory building which is accessed off of Pioneer Creek Drive. The subject properties have the following site characteristics:

Property Information: 6785 Highway 12 (Berkelman)

Zoning: *AG-Agriculture*

Comprehensive Plan: *Agriculture*

Acreage (Before): *5.61 acres*

Acreage (After): *7.40 acres*

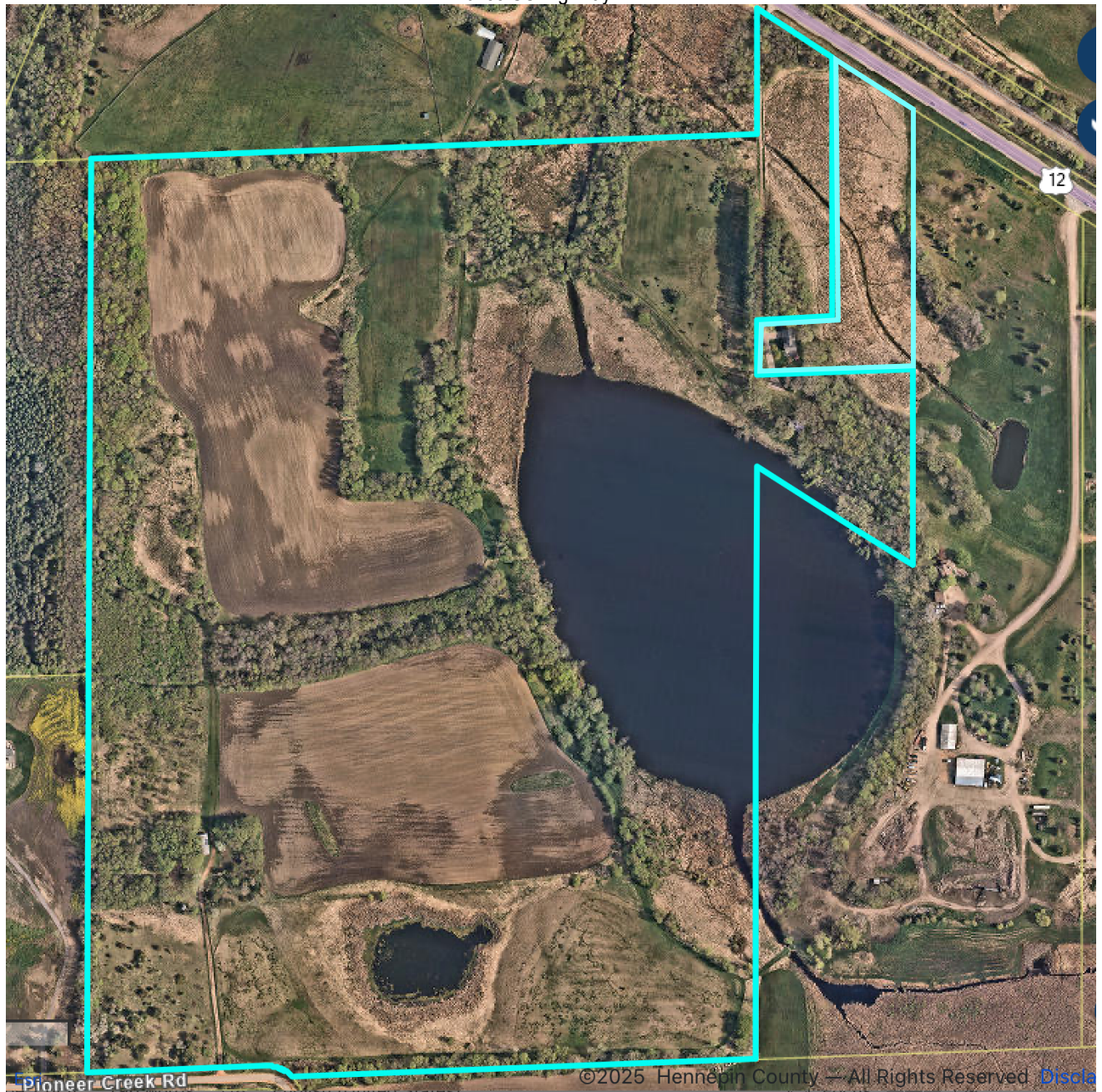
Property Information: Unaddressed Property (Blatz)

Zoning: *AG-Agriculture*

Comprehensive Plan: *Agriculture*

Acreage (Before): *125.10 acres*

Acreage (After): *123.31 acres*



Discussion:

The applicant approached the city about the possibility of doing a lot line rearrangement so that the existing house could be expanded without the need for a setback variance. The proposed minor subdivision would also allow the existing septic system to be brought onto the property with the existing house. It is currently located within an easement on the adjacent property. The proposed lot line rearrangement would add 1.79 acres to the existing property.

The owner of the 6785 Hwy 12 property is related to the owner of the adjacent property. There are several things that should be noted as it relates to the proposed lot line rearrangement:

- The existing lot is considered a legal non-confirming lot because it does not have the requisite frontage on a public right of way. The property currently has 270 LF of frontage on Hwy 12. The requisite frontage is 300 LF.
- The driveway that services the existing house and lot is located within a driveway easement on the adjacent property.
- The septic field that serves the existing house is located within a drain field easement on the adjacent property. In the proposed after condition, the septic field will be located wholly on the subject property.
- There do not appear to be any issues with the larger unaddressed property in the after condition.
- The applicant provided the city with copies of the proposed home addition.

The applicant is seeking a minor subdivision to allow lot line rearrangement to adjust/move the property line separating the two parcels for the purpose of constructing an addition onto the existing home that meets all applicable setbacks. With the proposed change, both lots will maintain their original character and the general character of the surrounding properties. Planning Commissioners will need to consider whether or not the requested lot line rearrangement will meet all applicable criteria of the city's zoning ordinance.

Planning Commission Discussion:

Planning Commissioners reviewed the request and asked questions of staff and the applicant. Commissioners discussed the unique lot configuration and noted that the existing lot conditions created a hardship for the property owner. Commissioners asked if the existing driveway had an easement and it was noted that it did have an easement. Commissioners discussed that the proposed changes would still leave a unique lot configuration but that the septic field would now be located on the property and the applicant would have room to expand. Commissioners noted that the proposed lot line rearrangement would make the existing non-conforming lot a better lot even though it would still have unique conditions. Commissioners recommended approval to the City Council.

Neighbor Comments:

The city had not received any written or verbal comments prior to the time this report was written.

Recommendation:

Planning Commissioners recommended approval of the requested minor subdivision with the following findings:

1. The proposed minor subdivision meets all applicable criteria and conditions stated in Chapter V, Section 500, Planning and Land Use Regulations of the City of Independence Zoning Ordinance.
2. The Applicant shall pay for all costs associated with the City's review of the requested subdivision.
3. The Applicant shall record the subdivision and City Council Resolution with the county within six (6) months of approval.

Attachments:

1. Application
2. Proposed Subdivision Exhibits



RESOLUTION OF THE
CITY OF INDEPENDENCE
HENNEPIN COUNTY, MINNESOTA

RESOLUTION NO. 25-1007-02

**A RESOLUTION APPROVING A MINOR SUBDIVISION
FOR THE PROPERTY LOCATED AT 6785 US HIGHWAY 12**

WHEREAS, the City of Independence (the “City”) is a municipal corporation under the laws of Minnesota; and

WHEREAS, the City adopted a Comprehensive Plan in 2020 to guide the development of the community; and

WHEREAS, the City has adopted a Zoning and Subdivision Ordinance and other official controls to assist in implementing the Comprehensive Plan; and

WHEREAS, Greg A Jurvakainen (the “Applicant”) and Carter Berkelman (“Owner”) have submitted a request for a minor subdivision for the property located at 6785 US Highway 12 (PID No. 22-118-24-42-0001) in the City of Independence, MN; and

WHEREAS, the Property is legally described on **Exhibit A** attached hereto; and

WHEREAS, the Property is zoned AG-Agriculture; and

WHEREAS the requested minor subdivision meets all requirements, standards and specifications of the City of Independence subdivision and zoning ordinance for Agriculture property; and

WHEREAS the Planning Commission held a public hearing on September 16, 2025, to review the application for a minor subdivision, following mailed and published noticed as required by law; and

WHEREAS, the City Council has reviewed all materials submitted by the Applicant; considered the oral and written testimony offered by the applicant and all interested parties; and has now concluded that the application is in compliance with all applicable standards and can be considered for approval.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF INDEPENDENCE, MINNESOTA, that it should and hereby does approve the application by

Greg A Jurvakainen for a minor subdivision per the City's subdivision and zoning regulations with the following conditions:

1. The proposed minor subdivision meets all applicable criteria and conditions stated in Chapter V, Section 500, Planning and Land Use Regulations of the City of Independence Zoning Ordinance.
2. The Applicant shall pay for all costs associated with the City's review of the requested subdivision.
3. The Applicant shall record the subdivision and City Council Resolution with the county within six (6) months of approval.

This resolution was adopted by the City Council of the City of Independence on this 7th day of October 2025, by a vote of ____ ayes and ____ nays.

Brad Spencer, Mayor

ATTEST:

Mark Kaltsas, City Administrator

EXHIBIT A

(Legal Description of Property)

PROPOSED LEGAL DESCRIPTIONS : (verify with Torrens Office)

BERKELMAN

That part of the Northwest Quarter of the Southeast Quarter and that part of the Southwest Quarter of the Northeast Quarter of Sec 22, Twp 118 North Rng 24 West of the 5th Principal Meridian, described as follows: Beginning at a point on the West line of the East half of Section 22 distant 442.03 feet North of the center of said section; thence on an assumed bearing of South along said West line to a point distance 952.88 feet South of said center; thence South 57 degrees 47 minutes 30 seconds East a distance of 528 feet; thence on a bearing of North a distance of 1394.91 feet; thence North 57 degrees 47 minutes 30 seconds West to the point of beginning, except that part thereof lying West of the East 230 feet thereof and North of the South line of the North 403 feet of the Southeast Quarter of said section, also except that part thereof lying South of the South line of the North 742 feet of said Southeast Quarter. Also, that part of the East 81 feet of the South 339 feet of the North 742 feet of the Southwest Quarter of said section.

BLATZ

Par 1: That part of the Southwest Quarter of Section 22, Township 118, Range 24 lying East of a line drawn North, parallel with the West line of said Southwest Quarter, from a point on the South line of said Southwest Quarter distant 742.5 feet East from the Southwest corner of said Southwest Quarter to the North line of said Southwest Quarter and there terminating, except the East 81 feet of the South 339 feet of the North 742 feet of said Southwest Quarter.

Par 2: That part of the Northwest Quarter of the Southeast Quarter and that part of the Southwest Quarter of the Northeast Quarter, Section 22, Township 118, Range 24, all described as beginning at the Northwest corner of said Northwest Quarter of the Southeast Quarter; thence on an assumed bearing of South along the West line of said Northwest Quarter of the Southeast Quarter a distance of 952.88 feet; thence South 57 degrees 47 minutes 30 Seconds East a distance 528 feet; thence North, parallel with said West line and its extension, a distance of 1394.91 feet; thence North 57degrees 47 minutes 30 seconds West a distance of 528 feet to a point on the West line of said Southwest Quarter of the Northeast Quarter distant 442.03 feet North from the point of beginning; thence South along the last mentioned West line to the point of beginning, except that part of the East 230 feet thereof lying North of the South line of the North 403 feet of the Southeast Quarter of said section, and except that part thereof embraced within the South 339 feet of the North 742 feet of the Southeast Quarter of said section.



**CITY OF
INDEPENDENCE
MINNESOTA**

Date Submitted: 08-06-2025

Applicant Information

Name: Greg A Jurvakainen
Address: 5500 Lincoln Drive,
Suite #180
Edina, Minnesota 55436
Primary Phone: 612-968-5886
Email: greg@lcramer.com

Owner Information

Name: Carter Berkleman
Address: 6785 US Hwy No 12
Independence, Minnesota
55359
Primary Phone: 612-220-9759
Email: carter.berkelman@gmail.com

Property Address:

PID:

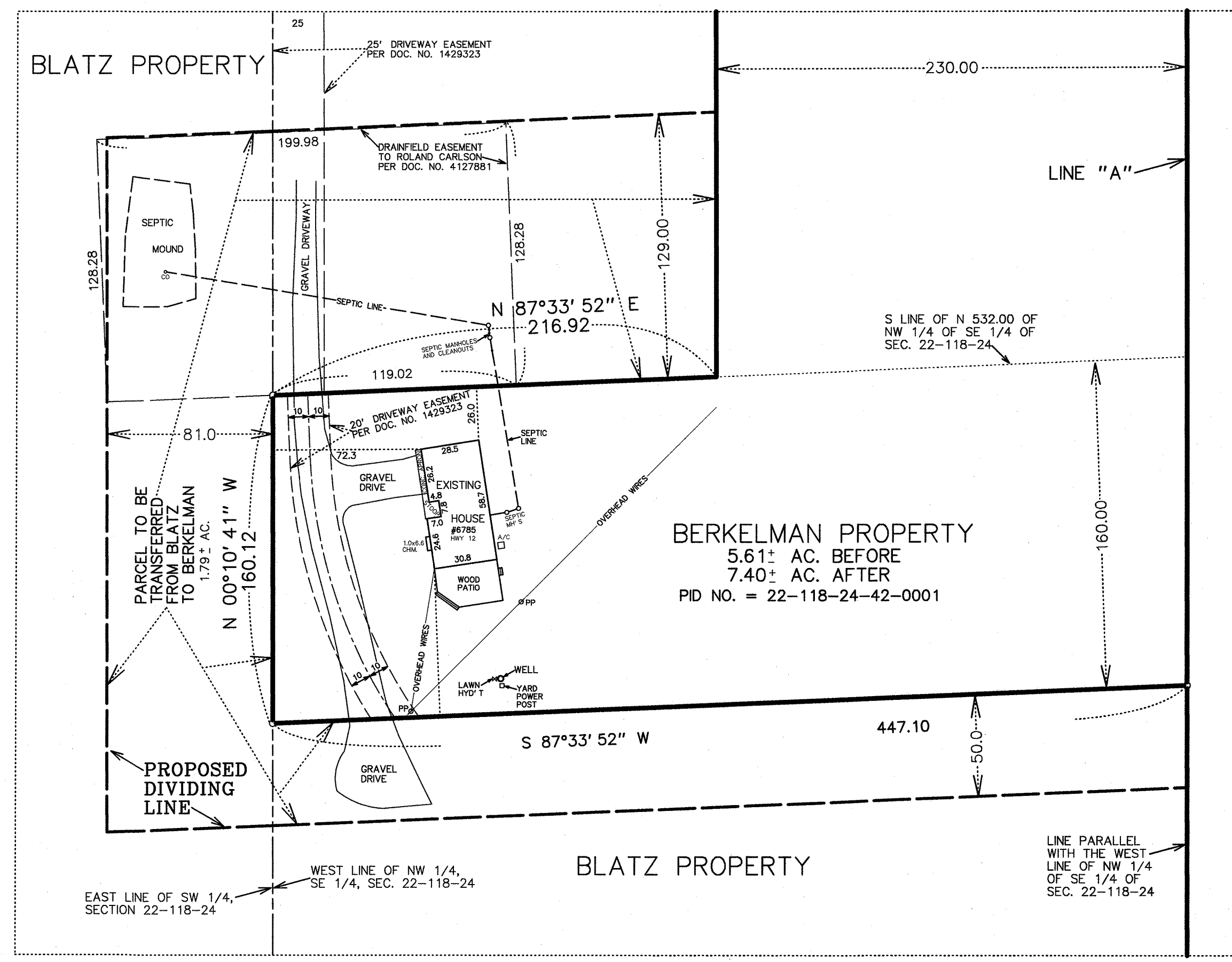
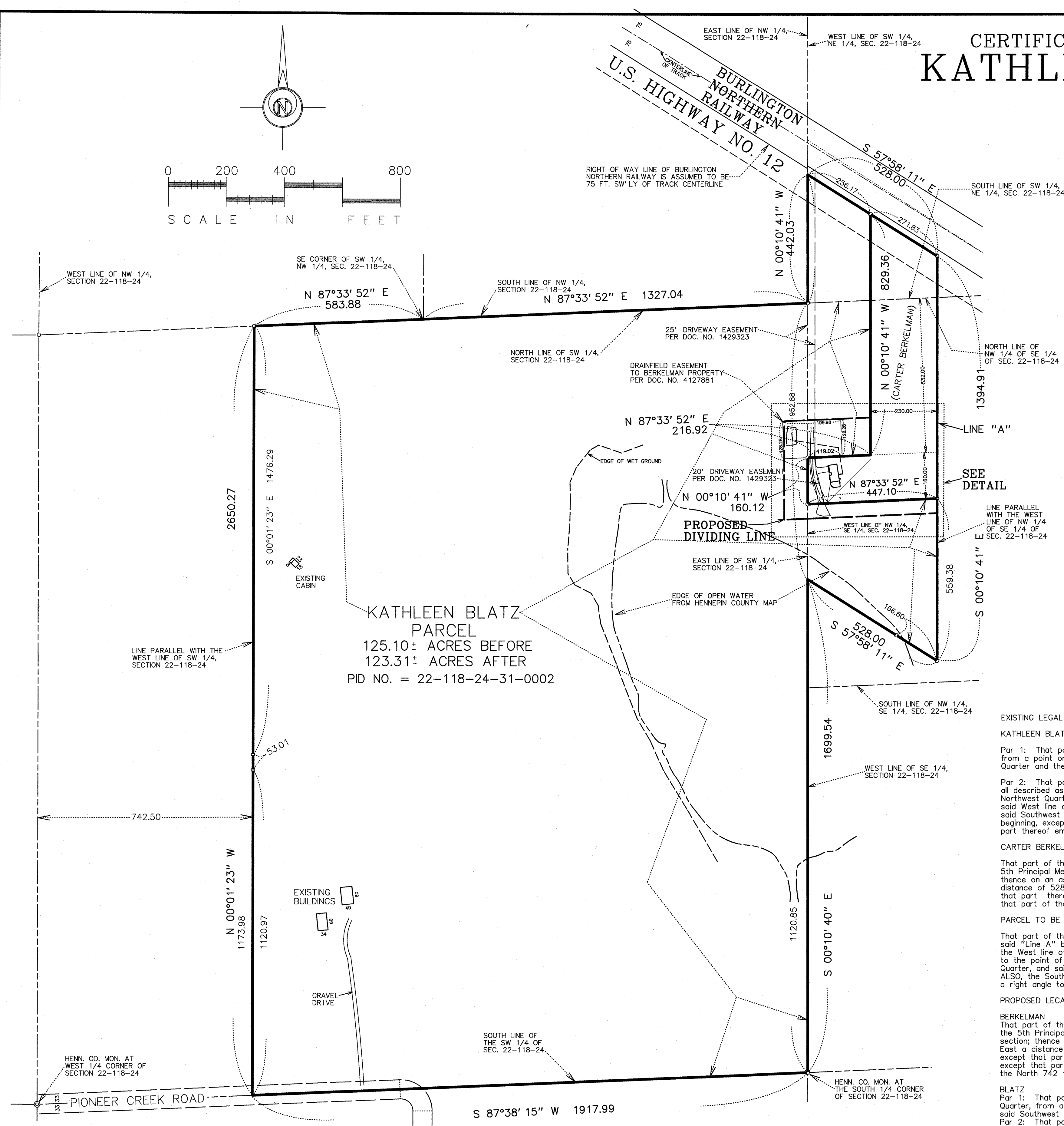
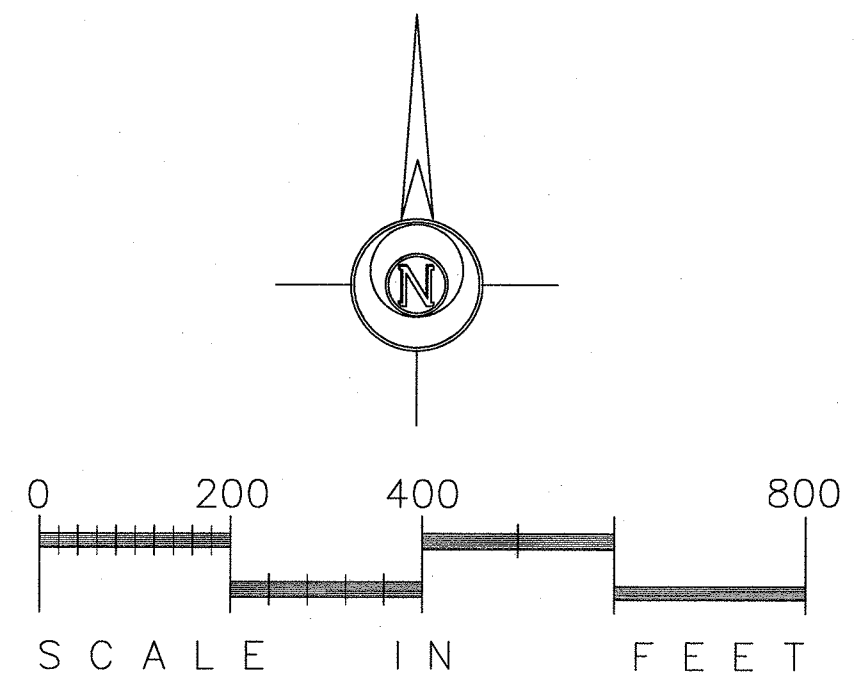
Planning Application Type: Other

Description:

Supporting Documents: Site Survey (Existing Conditions), Site Survey (Proposed Conditions), Building Plans

Signature:

CERTIFICATE OF SURVEY & PROPOSED LOT LINE REARRANGEMENT FOR
KATHLEEN BLATZ & CARTER BERKELMAN
IN SECTION 22-118-24
HENNEPIN COUNTY, MINNESOTA



DETAIL
1" = 50' SCALE

EXISTING LEGAL DESCRIPTIONS :

KATHLEEN BLATZ

Par 1: That part of the Southwest Quarter of Section 22, Township 118, Range 24 lying East of a line drawn North, parallel with the West line of said Southwest Quarter, from a point on the South line of said Southwest Quarter distant 742.5 feet East from the Southwest corner of said Southwest Quarter to the North line of said Southwest Quarter and there terminating.

Par 2: That part of the Northwest Quarter of the Southeast Quarter and that part of the Southwest Quarter of the Northeast Quarter, Section 22, Township 118, Range 24, all described as beginning at the Northwest corner of said Northwest Quarter of the Southeast Quarter; thence on an assumed bearing of South along the West line of said Northwest Quarter of the Southeast Quarter a distance of 952.88 feet; thence South 57 degrees 47 minutes 30 seconds East a distance of 528 feet; thence North, parallel with said West line and its extension, a distance of 1394.91 feet; thence North 57 degrees 47 minutes 30 seconds West a distance of 528 feet to a point on the West line of said Southwest Quarter of the Northeast Quarter distant 442.03 feet North from the point of beginning; thence South along the last mentioned West line to the point of beginning, except that part of the East 230 feet thereof lying North of the South line of the North 532 feet of the Southeast Quarter of said section, and except that part thereof embraced within the South 160 feet of the North 692 feet of the Southeast Quarter of said section.

CARTER BERKELMAN

That part of the Northwest Quarter of the Southeast Quarter and that part of the Southwest Quarter of the Northeast Quarter of Sec 22, Twp 118, Rng 24 West of the 5th Principal Meridian, described as follows: Beginning at a point on the West line of the East half of Section 22 distant 442.03 feet North of the center of said section; thence on an assumed bearing of South along said West line to a point distant 952.88 feet South said center; thence South 57 degrees 47 minutes 30 seconds East a distance of 528 feet; thence on a bearing of North a distance of 1394.91 feet; thence North 57 degrees 47 minutes 30 seconds West a distance of 528 feet to the point of beginning, except that part thereof lying West of the East 230 feet thereof and North of the South line of the North 532 feet of the Southeast Quarter of said section, also except that part thereof lying South of the South line of the North 692 feet of said Southeast Quarter.

PARCEL TO BE TRANSFERRED FROM BLATZ TO BERKELMAN :

That part of the South 50 feet of the North 742 feet of the Northwest Quarter of the Southeast Quarter of Section 22, Township 118, Range 24 lying west of "Line A", said "Line A" being described as Commencing at the northwest corner of said Northwest Quarter of the Southeast Quarter; thence on an assumed bearing of South along the West line of said Northwest Quarter of the Southeast Quarter a distance of 952.88 feet; thence South 57 degrees 47 minutes 30 seconds East a distance of 528 feet to the point of beginning of said "Line A"; thence North, parallel with said West line and its extension to the North line of said Northwest Quarter of the Southeast Quarter, and said "Line A" there ending; ALSO, that part of the East 81 feet of the South 339 feet of the North 742 feet of the Southwest Quarter of said section; ALSO, the South 129 feet of the North 532 feet of the Northwest Quarter of the Southeast Quarter of said section lying west of a line 230 feet west of, measured at a right angle to, and parallel with said "Line A".

PROPOSED LEGAL DESCRIPTIONS : (verify with Torrens Office)

BERKELMAN

That part of the Northwest Quarter of the Southeast Quarter and that part of the Southwest Quarter of the Northeast Quarter of Sec 22, Twp 118 North Rng 24 West of the 5th Principal Meridian, described as follows: Beginning at a point on the East line of the East half of Section 22 distant 442.03 feet North of the center of said section; thence on an assumed bearing of South along said West line to a point distant 952.88 feet South of said center; thence South 57 degrees 47 minutes 30 seconds East a distance of 528 feet; thence on a bearing of North a distance of 1394.91 feet; thence North 57 degrees 47 minutes 30 seconds West a distance of 528 feet to the point of beginning, except that part thereof lying West of the East 230 feet thereof and North of the South line of the North 532 feet of the Southeast Quarter of said section, also except that part thereof lying South of the South line of the North 742 feet of said Southeast Quarter. Also, that part of the East 81 feet of the South 339 feet of the North 742 feet of the Southwest Quarter of said section.

BLATZ

Par 1: That part of the Southwest Quarter of Section 22, Township 118, Range 24 lying East of a line drawn North, parallel with the West line of said Southwest Quarter, from a point on the South line of said Southwest Quarter distant 742.5 feet East from the Southwest corner of said Southwest Quarter to the North line of said Southwest Quarter and there terminating, except the East 81 feet of the South 339 feet of the North 742 feet of said Southwest Quarter.

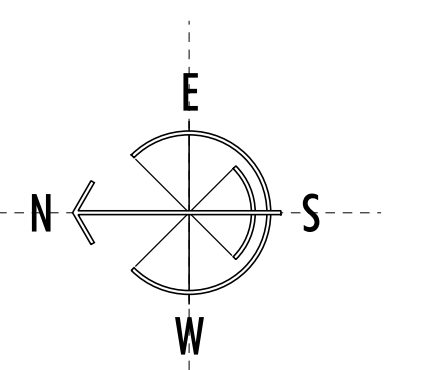
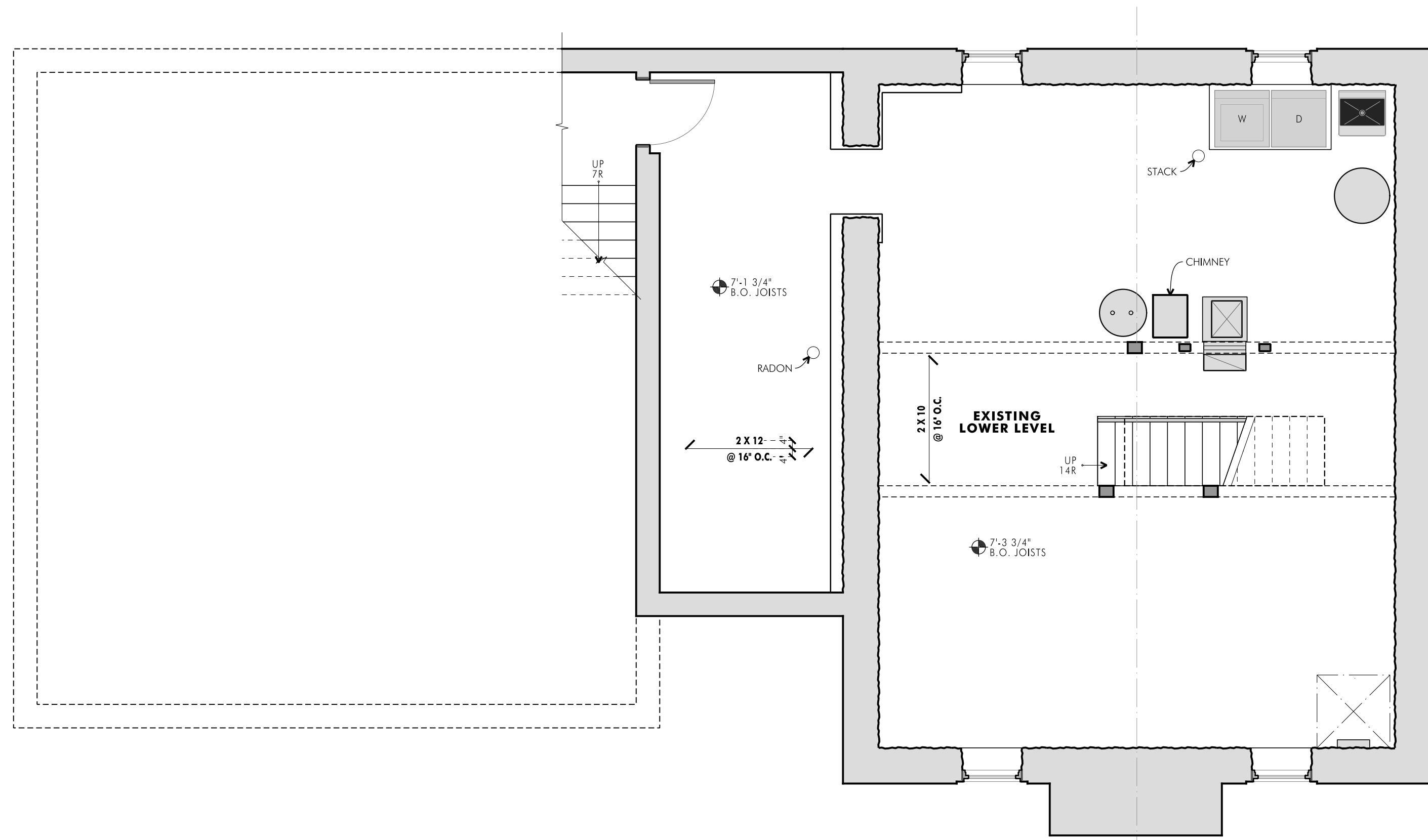
Par 2: That part of the Northwest Quarter of the Southeast Quarter and that part of the Southwest Quarter of the Northeast Quarter, Section 22, Township 118, Range 24, all described as beginning at the Northwest corner of said Northwest Quarter of the Southeast Quarter; thence on an assumed bearing of South along the West line of said Northwest Quarter of the Southeast Quarter a distance of 952.88 feet; thence South 57 degrees 47 minutes 30 seconds East a distance of 528 feet; thence North, parallel with said West line and its extension, a distance of 1394.91 feet; thence North 57 degrees 47 minutes 30 seconds West a distance of 528 feet to a point on the West line of said Southwest Quarter of the Northeast Quarter distant 442.03 feet North from the point of beginning; thence South along the last mentioned West line to the point of beginning, except that part of the East 230 feet thereof lying North of the South line of the North 532 feet of the Southeast Quarter of said section, also except that part thereof embraced within the South 339 feet of the North 742 feet of the Southeast Quarter of said section.

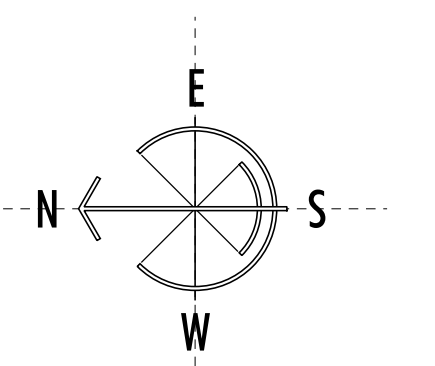
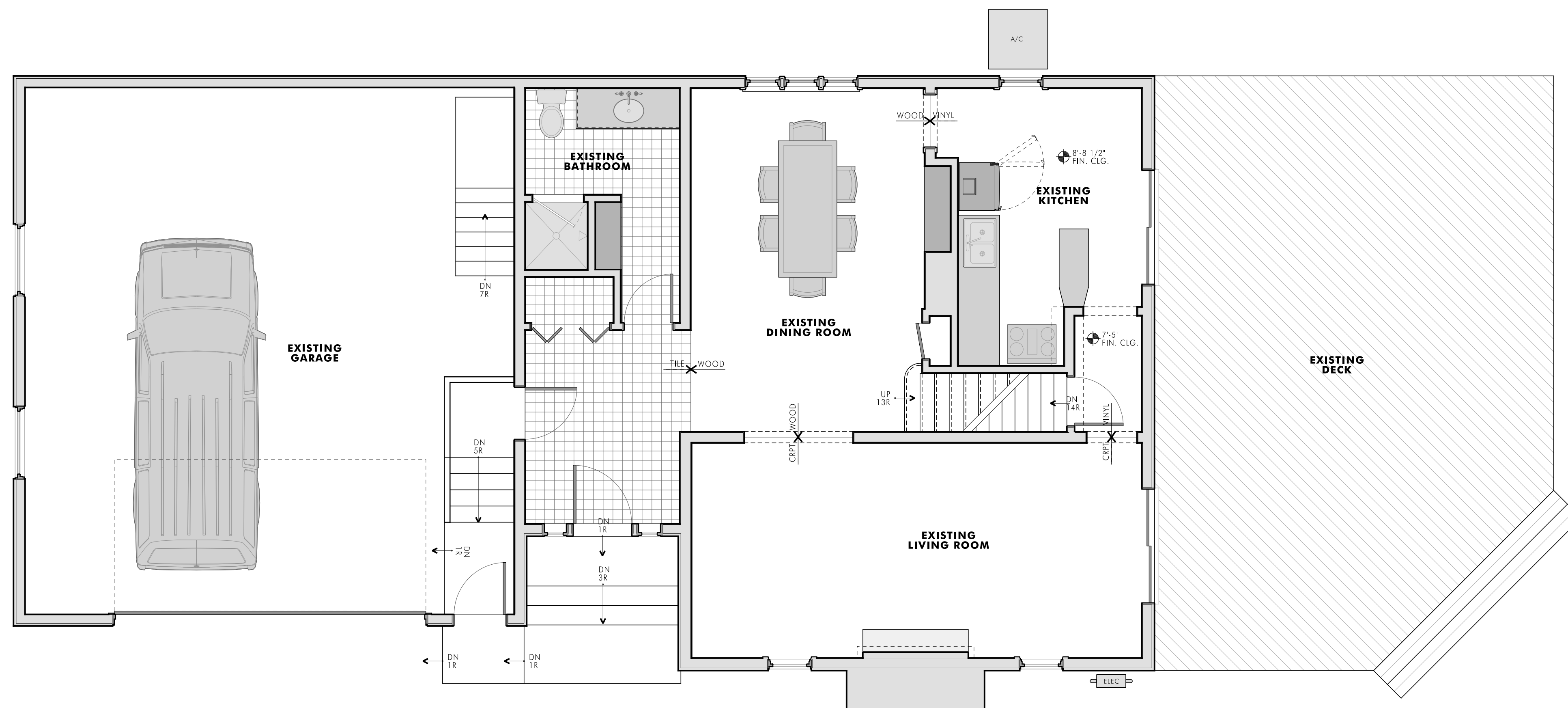
o : denotes iron marker

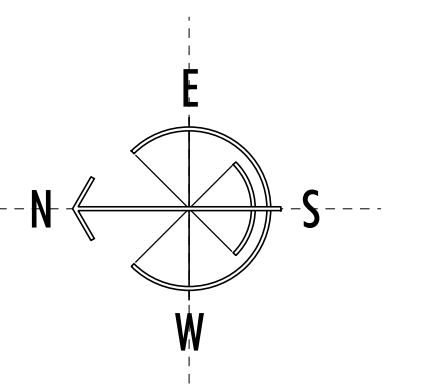
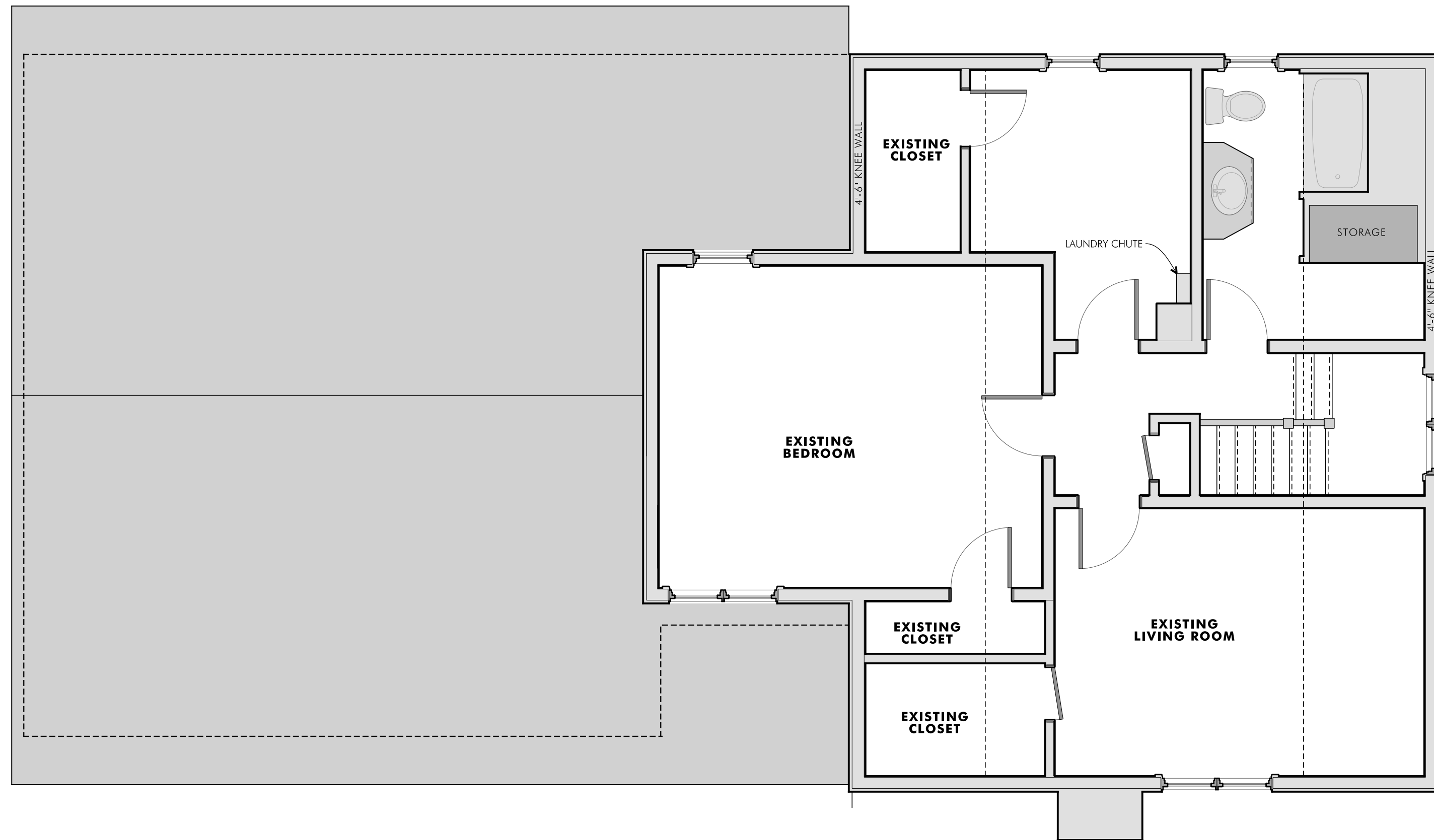
Bearings shown are based upon an assumed datum

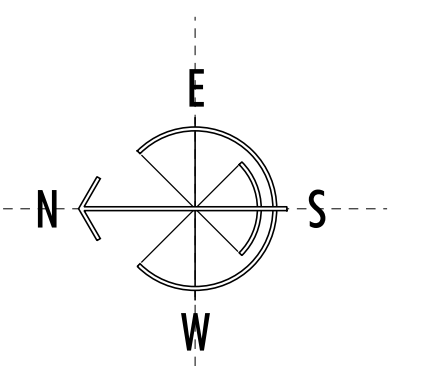
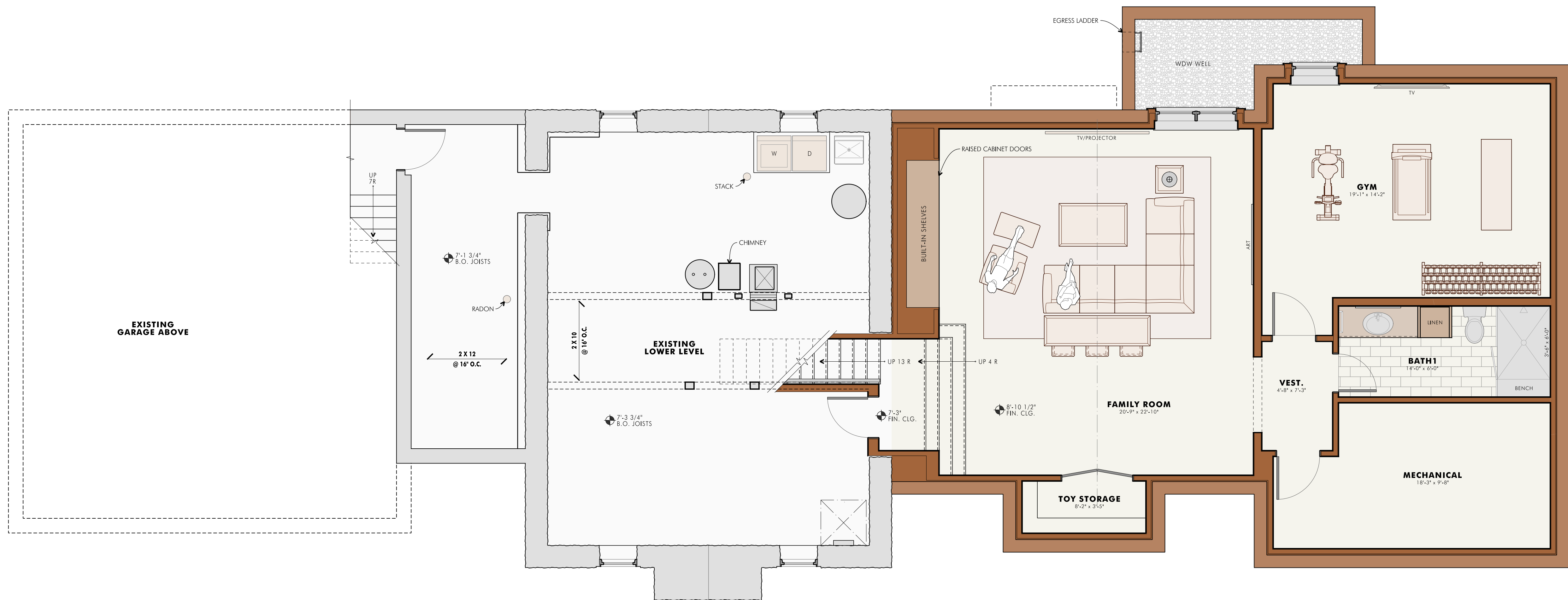
This survey intends to show the boundaries of the above described property, and the location of several existing buildings, and the proposed location of a proposed dividing line thereon. It does not purport to show any other improvements or encroachments.

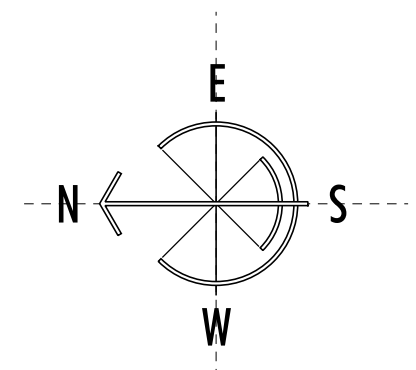
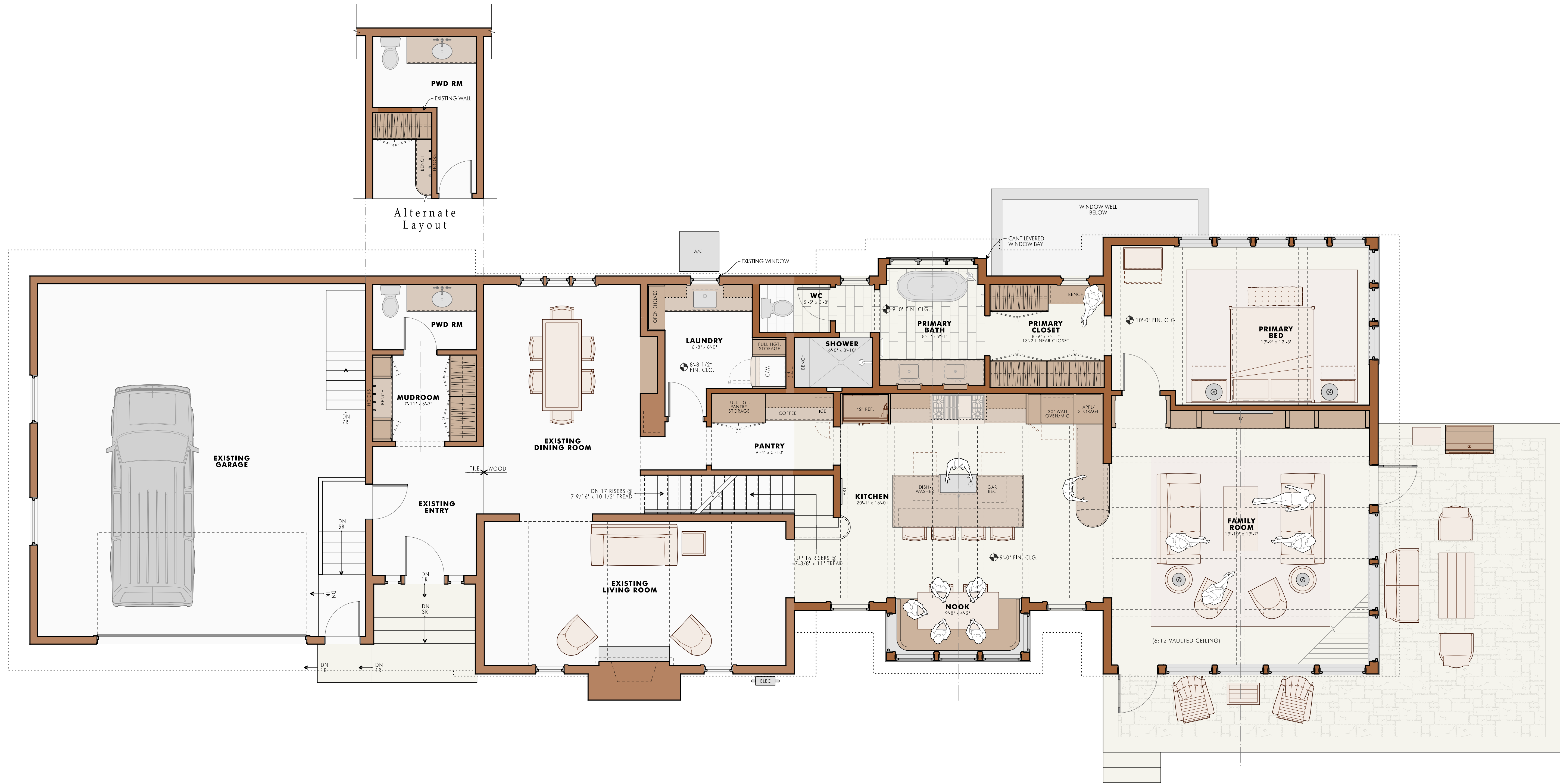
GRONBERG & ASSOCIATES, INC. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS 445 NORTH WILLOW DRIVE LONG LAKE, MN 55356 952-473-4141	
DATE 8-20-25	SCALE 1"=200'
PROJECT KATHLEEN BLATZ & CARTER BERKELMAN SECTION 22-118-24	
REMARKS I hereby certify that this plan, specification, or report was prepared by me, or under my direct supervision, and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota. <i>Mark S. Gronberg</i> Mark S. Gronberg, Minnesota License Number 12755	
DATE	

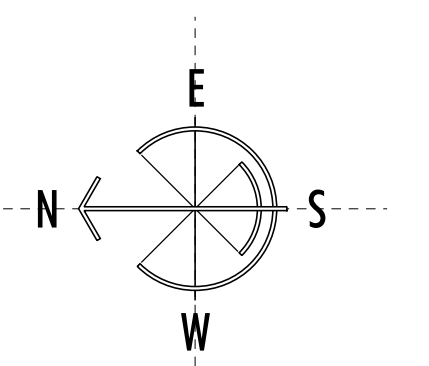
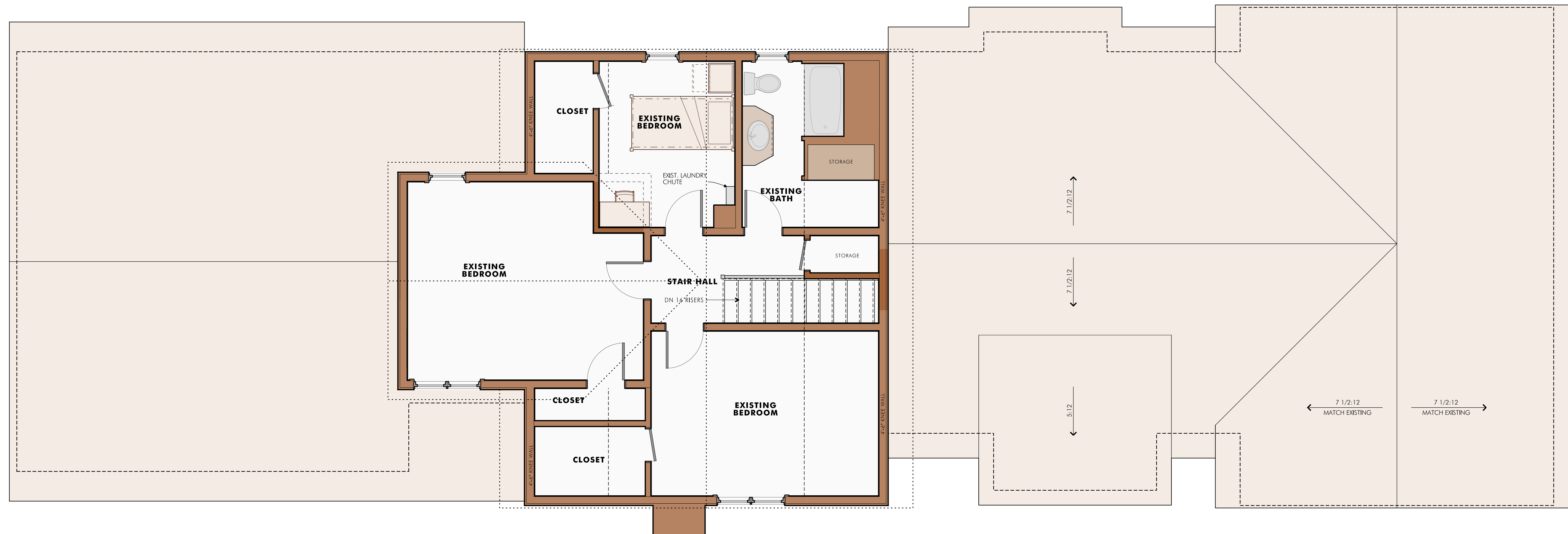


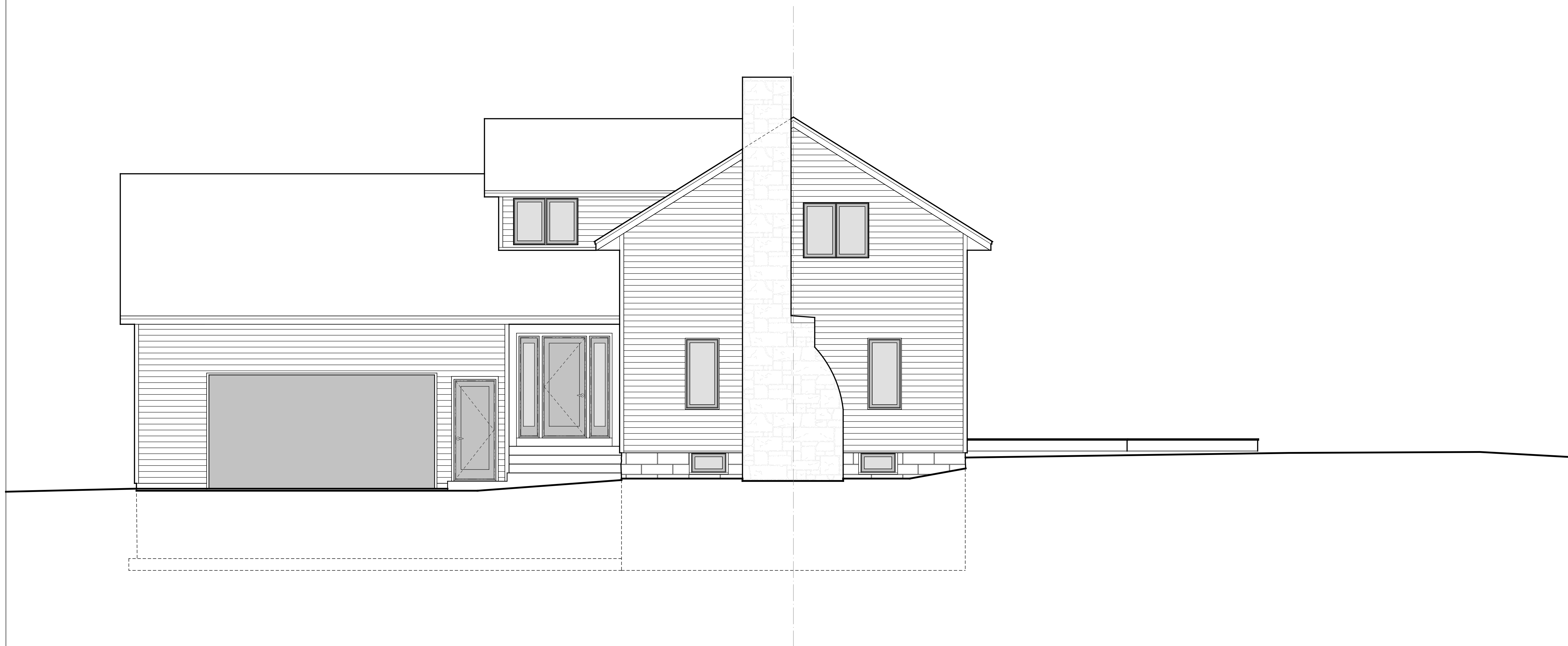








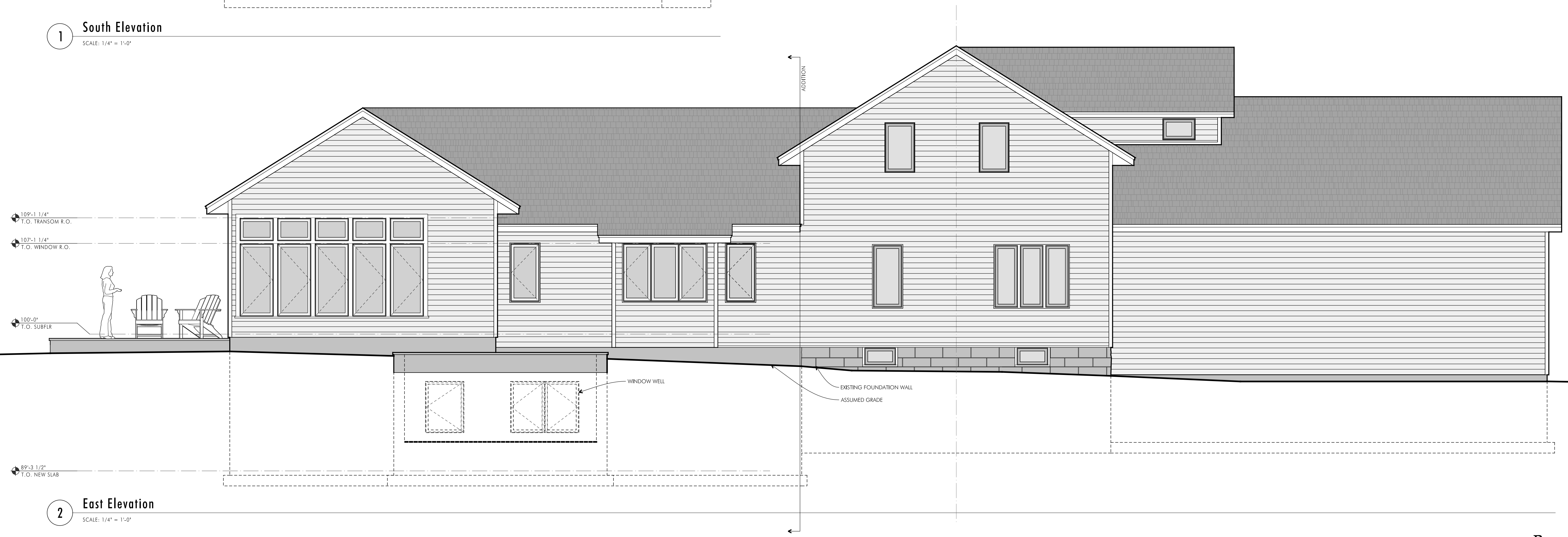








1 South Elevation
SCALE: 1/4" = 1'-0"



2 East Elevation
SCALE: 1/4" = 1'-0"

TEA2
ARCHITECTS

06.17.2025

Proposed Elevations

SCALE: 1/4" = 1'-0"

Berkelman
Krueger
Addition



TEA2
ARCHITECTS

06.17.2025

Proposed West Elevation - Option B

SCALE: 1/4" = 1'-0"

Berkelman
Krueger
Addition

City of Independence

Minor Subdivision and Variance to Permit a Rural View Lot for the Property Generally Located Just West of 6551 County Road 6 (PID No. 34-118-24-12-0001)

<i>To:</i>	Planning Commission
<i>From:</i>	Mark Kaltsas, City Planner
<i>Meeting Date:</i>	September 16, 2025
<i>Applicant:</i>	Scott Kirchner
<i>Owner:</i>	Scott Kirchner
<i>Location:</i>	Unassigned Address - County Road 6 (PID No. 34-118-24-12-0001):

Request:

Scott Kirchner (Applicant) and Leroy Kowalke Et Al (Owner) requests that the City consider the following action for the Property located at 6551 County Road 6, Independence, MN (PID No. 34-118-24-12-0001):

- a. A minor subdivision to allow a rural view lot subdivision. The proposed rural view lot would be 16.9 acres and located on the south side of County Road 6 along the east property line.
- b. A variance to allow a rural view lot to exceed the maximum size of 10 acres.

Property/Site Information:

The property is located on the north and south sides of County Road 6 just west of the intersection of County Road 6 and County Road 90. The property is currently vacant with no existing structures. The property is comprised of wetlands, wooded areas and upland pasture areas throughout. The property has the following characteristics:

Property Information: Unassigned Address – PID No. 34-118-24-12-0001

Zoning: Agriculture

Comprehensive Plan: Agriculture

Acreage (BEFORE): 71.18 acres (this was prior to the recent 10-acre subdivision)

Acreage (AFTER): Remainder Parcel – 42.76 acres

Proposed 16.9 Acre Parcel – 16.9 acres

Site Aerial – Unassigned Address on County Road 6



Discussion:

The applicant recently received approval of a rural view subdivision to split off a 10-acre parcel on the south side of CSAH 6 in August of this year. Planning Commissioners briefly discussed whether this property was a nominal 80-acre parcel that could realize two (2) rural view lots rather than just one (1) rural view lot. The city's ordinance states the following relating to rural view lots:

^b For the purpose of determining the number of rural view lots that can be created, the area of a lot of record shall be measured to the center of bounding road rights-of-way.

Furthermore, a lot of record that was originally subdivided into a quarter-quarter section and has not been further subdivided shall be deemed a 40-acre parcel for purposes of determining rural view lot eligibility. For properties within the jurisdiction of the shoreline ordinance (section 505), submerged lands within the boundaries of any waterfront parcel that are located waterward of the ordinary high-water mark shall not be used to compute the area of the lot.

The ordinance specifically describes 40-acre original quarter-quarter sections. The city could interpret this to also apply to nominal and unsubdivided 80-acre parcels. It could be considered that it was an original 80-acre parcel that has not been previously subdivided.

Another factor that has been historically considered by the city when considering rural view lot subdivision and or eligibility relates to the separation of properties that are bisected by an existing road. The city has generally considered properties that are bisected by public roads to have the ability to subdivide. In this case the applicant is now asking the city to consider a second rural view lot subdivision on the south side of CSAH 6. There are currently 16.9 acres of property remaining on the south side of the road after the 10-acre rural view lot was approved in July.

The proposed 16.9-acre parcel would exceed the maximum size allowed for rural view lots. The city would have to consider granting a variance to allow a rural view lot that exceeds the maximum lot size permitted. In this case, the variance would allow a rural view lot to exceed the maximum size of 10 acres by 6.9 acres.

Rural view lots must have the following characteristics:

Lot size required:	between 2.5 and 10 acres
Lot size proposed:	Proposed 10-acre Parcel – 16.9 acres
Minimum lot frontage required:	300 LF (for property between 5-10 acres)
Minimum lot frontage proposed:	572 LF (CSAH 6) / 771.56 LF (Ingerson)
Ratio of lot frontage to lot depth required - no more than 1:4	
Ratio of lot frontage to lot depth proposed - ~1:1	

In addition to the minimum size necessary to subdivide, the ordinance requires a minimum of 2.5 acres of buildable upland, 300 LF of frontage on a right of way and no greater than a 1:4 ratio of lot frontage to lot depth for each rural view lot. Based on the proposed subdivision, the rural view lot would have 16.9 acres of useable upland and more than adequate frontage on both County Road 6 and Ingerson Road.

The remainder of the property (Remainder Parcel) would comprise 42.76 acres and have one principal building entitlement. The Remainder Parcel would easily accommodate a new building pad on either the north or south side of County Road 6 given its overall size, topography and

proposed dimensions. Any development on the property would need to meet all applicable setbacks including those from wetlands. The city has received an on-site septic report verifying that the remainder property can accommodate a primary and secondary on-site septic system. The city is waiting on the report for the proposed 16.9-acre property. The report is required prior to City Council consideration of the subdivision. The applicant has included the requisite drainage and utility easements as required by ordinance (Section 500.15, Subd.'s 1 and 2) for both the the proposed 16.9-acre parcel and the remainder parcel. The remaining property (north of County Road 6) will have no rural view lot subdivision eligibilities following this subdivision.

The City has standards for granting a variance which need to be considered prior to making a recommendation relating to the application. The standards established by the City require the applicant to demonstrate that the requested variance does not create a situation that is not in keeping with the character of the surrounding area. In addition, the applicant must demonstrate that the requested variance is unique to the subject property. The standards for granting a variance are as follows:

520.21. Standards for granting variances. Subdivision 1. The City Council may grant a variance from the terms of this zoning code, including restrictions placed on nonconformities, in cases where: 1) the variance is in harmony with the general purposes and intent of this zoning code; 2) the variance is consistent with the comprehensive plan; and 3) the applicant establishes that there are practical difficulties in complying with the zoning code (Amended, Ord. 2011-08)

Subd. 2. An applicant for a variance must demonstrate that there are practical difficulties in complying with the zoning code. For such purposes, "practical difficulties" means:

- (a) The property owner proposes to use the property in a reasonable manner not permitted by the zoning code;*
- (b) the plight of the property owner is due to circumstances unique to the property not created by the landowner;*
- (c) the variance, if granted, will not alter the essential character of the locality.*

Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems. (Amended, Ord. 2011-08)

Subd. 3. The City Council shall not grant a variance to permit a use that is not allowed under the zoning code based on the zoning classification of the affected property. (Amended, Ord. 2011-08)

520.23. Conditions and restrictions. The board of adjustments may recommend and the City Council may impose conditions on a variance. Conditions must be directly related to

and must bear a rough proportionality to the impact created by the variance. (Amended, Ord. 2011-08)

Consideration of the standards for granting a variance:

- a. The applicants are proposing to use the property in a manner consistent with the AG-Agriculture Zoning District.
- b. The properties created by the subdivision are similar in nature and character to the surrounding properties.
- c. The character of the surrounding area is mixed residential/agricultural and guided for long term agriculture. The proposed subdivision and the properties that would be created appear to be in keeping with the City's comprehensive plan.
- d. The requested variance to allow the subdivision of the property is unique to this property. There may be several other properties in the City that have a similar condition.

The Planning Commission will need to determine if the requested variance to allow the subdivision of the property meets the requirements for granting a variance. The proposed subdivision, if approved, would create two properties that meet all other applicable criteria of the City's zoning ordinance.

The newly created 16.9-acre parcel will be required to pay the City's requisite Park Dedication fee. For this property the requirement is \$12,425.00. This fee will need to be paid prior to recording the subdivision.

*Park dedication fee of \$3,500 per lot up to 4.99 acres,
plus \$750 per acre for each acre over 5 acres*

The city should note the following:

- The applicant will be required to submit verification of a primary and secondary on-site septic location for the proposed lot prior to City Council consideration of the requested minor subdivision.
- The city will address the property once approved.
- There are no remaining eligibilities with the north property.

The city will need to make two findings related to the requested minor subdivision and variance:

- The city will need to find that the intent of the rural view lot ordinance to include 80-acre properties that have not been subdivided and are considered original quarter-quarter sections.
- The city will need to find that the applicant has met all applicable criteria for granting a variance.

Neighbor Comments:

The City had not received any written or verbal comments prior to this report being prepared.

Recommendation:

Staff is seeking a recommendation from the Planning Commission regarding the request for a rural view lot subdivision and variance to allow a lot that exceeds the maximum lot size. Should the Planning Commission make a positive recommendation to the City Council, the following findings and conditions:

1. The proposed rural view lot subdivision and variance meet all applicable conditions and restrictions stated Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. Prior to City Council consideration of the application, the applicant shall submit the following information to the city for review:
 - a) The applicant will be required to submit verification of a primary and secondary on-site septic location for the proposed lot.
3. City Council approval of the rural view lot subdivision and variance is subject to the following:
 - a) The Applicant shall pay the park dedication fees in the amount of \$12,425.00 for the newly created 16.9-acre Parcel, prior to the applicant receiving final approval to record the subdivision by the City.
 - b) The Applicant shall pay for all costs associated with the City's review of the requested minor subdivision.
 - c) The Applicant shall record the subdivision and City Council Resolution with the county within six (6) months of approval.
 - d) The Applicant shall execute and record the requisite drainage and utility and right of way easements with the county within six (6) months of approval.

- e) The Remainder Parcel will have no remaining rural view lot eligibilities.
- 4. The proposed subdivision meets the criteria for granting a variance due to the following findings:
 - a) The resulting rural view lot is in keeping with the character of the surrounding area.
 - b) The applicant did not create the condition that causes the property to have unique circumstances that warrant the variance.
- 5. The variance will allow a 16.9 acre rural view lot as shown on the approved survey exhibit.

Attachments:

- 1. Application
- 2. Proposed Subdivision Exhibit (Before and After)



RESOLUTION OF THE
CITY OF INDEPENDENCE
HENNEPIN COUNTY, MINNESOTA

RESOLUTION NO. 25-1007-03

**A RESOLUTION DENYING THE MINOR SUBDIVISION AND VARIANCE TO
ALLOW A RURAL VIEW LOT AS REQUESTED FOR THE
PROPERTY LOCATED AT 6551 COUNTY ROAD 6**

WHEREAS, the City of Independence (the “City”) is a municipal corporation under the laws of Minnesota; and

WHEREAS, the City adopted a comprehensive plan in 2020 to guide the development of the community; and

WHEREAS, the City has adopted a zoning ordinance and other official controls to assist in implementing the comprehensive plan; and

WHEREAS, Scott Kirchner (“Applicant” an “Owner”) submitted a request for a minor subdivision and variance to allow a rural view lot on the property located 6551 County Road 6, Independence, MN (PID No. 34-118-24-12-0001) (the “Property”); and

WHEREAS, the Property is legally described on **EXHIBIT A**, attached hereto; and

WHEREAS, the Property is zoned Agriculture; and

WHEREAS the requested rural view lot subdivision and variance do not meet all requirements, standards and specifications of the City of Independence zoning ordinance for Agriculture lots; and

WHEREAS the Planning Commission held a public hearing on September 16, 2025, to review the application for a minor subdivision and variance, following mailed and published noticed as required by law; and

WHEREAS, the City Council has reviewed all materials submitted by the Applicant; considered the oral and written testimony offered by the applicant and all interested parties; and has now concluded that the application is not in compliance with all applicable standards and can be considered for denial; and

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF INDEPENDENCE, MINNESOTA, that it should and hereby denies the application by Scott

Kirchner for a rural view lot subdivision and variance to allow a new lot that does not meet all applicable criteria on the property per the City's zoning regulations and with the findings provided within this resolution.

1. The proposed conditional use permit request does not meet all applicable conditions and restrictions stated in Chapter V, Section 510, Zoning, in the City of Independence Zoning and Subdivision Ordinance.
2. The minor subdivision and variance to permit a rural view lot is denied based on the following findings:
 - a) The City finds that the criteria for granting a rural view lot subdivision have not been satisfied by the applicant. Specifically, the City finds the following:
 1. The existing lot, including all applicable right of ways to the center of the adjacent roads is not 80 acres in area as required for a second rural view lot eligibility. As a result, the total number of rural view lots allowed in accordance with the ordinance is one (1). The applicant has already realized the maximum number of rural view lots permitted for this property.
 - b) The City finds that the criteria for granting a variance has not been satisfied by the applicant. Specifically, the City finds the following:
 1. The plight of the property owner is not due to circumstances unique to the property.
 2. The city does not find that the criteria for granting a rural view lot have been satisfied by the applicant and therefore, cannot consider granting a variance to allow a rural view lot that exceeds the maximum lot size permitted.
3. The applicant shall pay for all costs associated with the review of the minor subdivision and variance.

This resolution was adopted by the City Council of the City of Independence on this 7th day of October 2025, by a vote of ____ ayes and ____ nays.

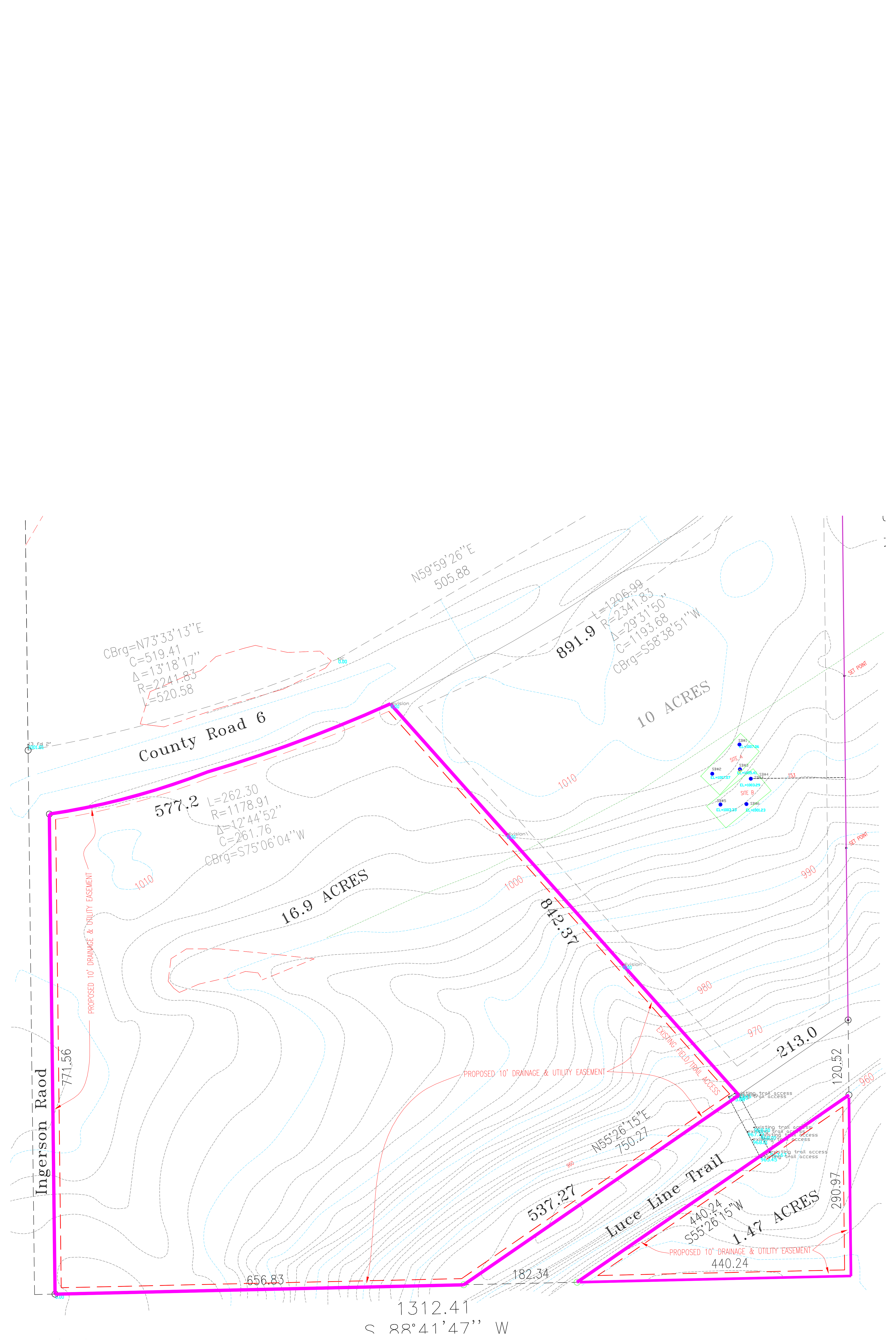
Brad Spencer, Mayor

ATTEST:

Mark Kaltsas, City Administrator

EXHIBIT A
(Legal Description)

EXHIBIT B
(Approved Plans)



N 88°08'24'' E
1314.53

Proposed Property Description (North of Co. Rd. No. 6):

The West Half of the North 15/16ths of the Northeast Quarter of Section Thirty-four (34), Township One Hundred Eighteen (118), Range Twenty-four (24), Hennepin County, Minnesota, which lies northwesterly of Hennepin County State Aid Highway Number 6, Plat 5 filed as document No. 3844152,

42.76 ACRES

$CBrg = N73^{\circ}33'13''E$
 $C = 519.41$
 $\Delta = 13^{\circ}18'17''$
 $R = 2241.83$
 $L = 520.58$

County Road 6

N59°59'26"E
505.88

$CBr_g = N59^{\circ}06'06''E$
 $C = 38.47$
 $\Delta = 1^{\circ}46'38''$
 $R = 1240.22$
 $L = 38.47$

CBrg=N47°05'13"E
C=458.36
 Δ =11°44'06"
R=2241.83
L=459.16

891.9 $\tau = 1206.99$
 $R = 2341.83$
 $\Delta = 29^\circ 31' 50''$
 $C = 1193.68$
 $CBrg = 558.3$

10 ACRES

98%

1314.53

99.6/6

24, 28, 32, 36, 40, 44, 48, 52, 56, 60, 64, 68, 72, 76, 80, 84, 88, 92, 96, 100

0.36
E L =

1
2
3
4

1

1

4.5

13

100

1

POINT

A graph with a horizontal axis and a vertical axis. A dashed line with a positive slope starts from the bottom-left and extends towards the top-right. A solid vertical line is positioned to the left of the dashed line, intersecting it.

100

EXISTING PROPERTY DESCRIPTION:

The West Half of the North 15/16ths of the Northeast Quarter of Section Thirty-four (34), Township One Hundred Eighteen (118), Range Twenty-four (24), Hennepin County, Minnesota.

Except the right of way of the Minnesota Western Railway Company, formerly known as the Electric Shortline Railway Company, now known as Luca Line Trail, and the right of way of the Minnesota Western Railway Company, now known as Luca Line Trail, according to the Government Survey thereof as shown in Deed filed as Document No. 722266.

Hennepin County, Minnesota

AREA: 3,284,959 square feet = 75,412 acres.

PROPOSED 10 ACRE PARCEL DESCRIPTION:

That part of the West Half of the North 15/16ths of the Northeast Quarter of Section 34, Township 118, Range 24, Hennepin County, Minnesota, known as the Electric Shortline Railway Company, now known as Luca Line Trail, according to the Government Survey thereof as shown in Deed filed as Document No. 722266.

Being described as follows:

Commencing at the northeast corner Northeast Quarter of Section 34, Township 118, Range 24; thence South 88 degrees 08 minutes 24 seconds West 119 feet to the north line of said Luca Line Trail; thence North 15/16ths of said Northeast Quarter; thence South 0 degrees 38 minutes 10 seconds East along the east line of said West Half of the North 15/16ths a distance of 1125.63, more or less, to the southerly line of the Highway Easement described in Document No. 6554238 and the point of beginning of the property to be described; thence continuing South 0 degrees 38 minutes 10 seconds East a distance of 1019.37 feet, more or less, to the north line of Luca Line Trail; thence South 55 degrees 26 minutes 15 seconds West along said north line a distance of 211.77 feet; thence North 41 degrees 46 minutes 57 seconds West 842.56 feet, more or less, to the southerly line of said Highway Easement; thence continuing South 0 degrees 38 minutes 10 seconds East a distance of 882.04 feet, also being non tangential curve concave to the north having a radius of 2341.83 feet, a central angle of 21 degrees 49 minutes 29 seconds and the chord of said curve bears North 54 degrees 47 minutes 41 seconds East to the point of beginning.

AREA: 435,554 square feet = 9,999 acres.

PROPOSED REMAINDER PARCEL DESCRIPTION:

The West Half of the North 15/16ths of the Northeast Quarter of Section Thirty-four (34), Township One Hundred Eighteen (118), Range Twenty-four (24), Hennepin County, Minnesota.

EXCEPT

The right of way of the Minnesota Western Railway Company, formerly known as the Electric Shortline Railway Company, now known as Luca Line Trail, and the right of way of the Minnesota Western Railway Company, now known as Luca Line Trail, according to the Government Survey thereof as shown in Deed filed as Document No. 722266.

ALSO EXCEPT That part of the West Half of the North 15/16ths of the Northeast Quarter of Section 34, Township 118, Range 24, Hennepin County, Minnesota described as follows:

Commencing at the northeast corner Northeast Quarter of Section 34, Township 118, Range 24; thence South 88 degrees 08 minutes 24 seconds West on the north line of said Luca Line Trail; thence North 41 degrees 46 minutes 57 seconds West 842.56 feet, more or less, to the southerly line of said Highway Easement; thence continuing South 0 degrees 38 minutes 10 seconds East a distance of 1019.37 feet, more or less, to the north line of Luca Line Trail; thence South 55 degrees 26 minutes 15 seconds West along said north line a distance of 211.77 feet; thence North 41 degrees 46 minutes 57 seconds West 842.56 feet, more or less, to the southerly line of said Highway Easement; thence continuing South 0 degrees 38 minutes 10 seconds East a distance of 882.04 feet, also being non tangential curve concave to the north having a radius of 2341.83 feet, a central angle of 21 degrees 49 minutes 29 seconds and the chord of said curve bears North 54 degrees 47 minutes 41 seconds East to the point of beginning.

AREA: 2,849,405 square feet = 65,413 acres.

SUBDIVISION SUMMARY:

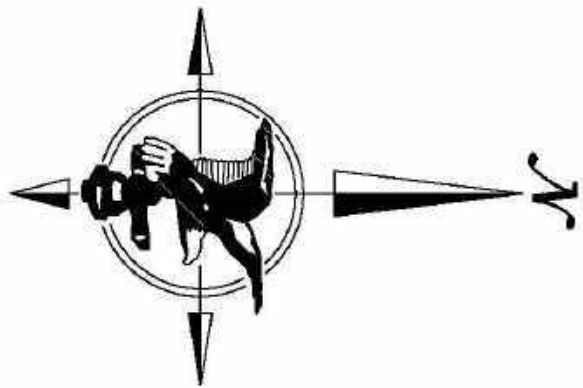
The total number of Parcels is equal to 2.
The total area is 5,128,459 square feet.

PROPOSED AREAS:

Site Area Existing Property equals 3,284,959 square feet = 75,412 acres.
Site Area 10 Acre Parcel equals 435,554 square feet = 9,999 acres.
Site Area Remainder Parcel equals 2,849,405 square feet = 65,413 acres.

GENERAL NOTES:

- The bearing system used is based on Hennepin County Coordinate System.
- The location of the underground utilities shown hereon, if any, are approximate only PURSUANT TO MSA 21B0 CONTACT COPPER STATE ONE CALL AT (612) 454-0002 PRIOR TO ANY EXCAVATION.
- Subject property is identified as being in "Zone X Other Areas" on Flood Insurance Rate Map No. 27053C02605, effective date November 4, 2016.
- Site Area = 3,284,959 square feet = 75,412 acres. (including right of way).
Site Area = 3,284,959 square feet = 75,412 acres. (per deed).
Site Area = 3,284,959 square feet = 75,412 acres. (including right of way).
- This survey was made on the ground.
- In preparing this survey I have relied upon the supporting documents and the commitment for title insurance issued by Barnett Title and Old Republic National Title Insurance Company, having an effective date of March 23, 2025 and bearing the number 2130925-0241.



SCALE: 1 INCH = 150 FEET

REVISIONS

Date:	

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota

Thomas E. Hodcroft, L.S. 117
Thomas E. Hodcroft, L.S. 117
Minnesota Reg. No. 23677

Date: June 27, 2025

PROPOSED PROPERTY SUBDIVISION

For:

INVEST WISE CAPITAL

SITE:

UNASSIGNED ADDRESS

PID: 3411824120001

INDEPENDENCE, MINNESOTA

HENNEPIN COUNTY

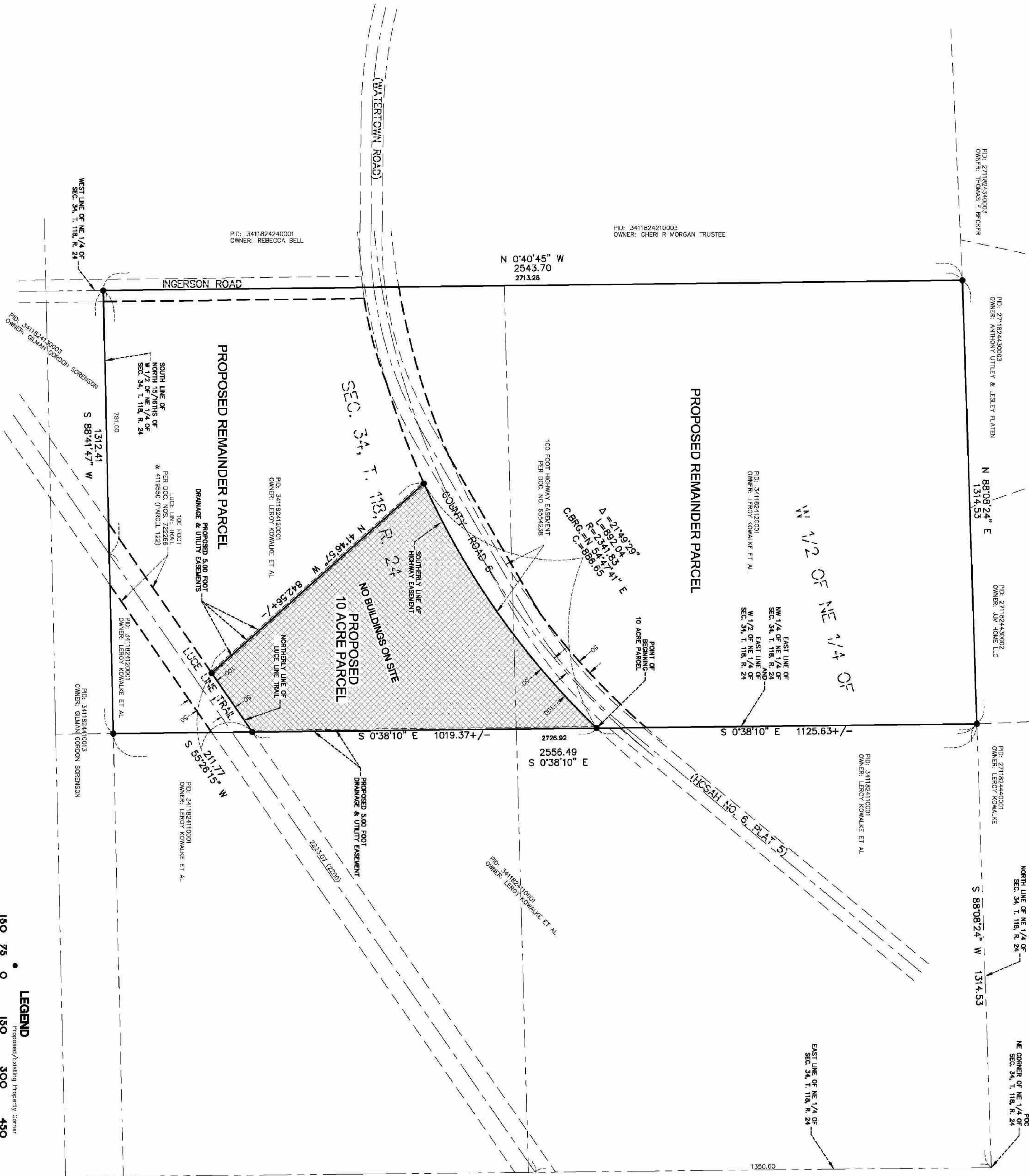
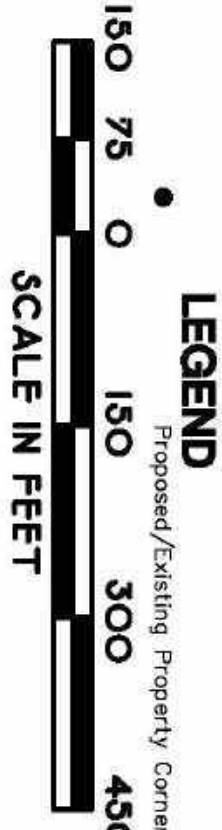


HARRY S. JOHNSON CO., INC.
9063 Lyndale Avenue South
Bloomington, MN, 55437
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Block	File No.
647	2025-239
Page	1 of 1
Scale	1" = 150'
City	2025239

Sheet No. 1 OF 1



City of Independence

Minor Subdivision Resolution Extension for the Property Located at 8910 Highway 12

To: City Council
From: Mark Kaltsas, City Administrator
Meeting Date: October 7, 2025

John Peterson received approval in 2024 for a minor subdivision to allow a lot line rearrangement for the property located at 8910 Highway 12. The lot line rearrangement allowed the adjustment of the line that separates the 8910 Highway 12 property from the adjacent property to the west and would clean up a property line discrepancy along the north property line. For a variety of reasons, the applicant did not record the resolution within the allowed six-month time frame. The applicant has now requested that the City Council allow an extension to the original recording timeline.

Aerial of Subject Properties



Discussion:

The applicant has been trying to resolve all title and ownership issues relating to the property and record the approval resolution. Staff does not have any issues with the requested extension and has drafted an updated resolution that would allow the applicant to finalize recording of the subdivision.

Recommendation:

The City Council is being asked to consider approving the new resolution allowing an extension to the previously granted minor subdivision approval.

***ATTACHMENTS:* RESOLUTION No. 25-1007-04**



RESOLUTION OF THE
CITY OF INDEPENDENCE
HENNEPIN COUNTY, MINNESOTA

RESOLUTION NO. 25-1007-04

**A RESOLUTION GRANTING APPROVAL OF A MINOR SUBDIVISION TO ALLOW
A LOT LINE REARRANGEMENT BETWEEN THE PROPERTIES GENERALLY
LOCATED AT AND ADJACENT TO 8910 HIGHWAY 12**

WHEREAS, the City of Independence (the “City”) is a municipal corporation under the laws of Minnesota; and

WHEREAS, the City adopted a comprehensive plan in 2010 to guide the development of the community; and

WHEREAS, the City has adopted a zoning ordinance and other official controls to assist in implementing the comprehensive plan; and

WHEREAS, John Peterson (the “Applicant”) submitted a request for minor subdivision to allow a lot line rearrangement between the properties located at and adjacent to 8910 Highway 12 (PID No’s. 07-118-24-41-0003 and 07-118-24-42-0004): (the “Property”); and

WHEREAS, the Properties are zoned Agriculture; and

WHEREAS, the Properties are legally described on **Exhibit A** attached hereto; and

WHEREAS the requested minor subdivision meets all requirements, standards and specifications of the City of Independence zoning ordinance for Agriculture lots; and

WHEREAS the Planning Commission held a public hearing on August 16, 2022, to review the application for a minor subdivision, following mailed and published noticed as required by law; and

WHEREAS, the City Council has reviewed all materials submitted by the Applicant; considered the oral and written testimony offered by the applicant and all interested parties; and has now concluded that the application is in compliance with all applicable standards and can be considered for approval.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF INDEPENDENCE, MINNESOTA, that it should and hereby does approve the application by John Peterson and grants approval of a minor subdivision to allow a lot line rearrangement for

the subject properties in accordance with the City's zoning regulations with the following findings and conditions:

1. The proposed minor subdivision and rezoning of that portion to be added to 4390 Woodhill Dr. request meets all applicable conditions and restrictions stated in Chapter V, Section 500, Subdivisions and Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. The applicant shall pay for all costs associated with the City's review and recording of the requested minor subdivision.
3. The Applicant shall record the subdivision and City Council Resolution with the county within six (6) months of approval.

This resolution was adopted by the City Council of the City of Independence on this 7th day of October 2025, by a vote of ____ ayes and ____ nays.

Brad Spencer, Mayor

ATTEST:

Mark Kaltsas, City Administrator

EXHIBIT A
(Legal Description)

PROPERTY DESCRIPTIONS

Parcel A:

The Southeast Quarter of the Southeast Quarter, except R.R. Land, and, Government Lot 3, all in Section 7, Township 118, Range 24, Hennepin County, Minnesota.

AND

That part of the Southwest Quarter of the Southeast Quarter of Section 7, Township 118, Range 24, Hennepin County, Minnesota, described as follows:

Beginning at the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence on an assumed bearing of South 89 degrees 55 minutes 36 seconds West, along the South line of said Southwest Quarter of the Southeast Quarter, a distance of 43.72 feet; thence North 00 degrees 11 minutes 36 seconds West, a distance of 809.16 feet to the Southerly right of way line of Burlington Northern Railroad; thence South 69 degrees 11 minutes 19 seconds East, along said Southerly right of way line, a distance of 66.12 feet to the East line of said Southwest Quarter of the Southeast Quarter; thence South 01 degrees 07 minutes 11 seconds West, along said East line, a distance of 785.76 feet to the point of beginning.

Parcel B:

That part of the West Half of the Southeast Quarter of Section 7, Township 118, Range 24, Hennepin County, Minnesota, lying Northerly of the railroad right of way.

AND

That part of the West Half of the Southeast Quarter of said Section 7, lying Southerly of the railroad right of way and Westerly of a line running from a point on the South line of said West Half of the Southeast Quarter, a distance of 43.72 feet West from the Southeast corner thereof to a point on the Southerly line of the railroad right of way, a distance of 66.12 feet Westerly, as measured along said Southerly line from the East line of the West Half of the Southeast Quarter; except the South 830 feet of the West 515.00 feet of the West Half of the Section Quarter and except the East 407.02 feet of the West 982.02 feet of the South 535.00 feet of the West Half of the Southeast Quarter.



PROCLAMATION OF THE
CITY OF INDEPENDENCE
HENNEPIN COUNTY, MINNESOTA

Proclamation

WHEREAS, First Presbyterian Church of Maple Plain's Good Works Philanthropy Group performed volunteer activities in the City of Independence; and

WHEREAS, Presbyterian Church of Maple Plain's Good Works Philanthropy Group worked in the City of Independence on September 13, 2025; and

WHEREAS, Presbyterian Church of Maple Plain's Good Works Philanthropy Group installed new playground edging around the perimeter of the Ox Yoke playground in Independence; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF INDEPENDENCE, in recognition of the services provided, the City Council of the City of Independence hereby commends and thanks Presbyterian Church of Maple Plain's Good Works Philanthropy Group for their volunteer service to make the City of Independence a better city.

PROCLAIMED ON THIS THE 7th DAY OF OCTOBER 2025.

Brad Spencer, Mayor