



CITY COUNCIL MEETING AGENDA
TUESDAY SEPTEMBER 6, 2022

6:30 PM REGULAR MEETING

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. ****Consent Agenda****

All items listed under Consent Agenda are considered to be routine by Council and will be acted on by one motion. There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- a. Approval of City Council Minutes from the August 16, 2022, Regular City Council Meeting.
 - b. Approval of Accounts Payable (Batch # 1; Checks Numbered 21422-21424, Batch # 2; Checks Numbered 21425-21431 and Batch # 3; Checks Numbered 21434-21473, Checks Numbered 21432 and 21433 have been voided).
 - c. Pay Request #1 BV Construction – WHPS/North Memorial Garage.
 - d. Approval of a Solicitor Application for Curbside Waste (New Waste Hauler).
 - e. Approval of Additional Election Judges for the 2022 General Election.
5. Set Agenda – Anyone Not on the Agenda can be Placed Under Open/Misc.
 6. Reports of Boards and Committees by Council and Staff.
 7. Russel Gilberg (Applicant) and David Vandeneinde (Owner) requests that the City consider the following action for the property located at 840 Wild Oak Trail, Independence, MN (PID No. 27-118-24-33-0003):
 - a. **RESOLUTION NO. 22-0906-01** – Considering approval of a conditional use permit to allow a ground mounted solar array on the subject property.
 8. John Peterson (Applicant) and Jean P & A Sterner Etal (Owner) requests that the City consider the following action for the properties generally located at 8910 US Hwy 12, Independence, MN (PID No's. 07-118-24-41-0003 and 07-118-24-42-0004):
 - a. **RESOLUTION NO. 22-0906-02** – Considering approval of a minor subdivision to allow a lot line rearrangement which would adjust the line that separates the two properties.
 9. Steve Bohl (Applicant) and Clifford L Otten Trust (Owner) request that the City consider the following actions for the properties generally located at 2236 South Lake Shore Drive, Independence, MN (PID No's. 24-118-24-14-0005, 24-118-24-11-0009 and 24-118-24-11-0012):

- a. **RESOLUTION NO. 22-0906-03** – Considering approval of a comprehensive plan amendment to allow the subject property to be re-guided to the RR-Rural Residential zoning district.
- b. **ORDINANCE 2022-05:** Considering rezoning of the subject property from AG-Agriculture to RR-Rural Residential.
- c. **RESOLUTION NO. 22-0906-04** – Considering approval of a preliminary plat for the proposed subdivision of the property into 28 single-family lots with a minimum lot size of 1 acre.

10. Open/Misc.

11. Adjourn.

MINUTES OF A REGULAR MEETING OF THE
INDEPENDENCE CITY COUNCIL
TUESDAY, AUGUST 16, 2022, 6:30 PM

1. CALL TO ORDER.

Pursuant to due call and notice thereof, a regular meeting of the Independence City Council was called to order by Mayor Johnson at 6:30 p.m.

2. PLEDGE OF ALLEGIANCE.

Mayor Johnson led the group in the Pledge of Allegiance.

3. ROLL CALL

PRESENT: Mayor Johnson, Councilors McCoy, Spencer, and Grotting

ABSENT: Betts

STAFF: City Administrator Kaltsas, City Admin Assistant Simon, and Chief Kroells

VISITORS: See Sign-in Sheet.

4. ****Consent Agenda****

All items listed under Consent Agenda are considered to be routine by Council and will be acted on by one motion. There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- a. Approval of City Council Workshop Minutes from the July 27, 2022, City Council Workshop.
- b. Approval of City Council Minutes from the August 2, 2022, Regular City Council Meeting.
- c. Approval of Accounts Payable (Batch # 1; Checks Numbered 21388-21421).
- d. Second Quarter Financial Report (For Information Only)

Motion by Spencer, second by McCoy to approve the Consent Agenda. Ayes: Johnson, McCoy, Spencer, and Grotting. Nays: None. Absent: Betts. Abstain. None. MOTION DECLARED CARRIED.

5. SET AGENDA – ANYONE NOT ON THE AGENDA CAN BE PLACED UNDER OPEN/MISC.

6. REPORTS OF BOARDS AND COMMITTEES BY COUNCIL AND STAFF

Grotting attended the following meetings:

- visiting the Otten property

- N2U parties

Spencer attended the following meetings:

- N2U (5)
- Aug 6 Tour de Tonka
- Police Commission Meeting

McCoy attended the following meetings:

- N2U
- Tour de Tonka
- Aug 3 Fire District Meeting
- MP Historical Society – Pie Social
- Bruce Anderson funeral

Johnson attended the following meetings:

- N2U (5)
- Bruce Anderson funeral
- MP Historical Society – Pie Social
- Election Day
- Police Commission meeting
- Chamber of Commerce
- Kitty Crosby's Funeral
- Policy Committee meeting LMC

Kaltsas attended the following meetings:

- none

7. West Hennepin Public Safety – Director Gary Kroells: Presentation of the July 2022 Activity Report.

Chief Kroells described the report: For the July 2022 Activity Report showing 2,342 total Incidence Complaints– 297 in Independence and 127 in Maple Plain.

See full report for more details.

Thank you, Officer Cody Thompson, for setting up the 14 Night 2 Unite parties.
8 in Independence- attending 4 himself.

Officer John Howes was promoted to Sergeant effective Aug 1st, 2022, as noted in our fall newsletter.

Administrative Assistant resigned for family reasons; new Admin Assistant was hired and began August 8th.

He had also worked Tour de Tonka in the rain which temporarily impacted traffic signals and officers then needed to direct traffic in the rain.

Hwy 12 is reopening soon – Construction has been going well having good weather; curb work is happening right now on Hwy 12 roundabout. Hwy 12 east and west reopening by Sept 15.

Cty Rd 92 will not be reopened while they finish the bridge deck work connecting North and South 92. Completed project to end as of Oct. 2022.

8. Approval of MnDOT Master Partnership Contract for the Highway 12 Light Maintenance.

- a. **RESOLUTION NO. 22-0816-01** – Considering approval of the Master Partnership Agreement.

Kaltsas – We negotiated a contract with them 8 years ago when they wanted to do LED lights along the Hwy. We don't have the equipment to maintain those lights. We entered in the contract and now we are renewing it. It is a 5-year contract through 2027. Just applies to us and the lighting systems we have. We will be taking on a few more lights with the new projects going on the roads.

Motion by Grotting, second by Spencer to approve Resolution No. 22-0816-01 as written. Agenda. Ayes: Johnson, McCoy, Spencer, and Grotting. Nays: None. Absent: Betts. Abstain. None. MOTION DECLARED CARRIED.

9. Steve Bohl (Applicant) and Clifford L Otten Trust (Owner) request that the City consider the following actions for the properties generally located at 2236 South Lake Shore Drive, Independence, MN (PID No's. 24-118-24-14-0005, 24-118-24-11-0009 and 24-118-24-11-0012):

- a. **RESOLUTION NO. 22-0816-02** – Considering approval of a comprehensive plan amendment to allow the subject property to be re-guided to the RR-Rural Residential zoning district.
- b. **ORDINANCE 2022-05:** Considering rezoning of the subject property from AG-Agriculture to RR-Rural Residential.
- c. **RESOLUTION NO. 22-0816-03** – Considering approval of a preliminary plat for the proposed subdivision of the property into 28 single-family lots with a minimum lot size of 1 acre.

Kaltsas – The City would have other items that would need to come back to the city and the final plat upon approval. New and additional information has been received since the planning commission meeting. The larger portion of the property 46 acres overall. Guided as Rural Residential in the shoreland overlay district. Within the RR zoning district, they would be able to utilize the shoreland overlay district. Sewered or unsewered lots is allowed. 1 acre in overall size in shoreland overlay allowed. Shoreland extends up to 1000 feet which would include this property. This was made 20 years ago that took shoreland ordinance and made an interpretation of anything within 1000 feet can be subdivided into 1 acre lots. Guided as RR in the Comp Plan. 1 unit/5 acres. 2030 Comp Plan is RR, 2040 Comp Plan is RR. Asking for RR amendment to bring the whole property into the MUSA (sewered) area. Amendment to the Quad City agreement would be needed as well with this. The sewer system would be through Medina. MetCouncil is a silent partner in this agreement. Met Council requires 3 units per acre. City has had a number of people approach the city about this property and options. 3 years ago it was to meet the MetCouncil at 3 units per acre for over 100 units on this property. At the time the Comp Plan needed to be approved before going through with this. The City would not approve something with this density. The 28-unit proposal would have sanitary sewer, onsite wells, and 1-acre parcels. There are 2 sewer connections stubbed in on this property: a primary house and secondary house. This would expand sewer for 26 additional units. Planning Commission recommended approval to City Council with some changes.

We look at how it would fit into the City and what the applicant needs to change. There is a much more detailed view of this as it passes through PC. Key considerations discussed by PC are:

* There is an existing ravine system on the northern third and goes down to Lake Independence. The desire for the City to protect and regulate that ravine. No development to the North towards the lakeshore in order to protect the ravine. When we have looked at this plan historically, there would be a disturbance to the ravine system. Lots numbered 8, 9, 10, and 5, 6, 7. City recommends an easement or conservation or drainage/utility over that ravine, so it was protected if this were to move forward.

Then we would establish tree preservation since there isn't anything in the ordinance currently regarding this. Area of disturbance would be minimal. The contours are shown in the existing grading. Stormwater for this site would be handled with 2 wet ponds and 2 dry basins SE & centrally located, through either ditch or pipe brought back into development in the ponds. If there are new roads and infrastructure and a disturbance of 1 acre or greater, this would be subject to water and quality controls. Lot 2 ravine that comes through to the lift station there could be a basin to catch runoff from lots 1-5 specifically. Access onto Perkinsville and South Lakeshore and a cul-de-sac in the middle. Bituminous roads with curb and gutter and standard city road width. Application plans for preserving existing vegetation, historically it was a nursery. Landscape plan was provided, and the City asked for more detail that we will work on if it moves forward, mostly preserving along outlot A South Lake Shore Dr and wraparound out lot along Perkinsville Dr.

At one point the City and PC had considered creating a new zoning. Given the uniqueness of this property (broad contained shoreland, sewer running on 2 sides of the property, and is on the lakeshore), the City thinks there's an opportunity to develop an ordinance amendment to allow a new Planned Unit Developments (PUD) zoning within the City's Rural Residential (RR) zoning. That would be a tool available to others who meet these minimum standards of 40 acre minimum with sewer availability. A property on the north side of Independence could eventually qualify at some point if sewer was approved. (48) It would be applicable to developments that are within an area of the lake. The City provided some draft language that would include this development requirements. Riparian connectivity and sewer availability.

40-acre minimum with sewer no sewer approval on the northside. Provisions within ordinance structure is suggested... draft language for cluster development specific for riparian connectivity and sewer availability.

Pg 88 of council packet shows lot standards:

Minimum lot size:	1 acre (43,560 SF)
Minimum lot width:	100 feet at right of way line
Front yard setback:	35 feet from right of way line
Side yard setback:	15 feet
Corner yard setback:	35 feet
Rear yard setback:	40 feet
Shoreland setback:	100 feet
Setback from lake:	100 feet from ordinary high mark
Setback from wetland:	10 ten feet from the outside edge of the required wetland buffer

The standards we would adopt would need to address Accessory Structure. Any lot currently allows 1850 sq.ft., but the layout of this development should be limited to 1,000 sq.ft. which would be combined attached and detached accessory structures. Applicant would include this limitation within the HOA covenants. (Pergola, outdoor kitchens, fireplaces, etc.).

Of Outlots ABCDF, there is a community area in Outlot D with pergola structure, fireplace, walking path, firepit. It'd be HOA maintained and owned, similar to other subdivisions.

Park Dedication – sidewalk or trail should be considered, but it wasn't specified where or how.

2 options: Trail could run along South Lake Shore from the new proposed road to the corner of Perkinsville and potentially extending it Perkinsville or routing it through the development as well and back out to Perkinsville and down to the lake- an internal sidewalk. The City doesn't currently maintain sidewalks and has limited trail maintenance. Not that we can't or shouldn't do that but what does it connect to. Perkinsville is busy now, so a trail or sidewalk may be a good idea to pull pedestrian traffic off that. Thinking of where it could connect – a trail east and north into Baker Park – requiring County's need to participate. Trail Asking for council to provide direction on a trail/sidewalk.

Mayor Johnson said we did get permission to push through at the intersection of Perkinsville into the park at the intersection of 19 & that corner, but we never secured the ROW.

PC had a lot of discussion on Outlot E trail down to a common dock. PC recommended approval but no access for development on that outlot. New plans show it down through the wooded area onto Outlot F to allow a shared pontoon boat owned by the association. Outlot E would no longer be proposed to be used for any public purpose. The Applicant could speak more, and they put more detail in their narrative. Input from CC on Outlot F is needed. Outlot E could be absorbed or removed from the proposal. The engineer's comments were reviewed with Applicant. If Council made a recommendation, it would still be reviewed by the DNR, Pioneer Sarah Creek, MetCouncil, Comp Plan approval, Quad City, preliminary grading, etc. would need to approve this development as well.

Mayor Johnson asked Mr. Bohl if everything sounded correct from Kaltsas. Bohl said yes. Johnson said that this is not a public hearing tonight.

Spencer said many years ago we did a watershed experiment on a ravine, the study thought that positioning runoff ponds would not cause heavy flow. Pond #1 is positioned well to slow the flow, need to make sure it is sized appropriately. Pond #3 feeds into Baker Park to reduce flow. Is there a pond #2? Kaltsas said No. Spencer said that it does have increased flow in heavy flow so maybe have some runoff into another Outlot. Many people think that these homes will negatively affect Lake Independence, but this is an opportunity to improve the runoff with the new development where we couldn't have the current owner do this. Is the HOA responsible for the playground, etc.? Kaltsas said, yes, it is maintained by the HOA. The City has the ability to direct. PC didn't identify the need outside of the sidewalk trail for pedestrians. Discussions previously, MP park two blocks away on Budd St to duplicate something here. There would either be cash or park dedication. Spencer- They need some sort of deck, walk, bridge, etc. over the ravine. Is something similar being proposed for Outlots 8 and 9 to allow for across the ravine? Kaltsas said Outlots 8 & 9 already have that, so you're really talking about deck or walk to get one through the ravine. 8 & 9.

Johnson – Something we talked about previously is the increasing cost to the people on the sewer system. Have we any idea what this impact would be?

Kaltsas said we wouldn't be adding a lift station, just rebuilding the existing one long-term beneficial to our system. Our lift station is what takes maintenance, and we have 34 lift stations in the city. It will have minimal impact. It will reduce overall sewer bill or project lower costs allowing lower projection increases. Upgraded infrastructures with more sharing it.

Johnson – Would all the water go towards the North and East or would there still be water heading to the West?

Kaltsas – The majority of this site is going now to the North and East. The way it would be graded and lots set up, the front yards along the streets and new impervious of the streets would route to the ponds. Back yards of lakeshore lots would run towards current infrastructure.

Spencer – We have all the work done on this piece 15 -20 years ago. It will be an improvement in the runoff into Lake Independence. It might be a rain garden to help fast flows and it looks like those were incorporated into the plan.

McCoy – There looks like there will be a lot of dirt moved on the East side. What grade will that be?

Kaltsas – A 4 on backside of outlot C. in 2-ft increments

McCoy – Is that cutting 8ft of dirt out of there?

Engineer – Coming down on a 4 to 1 on the east side and 8-9ft on some sides.

McCoy – Are you taking all the rolling hills out of there?

Engineer – It's still sloping to the North and flattening it out.

Johnson asked about access to the lake. Kaltsas said new access to the lake is creating new outlot F (lake access) to the East of existing home that is surrounded. Bituminous trail that goes down and a dock that goes out for a community pontoon owned by the HOA, single pontoon with dock slip, usable to the residents of the HOA.

Spencer –The City has no authority to regulate water levels. That's DNR.

Kaltsas – Yes.

Grotting – Does Outlot E factor into their development plans?

Kaltsas – It doesn't help or hurt. If Outlot E would become something, we would need to do an easement recorded with the City to the lift station.

Grotting – Is there any benefit to the City to have access all the way to the lake?

Kaltsas – No.

McCoy – I would like to see Outlot E go away if they're going to authorize the trail for Outlot F for future residents.

Kaltsas- I think we would restrict that. Maybe the developer would remove it. We want our lift station to be protected. I don't know of a public purpose for it.

Grotting – Could the developer sell it to Lot 3?

Kaltsas – No. There's not enough shoreline. Our position is that the City is not interested in use of a dock. If this is the plat and we're not interested in the use of a dock, then the developer would have to come up with a restricted use- gets dedicated to the City, surrounding property owners/ HOA. etc. We should address that in the final plat.

Johnson – I have a concern with it being a community use thing. People driving down Maple St which is just a driveway with a park being just next door. If it's just a hiking trail but to drive people down in cars>

Spencer – Some are challenging, and some are not problematic. We can't really restrict that with our ability. I am a little concerned with it too. They could make use of the park without going too far. It may start out ok and get out of control down the road. We have no way of enforcing the use of the dock, etc. I'd need to be convinced that the HOA could regulate it internally.

Kaltsas – Maple St is a private driveway and a shared private driveway where the city has an easement over the top of that.

Grotting – Can you address our relationship with the MetCouncil? If we have a development hook up to the sewer, we are looking at a high-density agreement. I love this density, but how do we get around the 3:1?

Kaltsas – We looked at the math with our Comp Plan 2.5 years ago, saying to the MetCouncil, “We don’t want you to include anything that’s ever been sewerred historically.” (Bailout/Grant) We’d asked them not to penalize City for things out of our control. We’ve tried to save lots on Lindgren Ln but eventually had to sewer those failed lots. We would have to offset this density of .75 per acre net density in order to satisfy MetCouncil. We got them to agree to not include anything historically sewerred, but this would be counted. 2040 Plan does not show much impact with this development. This doesn’t present as much of a challenge. The impact is not even a decimal point moving forward.

Grotting – Say it enough times, and pretty soon it’s a larger can that we’re kicking into a potential lopsided municipality.

Johnson – Is our area south of Perkinsville still in MetCouncil’s plan for RR?

Kaltsas – Yes. We are down to 3.5. The area South of MP proposing to sewer (Urban Residential), we are down in the 2.7 units/acre. This doesn’t meet any of their policies, but now moving forward it is 3.0 units/acre (similar that is near Orono Schools) by comparison. For us to sewer large lots is not ideal when trying to meet MetCouncil’s requirements.

Johnson – Planning Commission is to be meeting right now. What would happen if we delayed this to the next Council meeting when we have all night?

Kaltsas – It is up to Council if they want to table it.

Spencer – Would a couple weeks delay anything?

Kaltsas – I suggest doing it all at the same time. It all ties together.

Johnson said we need more time.

Spencer – Item number 3 warrants a little more discussion. So if we should do all at the same time, I’m in favor of that.

Motioned by Spencer, seconded by McCoy to table the requests as written for 2236 South Lake Shore Drive, Independence, MN (PID No’s. 24-118-24-14-0005, 24-118-24-11-0009 and 24-118-24-11-0012). Ayes: Johnson, McCoy, Spencer, and Grotting. Nays: None. Absent: Betts. Abstain. None. MOTION DECLARED CARRIED.

5. Open/Misc.

Kaltsas – Is there anything to bring back?

Spencer – Community access point outlot discussion. Consideration for pond #2. If we can’t connect a trail to Baker Park, get an easement to get the connecting trail along Perkinsville to Baker Park Trail system to put it in down the road.

Grotting – Can we use park dedication fees more liberally to push it through for a trail?

Spencer- A couple other owners would need to be included.

Johnson – Three Rivers Park District still has the layout on where we would access through to Baker Park. Are we sure MetCouncil will approve this?

Kaltsas – No, we should get their information soon. Our approval is subject to MetCouncil’s approval.

6. Adjourn.

Motion carried by Spencer, seconded by Grotting to adjourn at 8:08pm.

Respectfully Submitted,
Linda Johnson / Recording Secretary

City of Independence

WHPS/North Memorial Garage - Pay Request #1

To: City Council
From: Mark Kaltsas, Administrator
Meeting Date: September 6, 2022

Summary:

The City has received the first pay request from BV Construction for the WHPS/North Memorial Garage Project. The request has been reviewed and aligns with materials and work completed to date. Staff has reviewed the requested payment and found it to be in line with anticipated and budgeted project costs.

City Council Direction:

Council is being asked to consider approval of the pay requests as recommended.

Attachments: Pay Request #1

BV Construction Inc.

4118 48th St Ne.
Buffalo, MN 55313

Invoice

Date	Invoice #
8/23/2022	1200

Bill To
City Of Independence

P.O. No.	Terms	Project

Quantity	Description	Rate	Amount
	Excavation of pad & installing storm sewer concrete footing & labor and materials for building	25,575.00 120,000.00	25,575.00 120,000.00
Thank you for your business.		Total	\$145,575.00



DATE: August 29th, 2022

TO: Amber Simon
Independence Assistant City Administrator

FROM: Director Gary Kroells *G. Kroells*
WEST HENNEPIN PUBLIC SAFETY

RE: Solicitor License – Curbside Waste – Rocci Berrini

Please be advised that we have done a record check on the above business and applicant, Rocci Berrini. Berrini was found on 08/28/2022 to be soliciting his business services without a permit. Berrini has since filled out an application for a solicitor's permit.

We have not found anything in our record check that would preclude them from being issued a solicitor's license for the year 2022.

If you have any questions regarding the contents of this memo, please feel free to contact me.

Director Gary Kroells,

City of Independence

Approval of Election Judges for the 2022 Primary and General Elections

To: City Council
From: Amber Simon
Meeting Date: September 6, 2022

Discussion:

The City Council is required to appoint election judges for the upcoming primary and general elections to be held in August and November 2022. Staff has prepared a list of election judges for consideration by the City Council. The following election judges can be considered for appointment by the City Council:

- Charlie Hayes
- Marilyn Hamilton
- Darcy Ciatti
- Lori McNamara
- Marvin Johnson
- Lynette Boyd Timpe
- Chris Lyrek
- Martha McCabe
- Damon Kocina
- Susan Ritts
- Chris Burr
- JP Story
- Julie Larson
- James Schmitt
- Carol Neyens
- Kim Klancke

Additional election judges available:

- Michelle Hammer
- Allison Hirschberg

- Sarah Baker

Recommendation:

It is recommended that the City Council approve appointing the additional listed election judges.

City of Independence

Request for a Conditional Use Permit to Construct a Ground Mounted Solar System on the Property located at 840 Wild Oak Trail

To:	Planning Commission
From:	Mark Kaltsas, City Planner
Meeting Date:	August 16, 2022
Applicant:	Russel Gilberg
Property Owner:	David Vandeneinde
Location:	840 Wild Oak Trail

Request:

Russel Gilberg (Applicant) and David Vandeneinde (Owner) requests that the City consider the following action for the property located at 840 Wild Oak Trail, Independence, MN (PID No. 27-118-24-33-0003):

- a. A conditional use permit to allow a ground mounted solar array on the subject property.

Property/Site Information:

The property is located at the end of Wild Oak Trail which is north of CSAH 6. The property has an existing home, a detached accessory structure. The property has the following characteristics:

Property Information: **840 Wild Oak Trail**

Zoning: *Agriculture*

Comprehensive Plan: *Agriculture*

Acreage: *3.66 acres*

Subject Property



Discussion:

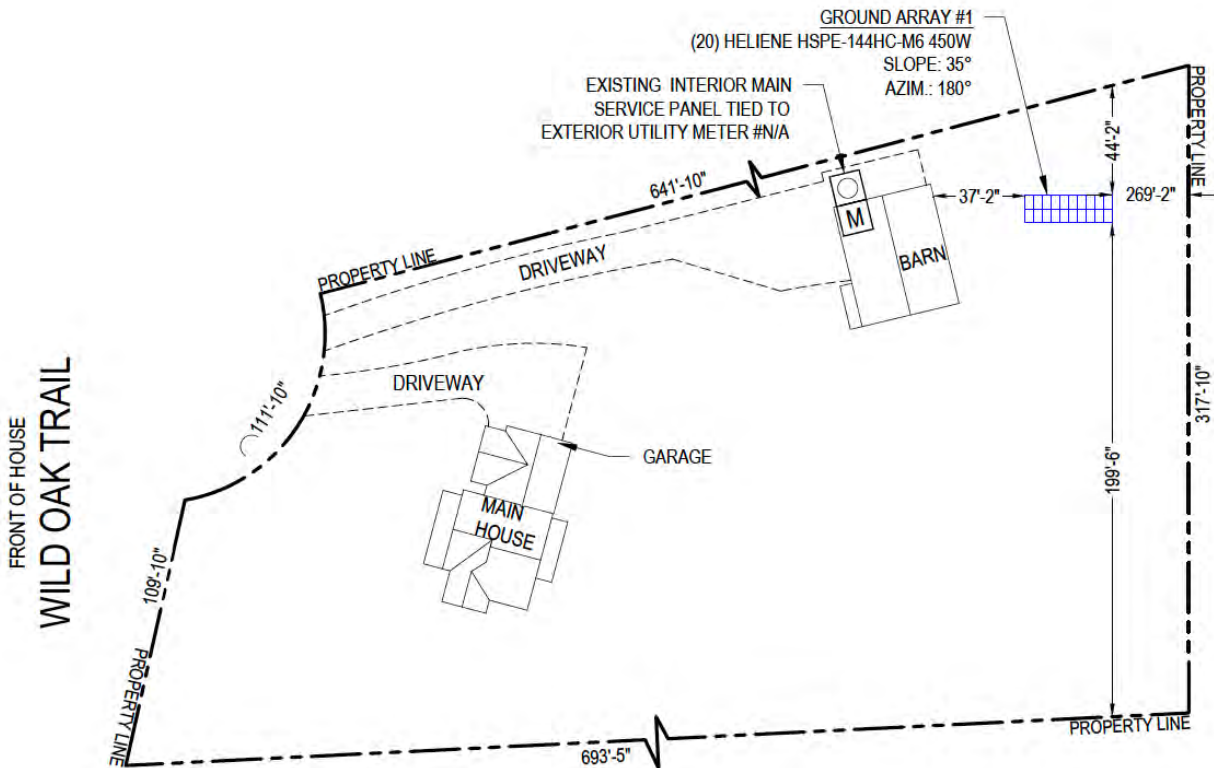
The applicant is seeking approval to construct a ground mounted solar system on the subject property. Ground mounted solar systems require a conditional use permit in all zoning districts of the City. Ground mounted solar systems have the following requirements:

Subd. 5. Ground-mounted solar energy systems shall conform to the following standards:

- (a) Ground-mounted systems shall only be allowed on a parcel with an existing principal structure.*
- (b) Ground-mounted systems shall be located only in rear or side yards.*
- (c) Ground-mounted systems shall not be located in the Shoreland Overlay District.*

- (d) Ground-mounted systems shall be wholly screened from view from the public right-of-way and adjacent residential structures. Methods for screening shall include berming, fencing, landscaping and/or combination thereof.
- (e) Ground-mounted systems shall be located on a parcel of at least 2.5 acres.
- (f) Ground-mounted systems shall be setback 40 feet from the rear yards.
- (g) Ground-mounted systems shall be setback 30 feet from the side yards.
- (h) Ground-mounted systems shall have a maximum area of 500 SF.
- (i) The maximum height for any component of the system shall be 15 feet.
- (j) Ground-mounted systems shall be in compliance with any applicable local, state and federal regulatory standards, including building, electrical and plumbing codes.
- (k) Ground-mounted systems and their support structures shall be designed by a certified professional to meet applicable professional standards for the local soil and climate conditions.

The proposed ground mounted solar system would be located in the side yard to the east of the existing barn located in the northeast corner. The proposed solar system would be comprised of one ground mounted array. The total square footage of the two arrays would be 488 SF. This would be less than the 500 feet maximum SF permitted. The arrays would be setback approximately 38 feet from the north property line (side yard). The required setback is a minimum of 30 feet.



The proposed ground mounted system would be approximately 11 feet to the top of the highest portion of the panels (height is variable based on angle). The maximum height allowed for any component of the proposed system is 15 feet. The City requires systems to be wholly screened from view of the public right of way and adjacent residential structures. There are currently no residential structures located near the proposed location. The proximity of the proposed ground mounted system to the nearest residence and or public right of way is ~550 feet and is protected from view by existing vegetation or elevation. No screening is proposed along the north or east property lines. One additional consideration relating to screening is that the panels will be oriented to face south. This will help to mitigate glare and or other visual impacts to surrounding properties as there is a significant wooded area to the south of the subject property.

The applicant has also provided the City with an updated site plan and image of the solar system.

The criteria for granting a conditional use permit are clearly delineated in the City's Zoning Ordinance (Section 520.11 subd. 1, a-i) as follows:

1. The conditional use will not adversely affect the health, safety, morals and general welfare of occupants of surrounding lands.
2. The proposed use will not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity for the proposes already permitted or on the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.
3. Existing roads and proposed access roads will be adequate to accommodate anticipated traffic.
4. Sufficient off-street parking and loading space will be provided to serve the proposed use.
5. The proposed conditional use can be adequately serviced by public utilities or on-site sewage treatment, and sufficient area of suitable soils for on-site sewage treatment is available to protect the city form pollution hazards.
6. The proposal includes adequate provision for protection of natural drainage systems, natural topography, tree growth, water courses, wetlands, historic sites and similar ecological and environmental features.
7. The proposal includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance.
8. The proposed condition use is consistent with the comprehensive plan of the City of Independence.
9. The proposed use will not stimulate growth incompatible with prevailing density standards.

The City has discussed the proposed ground mounted solar system with the applicant. It was noted that the proposed ground mounted solar system would offset approximately 85% of the applicant's current power consumption. The applicant also stated that if the ordinance relating to ground mounted solar allows for more area in the future, he would encourage consideration for a provision that allows expansion of the proposed system without additional review. The proposed ground mounted solar system appears to meet all applicable standards provided for in the zoning ordinance. The size of the system and its proximity to the surrounding property appears to adequately mitigate potential visual impacts. Given the location of the property at the end of Wild Oak Trail, the orientation of the proposed solar system and its relationship to the

surrounding properties, it appears that the proposed application can be found to meet the requirements for granting a conditional use permit amendment.

Neighbor Comments:

The City has not received any written or oral comments regarding the proposed amendment to the conditional use permit.

Recommendation:

Staff is seeking a recommendation from the Planning Commission pertaining to the request for a conditional use permit and amendment with the following findings and conditions:

1. The proposed conditional use permit and amendment request meets all applicable conditions and restrictions stated in Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. The conditional use permit will allow a ground mounted solar system to be located on the subject property and in accordance with the approved site plan attached hereto as EXHIBIT A.
 - a. The ground mounted solar system shall be constructed in accordance with all applicable zoning code, building code and other applicable standards.
3. The applicant shall pay for all costs associated with the review and recording of the resolution granting approval of the conditional use permit.

Attachments:

1. Application
2. Ground Mounted Solar Site Plans (Exhibit A)



RESOLUTION OF THE
CITY OF INDEPENDENCE
HENNEPIN COUNTY, MINNESOTA

RESOLUTION NO. 22-0906-01

**A RESOLUTION GRANTING APPROVAL OF A CONDITIONAL USE PERMIT TO
ALLOW A GROUND MOUNTED SOLAR SYSTEM
ON THE PROPERTY LOCATED AT 840 WILD OAK TRAIL**

WHEREAS, the City of Independence (the “City”) is a municipal corporation under the laws of Minnesota; and

WHEREAS, the City adopted a comprehensive plan in 2010 to guide the development of the community; and

WHEREAS, the City has adopted a zoning ordinance and other official controls to assist in implementing the comprehensive plan; and

WHEREAS, David Vandeneinde, (the “Owner”) submitted a request for a conditional use permit to allow a ground mounted solar system on the property located 840 Wild Oak Trail (PID No. 27-118-24-33-0003) (the “Property”); and

WHEREAS, the Property is legally described as:

Lot 006, Block 001 INDEPENDENCE RIDGE; and

WHEREAS, the Property is zoned Agriculture; and

WHEREAS the requested conditional use permit meets all requirements, standards and specifications of the City of Independence zoning ordinance for Agriculture lots; and

WHEREAS the Planning Commission held a public hearing on August 16, 2022, to review the application for a conditional use permit, following mailed and published noticed as required by law; and

WHEREAS, the City Council has reviewed all materials submitted by the Applicant; considered the oral and written testimony offered by the applicant and all interested parties; and has now concluded that the application is in compliance with all applicable standards and can be considered for approval; and

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF INDEPENDENCE, MINNESOTA, that it should and hereby does approve the application by David Vandeneinde for a conditional use permit to allow a ground mounted solar system on the property per the City's zoning regulations and with the findings provided within this resolution.

1. The proposed conditional use permit request meets all applicable conditions and restrictions stated in Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. The conditional use permit will include the following conditions:
 - a) The conditional use permit will allow a ground mounted solar system that is installed in accordance with the approved plans attached hereto as **Exhibit A**.
 - b) The ground mounted solar system shall be constructed in accordance with all applicable zoning code, building code and other applicable standards.
3. The applicant shall pay for all costs associated with the review and recording of the resolution granting approval of the conditional use permit.
4. The conditional use permit shall be recorded with Hennepin County.

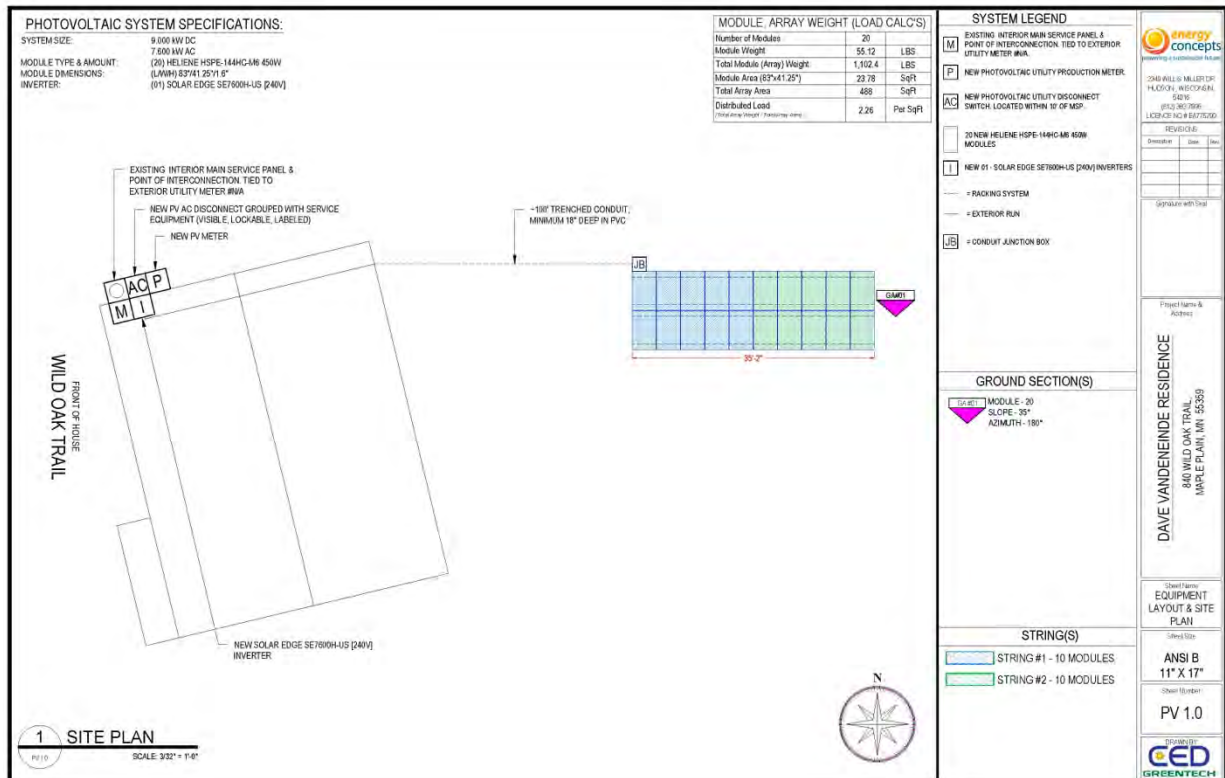
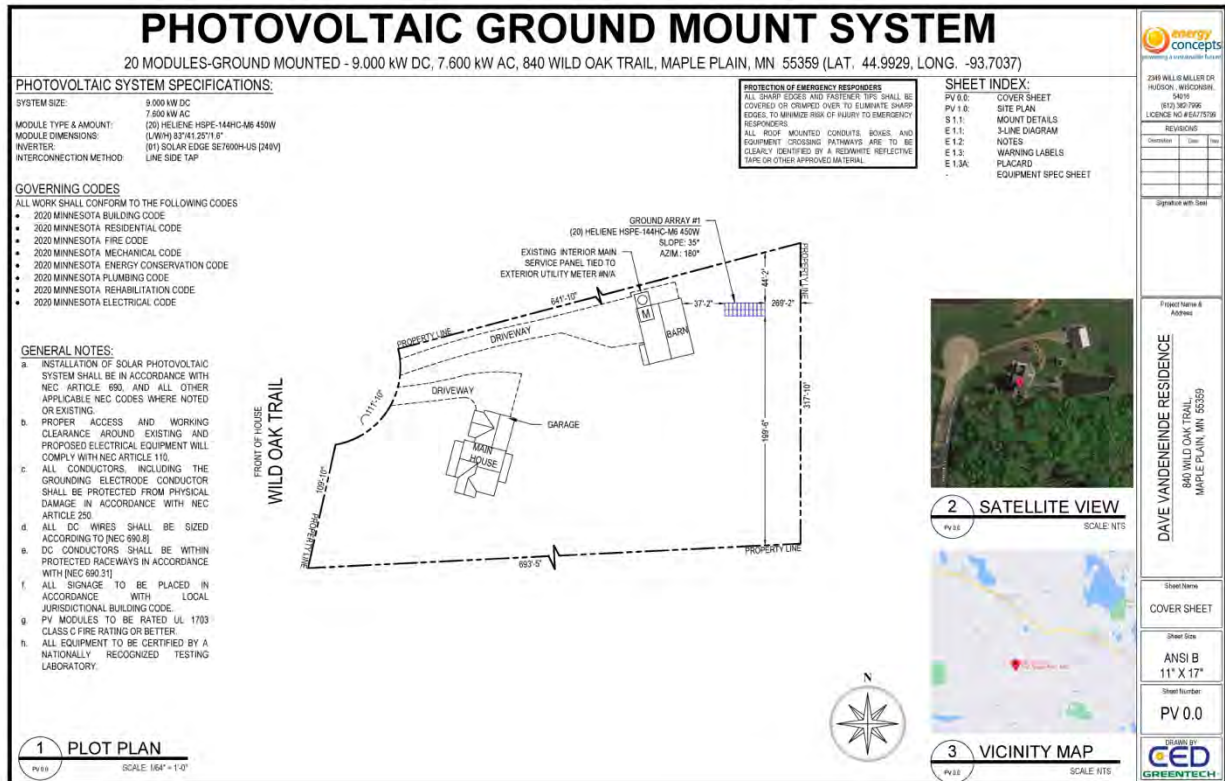
This resolution was adopted by the City Council of the City of Independence on this 6th day of September 2022, by a vote of ____ ayes and ____ nays.

Marvin Johnson, Mayor

ATTEST:

Mark Kaltsas, City Administrator

EXHIBIT A (Site Plan)





**CITY OF
INDEPENDENCE
MINNESOTA**

Applicant Information

Name: Russel Gilberg
Address: 1231 Industrial St. Ste. 200
Hudson, Wisconsin 54016
Primary Phone: 715-381-9977
Secondary Phone: 612-669-5365
Email: claudia@energyconcepts.us

Owner Information

Name: David Vandeneinde
Address: 840 Wild Oak Trail
Maple Plain, Minnesota
55359
Primary Phone: 763-238-0209
Email: 840Dave@gmail.com

Property Address:

PID:

Planning Application Type: Conditional Use Permit

Description:

Supporting Documents: Construction Plans

Signature:

PHOTOVOLTAIC GROUND MOUNT SYSTEM

20 MODULES-GROUND MOUNTED - 9.000 kW DC, 7.600 kW AC, 840 WILD OAK TRAIL, MAPLE PLAIN, MN 55359 (LAT. 44.9929, LONG. -93.7037)

PHOTOVOLTAIC SYSTEM SPECIFICATIONS:

SYSTEM SIZE:	9.000 kW DC
	7.600 kW AC
MODULE TYPE & AMOUNT:	(20) HELIENE HSPE-144HC-M6 450W
MODULE DIMENSIONS:	(L/W/H) 83"/41.25"/1.6"
INVERTER:	(01) SOLAR EDGE SE7600H-US [240V]
INTERCONNECTION METHOD:	LINE SIDE TAP

GOVERNING CODES

ALL WORK SHALL CONFORM TO THE FOLLOWING CODES

- 2020 MINNESOTA BUILDING CODE
- 2020 MINNESOTA RESIDENTIAL CODE
- 2020 MINNESOTA FIRE CODE
- 2020 MINNESOTA MECHANICAL CODE
- 2020 MINNESOTA ENERGY CONSERVATION CODE
- 2020 MINNESOTA PLUMBING CODE
- 2020 MINNESOTA REHABILITATION CODE
- 2020 MINNESOTA ELECTRICAL CODE

GENERAL NOTES:

- INSTALLATION OF SOLAR PHOTOVOLTAIC SYSTEM SHALL BE IN ACCORDANCE WITH NEC ARTICLE 690, AND ALL OTHER APPLICABLE NEC CODES WHERE NOTED OR EXISTING.
- PROPER ACCESS AND WORKING CLEARANCE AROUND EXISTING AND PROPOSED ELECTRICAL EQUIPMENT WILL COMPLY WITH NEC ARTICLE 110.
- ALL CONDUCTORS, INCLUDING THE GROUNDING ELECTRODE CONDUCTOR SHALL BE PROTECTED FROM PHYSICAL DAMAGE IN ACCORDANCE WITH NEC ARTICLE 250.
- ALL DC WIRES SHALL BE SIZED ACCORDING TO [NEC 690.8]
- DC CONDUCTORS SHALL BE WITHIN PROTECTED RACEWAYS IN ACCORDANCE WITH [NEC 690.31]
- ALL SIGNAGE TO BE PLACED IN ACCORDANCE WITH LOCAL JURISDICTIONAL BUILDING CODE.
- PV MODULES TO BE RATED UL 1703 CLASS C FIRE RATING OR BETTER.
- ALL EQUIPMENT TO BE CERTIFIED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

PROTECTION OF EMERGENCY RESPONDERS

ALL SHARP EDGES AND FASTENER TIPS SHALL BE COVERED OR CRIMPED OVER TO ELIMINATE SHARP EDGES, TO MINIMIZE RISK OF INJURY TO EMERGENCY RESPONDERS.
ALL ROOF MOUNTED CONDUITS, BOXES, AND EQUIPMENT CROSSING PATHWAYS ARE TO BE CLEARLY IDENTIFIED BY A RED/WHITE REFLECTIVE TAPE OR OTHER APPROVED MATERIAL.

SHEET INDEX:

PV 0.0:	COVER SHEET
PV 1.0:	SITE PLAN
S 1.1:	MOUNT DETAILS
E 1.1:	3-LINE DIAGRAM
E 1.2:	NOTES
E 1.3:	WARNING LABELS
E 1.3A:	PLACARD
-	EQUIPMENT SPEC SHEET



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HUDSON, WISCONSIN,
54016
(612) 382-7996
LICENCE NO # EA775799

REVISIONS		
Description	Date	Rev

Signature with Seal

Project Name &
Address

DAVE VANDENEINDE RESIDENCE
840 WILD OAK TRAIL,
MAPLE PLAIN, MN 55359

Sheet Name

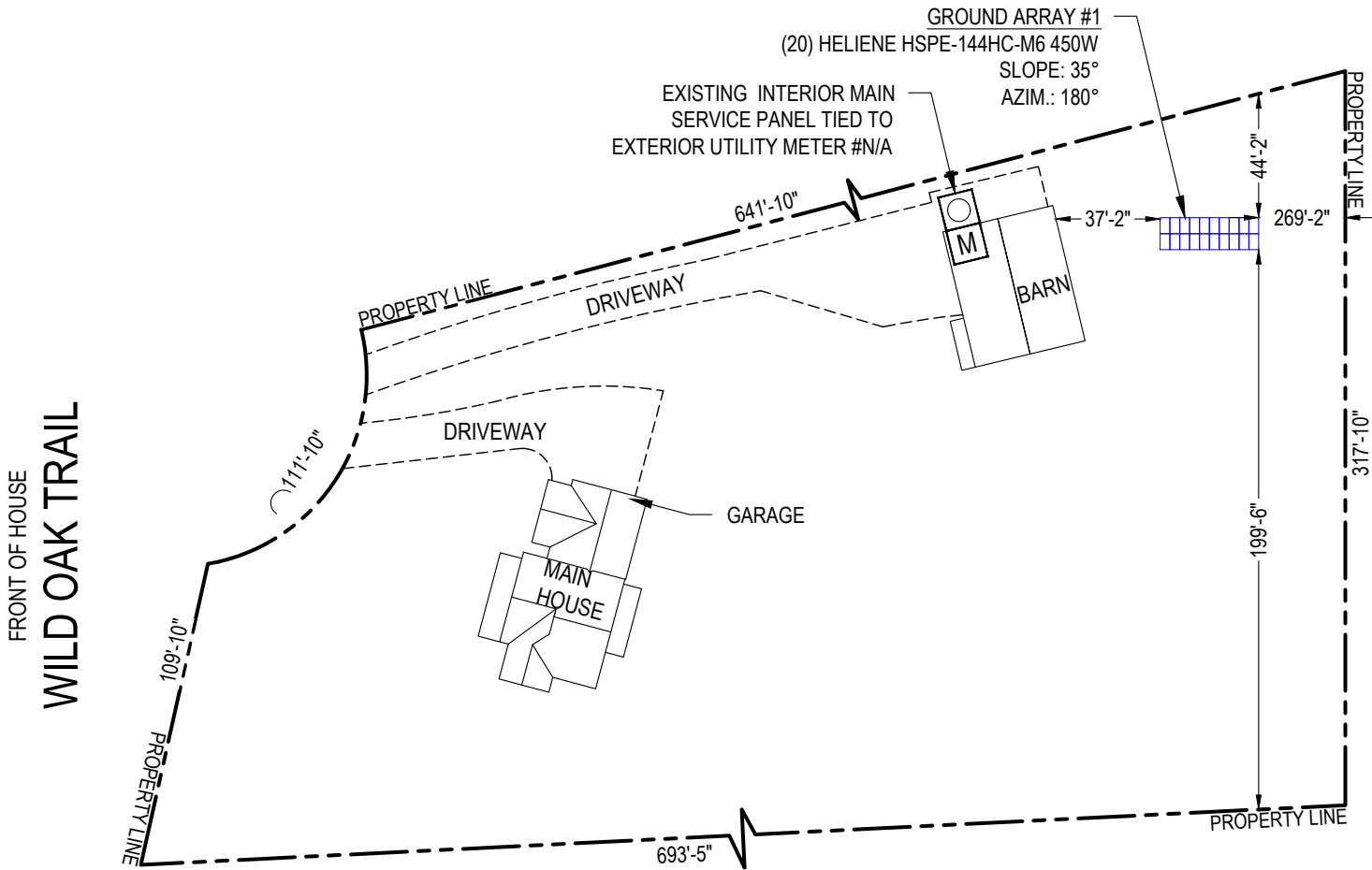
COVER SHEET

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PV 0.0



2

SATELLITE VIEW

PV 0.0

SCALE: NTS



3

VICINITY MAP

PV 0.0

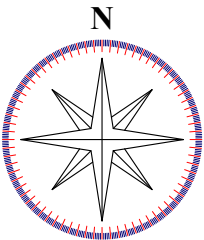
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PLOT PLAN

PV 0.0

SCALE: 1/64" = 1'-0"



PHOTOVOLTAIC SYSTEM SPECIFICATIONS:

SYSTEM SIZE: 9.000 kW DC
7.600 kW AC

MODULE TYPE & AMOUNT: (20) HELIENE HSPE-144HC-M6 450W

MODULE DIMENSIONS: (L/W/H) 83"/41.25"/1.6"

INVERTER: (01) SOLAR EDGE SE7600H-US [240V]

MODULE, ARRAY WEIGHT (LOAD CALC'S)		
Number of Modules	20	
Module Weight	55.12	LBS
Total Module (Array) Weight	1,102.4	LBS
Module Area (83"x41.25")	23.78	SqFt
Total Array Area	488	SqFt
Distributed Load <small>(Total Array Weight / Total Array Area)</small>	2.26	Per SqFt

SYSTEM LEGEND

- M

EXISTING INTERIOR MAIN SERVICE PANEL & POINT OF INTERCONNECTION. TIED TO EXTERIOR UTILITY METER #N/A.
- P

NEW PHOTOVOLTAIC UTILITY PRODUCTION METER.
- AC

NEW PHOTOVOLTAIC UTILITY DISCONNECT SWITCH. LOCATED WITHIN 10' OF MSP.
- 20 NEW HELIENE HSPE-144HC-M6 450W MODULES
- I

NEW 01 - SOLAR EDGE SE7600H-US [240V] INVERTERS
- = RACKING SYSTEM
- = EXTERIOR RUN
- JB

= CONDUIT JUNCTION BOX



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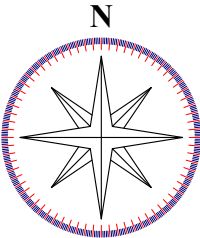
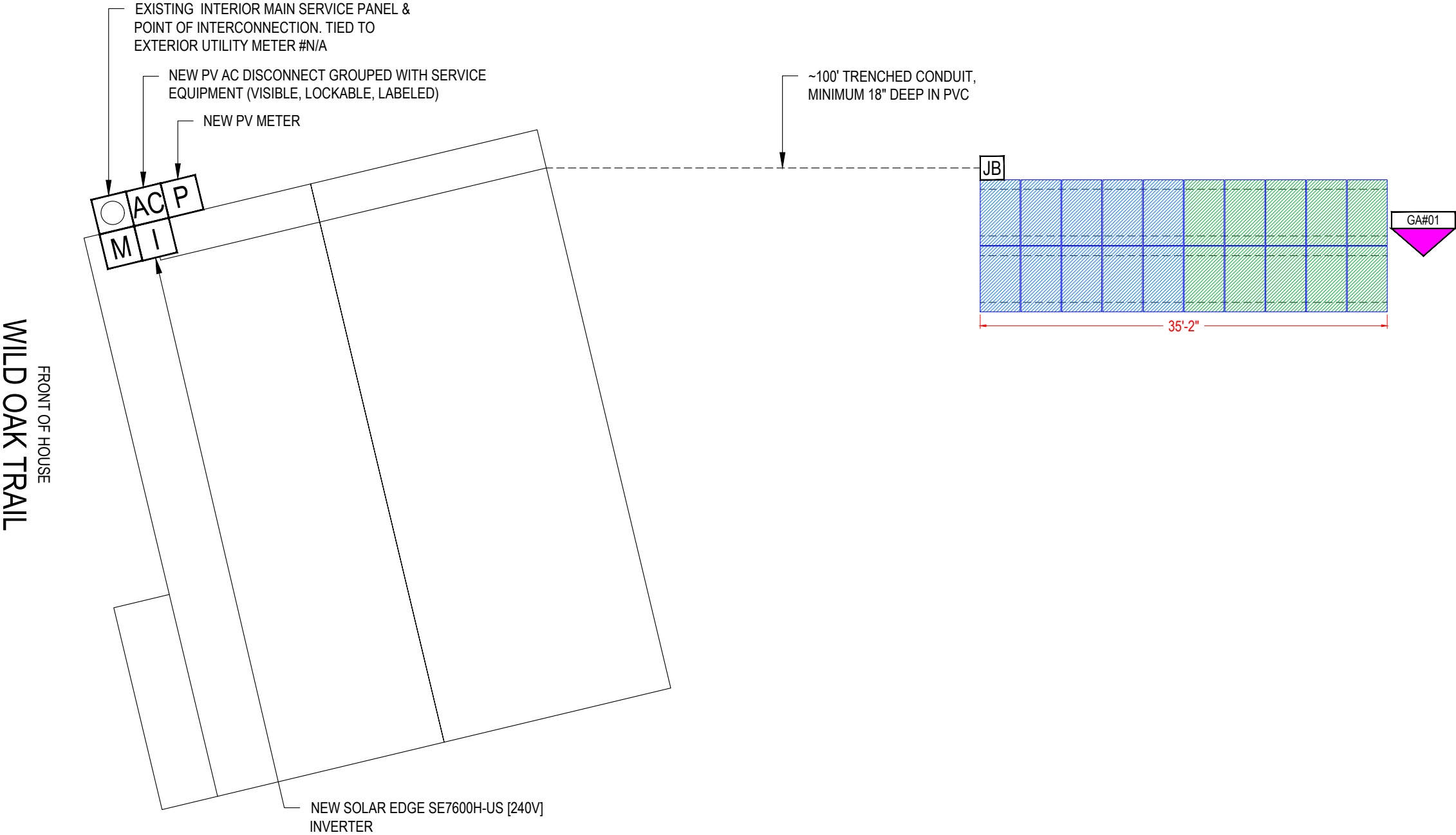
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EQUIPMENT
LAYOUT & SITE
PLAN

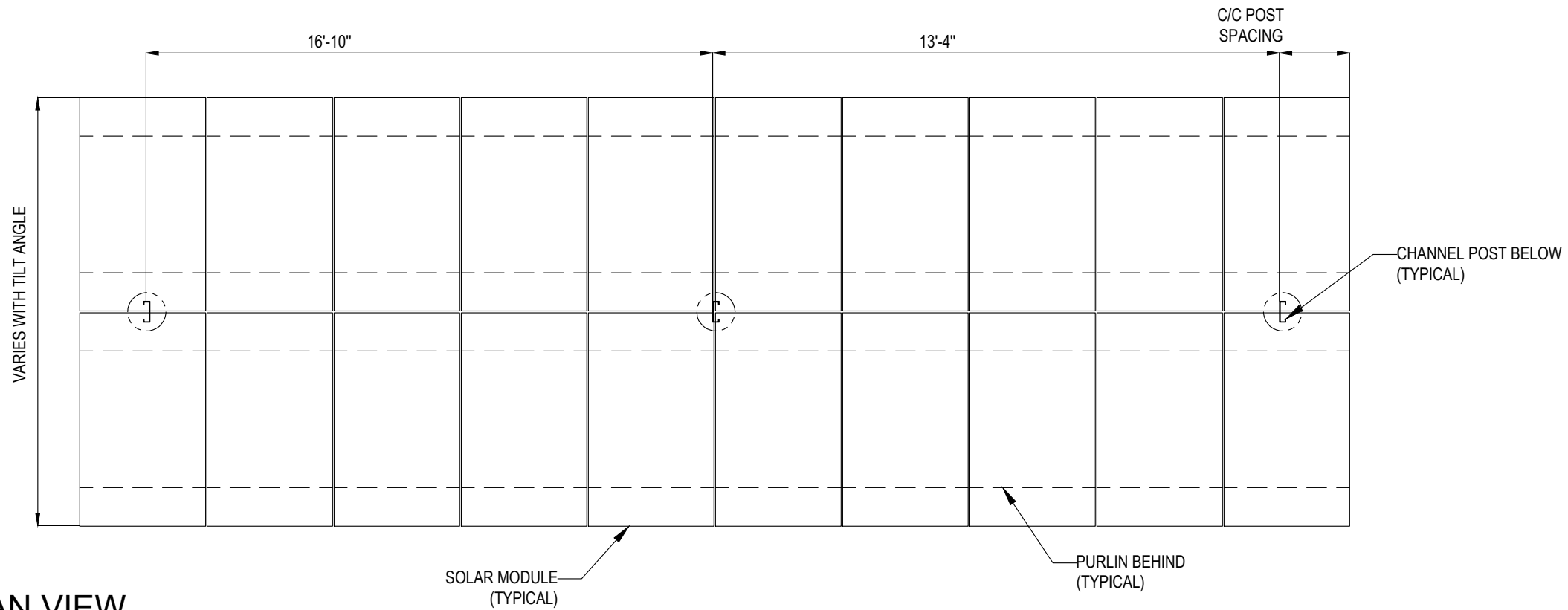
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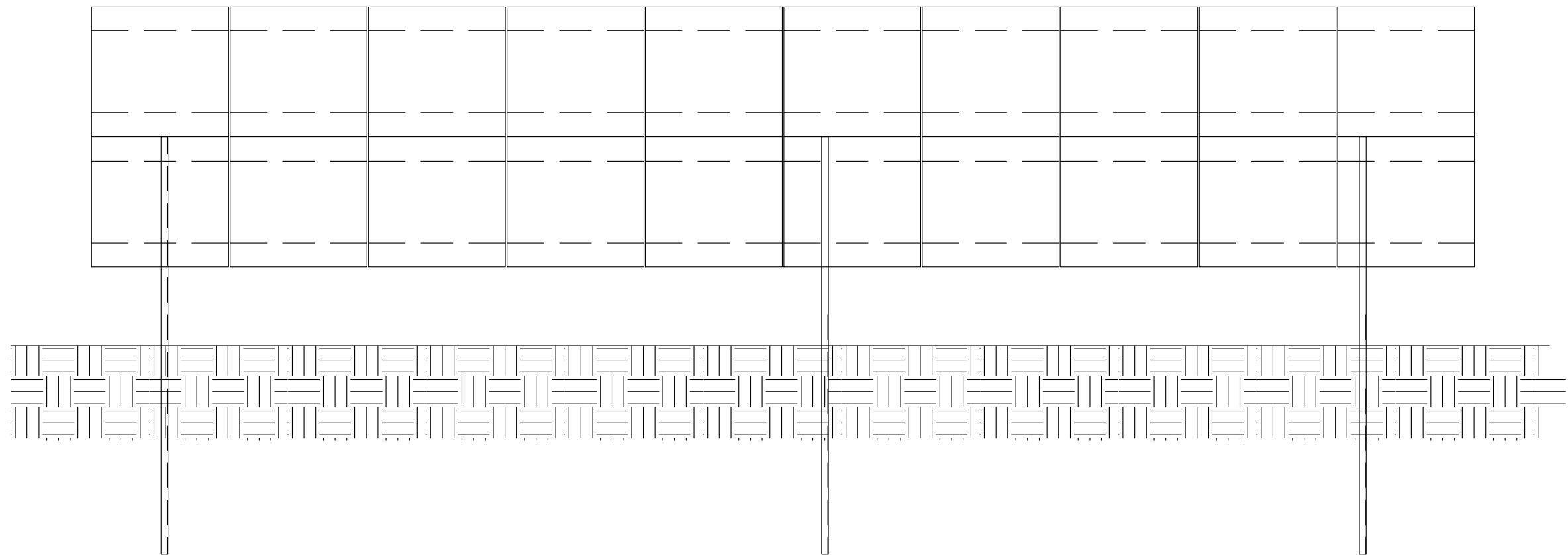
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1 PV RACKING PLAN VIEW
S 1.1 SCALE: NTS



1 RACKING FRONT SIDE DETAIL
S 1.1 SCALE: NTS



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840 WILD OAK TRAIL,
MAPLE PLAIN, MN 55359

Sheet Name

MOUNT DETAIL


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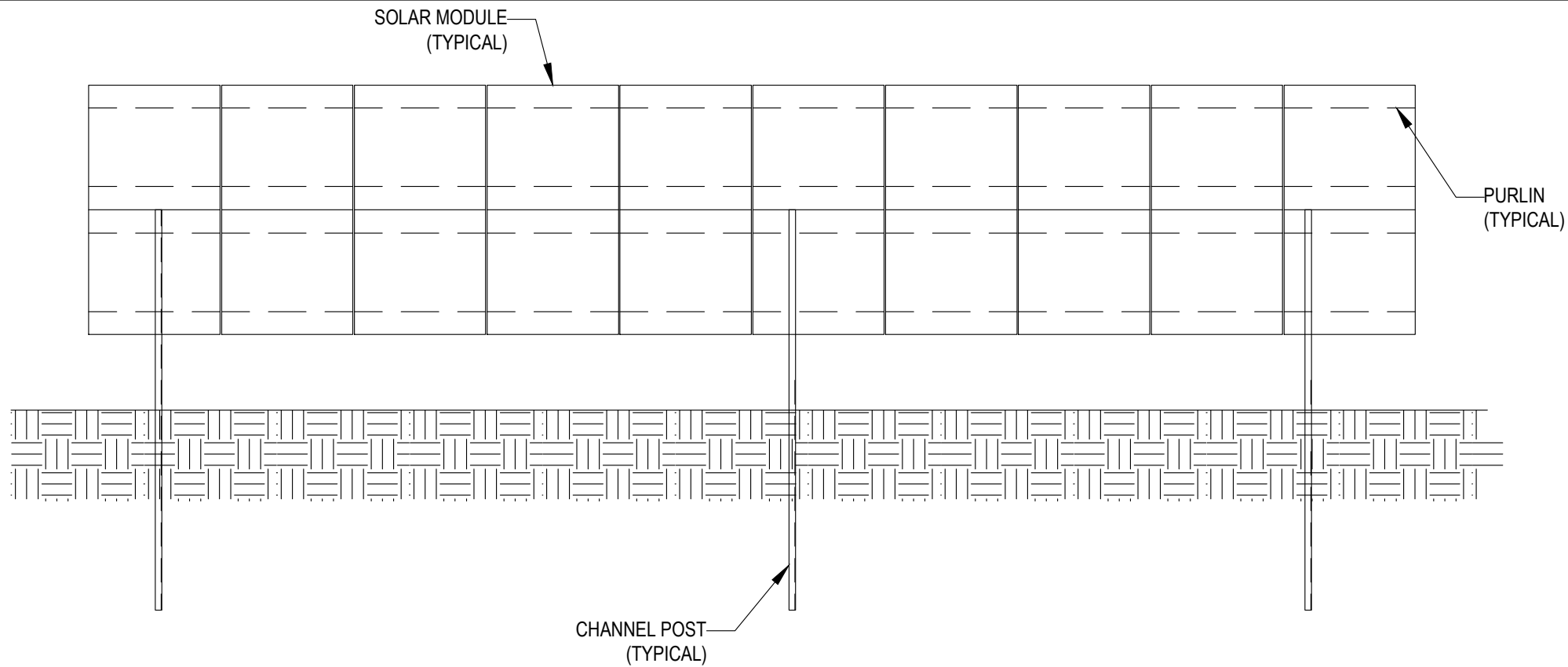
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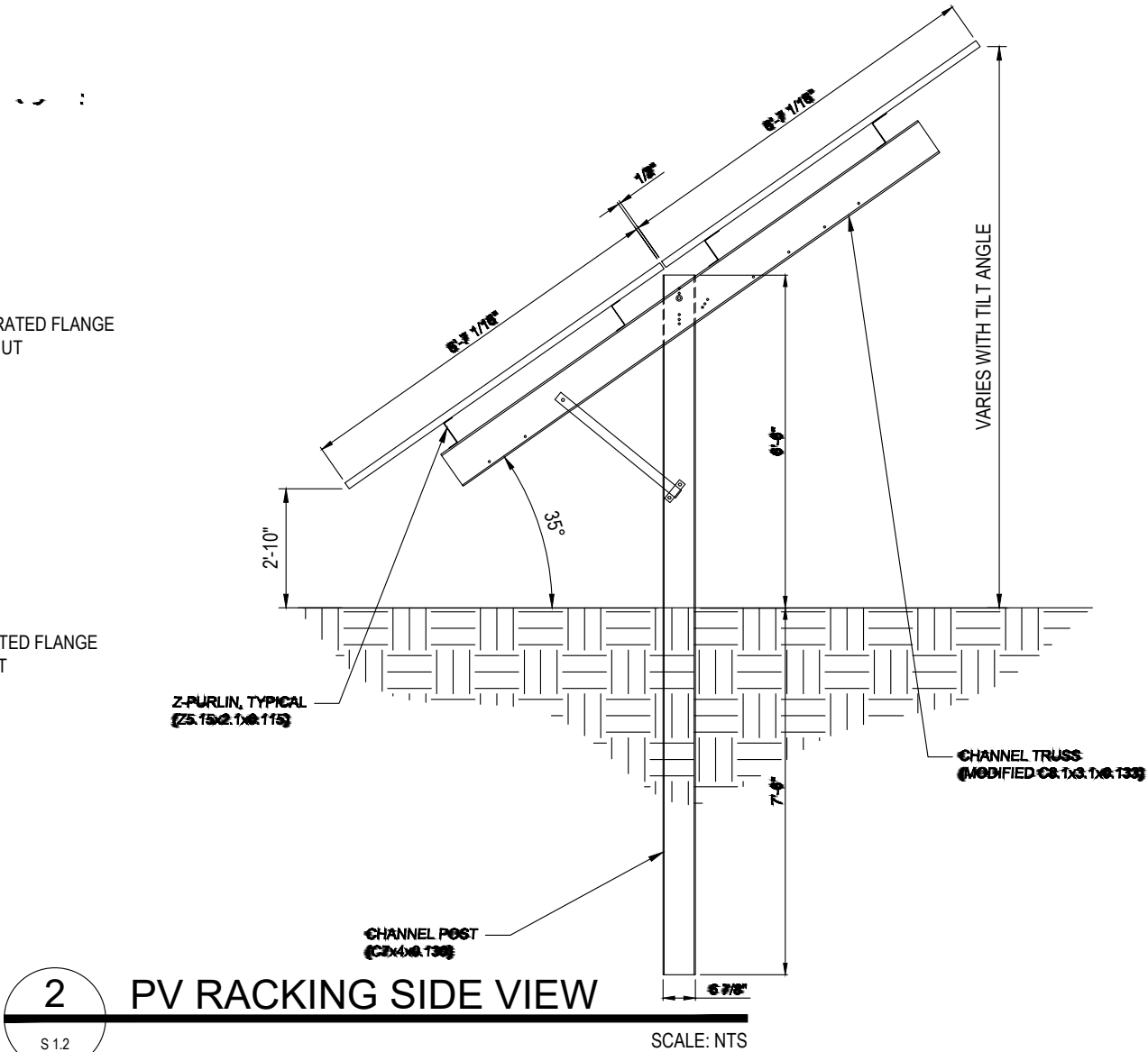
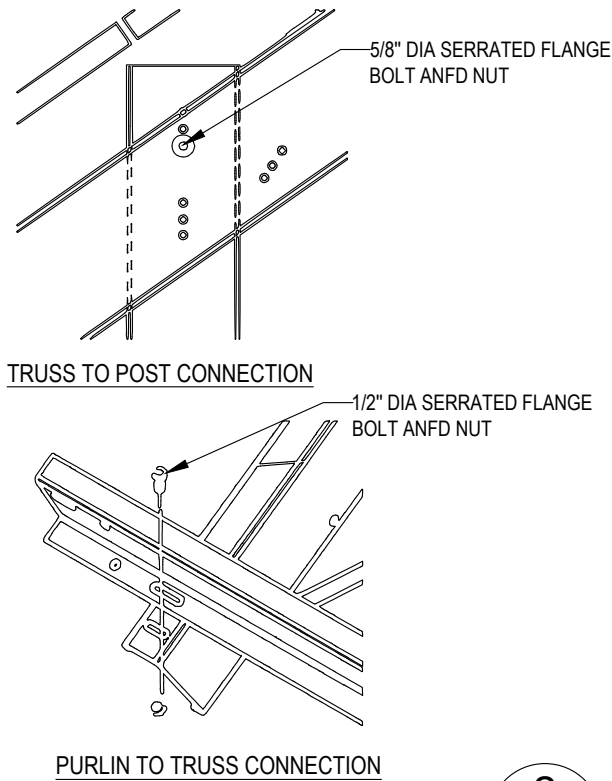
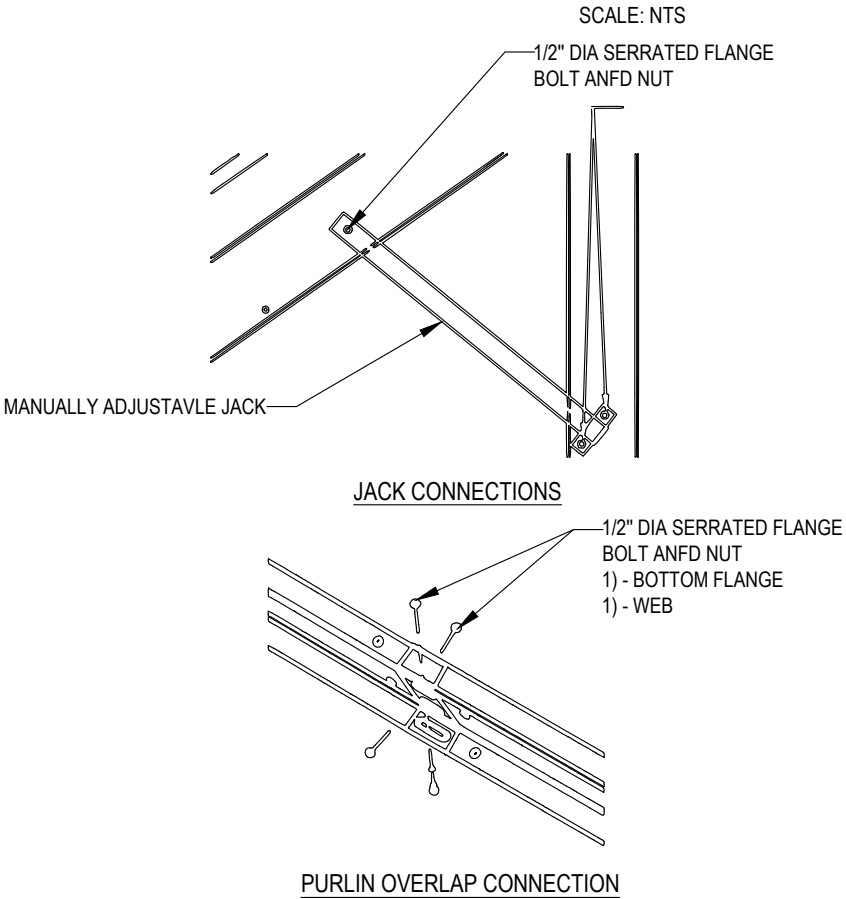
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1

PV RACKING BACK VIEW

S 1.2



2

PV RACKING SIDE VIEW

S 1.2

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DAVE VANDENEINDE RESIDENCE

840 WILD OAK TRAIL,
MAPLE PLAIN, MN 55359

Sheet Name

MOUNT DETAIL

Sheet Size

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11" X 17"

Sheet Number

S 1.2

INVERTER CHARACTERISTICS - SOLAREDGE SE 7600H-US		
MAX OUTPUT POWER	7600	W
SYSTEM OPERATING VOLTAGE	400	V
MAX CONTINOUS OUTPUT CURRENT	32	A
MAX INPUT VOLTAGE	480	V
SYSTEM SHORT CIRCUIT CURRENT	15	A
MAX EFFICIENCY	99	%

SYSTEM SIZE: 9.000 kW DC
7.600 kW AC
MODULE: (20) HELIENE HSPE-144HC-M6 450W
INVERTER: (01) SOLAR EDGE SE7600H-US [240V]

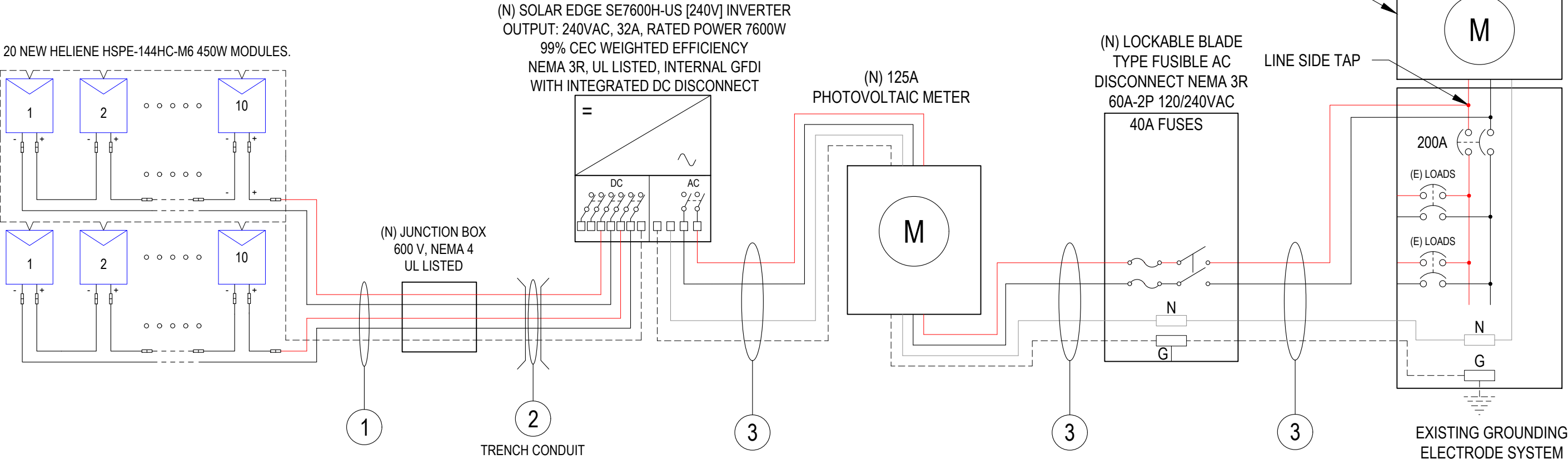
PHOTOVOLTAIC SYSTEM	
DC SYSTEM SIZE (WATTS)	9000W
AC SYSTEM SIZE (WATTS)	7600W
TOTAL NUMBER OF MODULES	20
NOMINAL AC VOLTAGE	240V

PV MODULE RATING @ STC	
MANUFACTURER	HELIENE HSPE-144HC-M6 450W
MAX. POWER-POINT CURRENT (IMP)	10.68 AMPS
MAX. POWER-POINT VOLTAGE (VMP)	42.16 VOLTS
OPEN-CIRCUIT VOLTAGE (VOC)	50.03 VOLTS
SHORT-CIRCUIT CURRENT (ISC)	11.29 AMPS
NOM. MAX. POWER AT STC (PMAX)	450 WATT
MAX. SYSTEM VOLTAGE	1500V
VOC TEMPERATURE COEFFICIENT	-0.30° %/°C

Rooftop conductor ampacities designed in compliance with art. 690.8, Tables 310.15(B)(2)(a), 310.15(B)(3)(a), 310.15(B)(3)(c), 310.15(B)(16), Chapter 9 Table 4, 5, & 9. Location specific temperature obtained from ASHRAE 2017 data tables

RECORD LOW TEMP	-27°C
AMBIENT TEMP (HIGH TEMP 2%)	32°C
CONDUIT HEIGHT	0.5"
ROOF TOP TEMP	54°C
CONDUCTOR TEMPERATURE RATE	90°C

(UTILITY METER AT THE POLE BARN)
POINT OF INTERCONNECT, LINE SIDE
EXISTING 240V/200A BUS BAR RATING,
MAIN SERVICE PANEL, SINGLE PHASE,
WITH A 200A MAIN DISCONNECT
UTILITY COMPANY - WRIGHT HENNEPIN
UTILITY METER



WIRE TAG #	WIRE FROM --	CONDUIT	WIRE QTY	WIRE GAUGE:	WIRE TYPE	TEMP RATING:	WIRE AMP	TEMP DE-RATE:	CONDUIT FILL:	WIRE OCP:	TERMINAL 75°C RATING:	OPTIMIZER CURRENT	x NEC:	= MAX AMPS	MAX SYSTEM VOLTAGE	GRND SIZE	GRND WIRE TYPE
1	ARRAY TO JUNCTION BOX	IN AIR	4	#12	PV WIRE	90°C	30A	x 0.96	x NA	= 28.80A	25A	15A	x 1.25	= 18.75A	480V	#6	SBC
2	JUNCTION BOX TO INVERTER	1" PVC 40	4	#10	THWN-2	90°C	40A	x 0.76	x 0.80	= 24.32A	35A	15A	x 1.25	= 18.75A	480V	#6	THWN-2
3	INVERTER TO MSP	3/4" PVC 80	3	#6	THWN-2	75°C	65A	x 0.94	x 1.00	= 61.10A	65A	32A	x 1.25	= 40.00A	240V	#8	THWN-2

REVISIONS		
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Project Name &
Address

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840 WILD OAK TRAIL,
MAPLE PLAIN, MN 55359

Sheet Name

3-LINE
DIAGRAM

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11" X 17"

Sheet Number

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SITE NOTES:

- 1. A LADDER WILL BE IN PLACE FOR INSPECTION IN COMPLIANCE WITH OSHA REGULATIONS.
- 2. THE PV MODULES ARE CONSIDERED NON-COMBUSTIBLE AND THIS SYSTEM IS A UTILITY INTERACTIVE SYSTEM WITH NO STORAGE BATTERIES.
- 3. THE SOLAR PV INSTALLATION WILL NOT OBSTRUCT ANY PLUMBING, MECHANICAL, OR BUILDING ROOF VENTS.
- 4. PROPER ACCESS AND WORKING CLEARANCE AROUND EXISTING AND PROPOSED ELECTRICAL EQUIPMENT WILL BE PROVIDED AS PER SECTION NEC 110.26.
- 5. ROOF COVERINGS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THIS CODE AND THE APPROVED MANUFACTURER'S INSTRUCTIONS SUCH THAT THE ROOF COVERING SERVES TO PROTECT THE BUILDING OR STRUCTURE.

EQUIPMENT LOCATIONS:

- 1. ALL EQUIPMENT SHALL MEET MINIMUM SETBACKS AS REQUIRED BY NEC 110.26.
- 2. WIRING SYSTEMS INSTALLED IN DIRECT SUNLIGHT MUST BE RATED FOR EXPECTED OPERATING TEMPERATURE AS SPECIFIED BY NEC 690.31 (A),(C) AND NEC TABLES 310.15 (B)(2)(A) AND 310.15 (B)(3)(C).
- 3. JUNCTION AND PULL BOXES PERMITTED INSTALLED UNDER PV MODULES ACCORDING TO NEC 690.34.
- 4. ADDITIONAL AC DISCONNECT(S) SHALL BE PROVIDED WHERE THE INVERTER IS NOT WITHIN SIGHT OF THE AC SERVICING DISCONNECT. 2.2.6 ALL EQUIPMENT SHALL BE INSTALLED ACCESSIBLE TO QUALIFIED PERSONNEL ACCORDING TO NEC APPLICABLE CODES.
- 5. ALL COMPONENTS ARE LISTED FOR THEIR PURPOSE AND RATED FOR OUTDOOR USAGE WHEN APPROPRIATE.

STRUCTURAL NOTES:

- 1. RACKING SYSTEM & PV ARRAY WILL BE INSTALLED ACCORDING TO CODE-COMPLIANT INSTALLATION MANUAL. TOP CLAMPS REQUIRE A DESIGNATED SPACE BETWEEN MODULES, AND RAILS MUST ALSO EXTEND A MINIMUM DISTANCE BEYOND EITHER EDGE OF THE ARRAY / SUBARRAY, ACCORDING TO RAI MANUFACTURER'S INSTRUCTIONS.
- 2. JUNCTION BOX WILL BE INSTALLED PER MANUFACTURERS' SPECIFICATIONS. IF ROOF-PENETRATING TYPE, IT SHALL BE FLASHED & SEALED PER LOCAL REQUIREMENTS.
- 3. ROOFTOP PENETRATIONS FOR PV RACEWAY WILL BE COMPLETED AND SEALED W/ APPROVED CHEMICAL SEALANT PER CODE BY A LICENSED CONTRACTOR.
- 4. ALL PV RELATED ROOF ATTACHMENTS TO BE SPACED NO GREATER THAN THE SPAN DISTANCE SPECIFIED BY THE RACKING MANUFACTURER. 2.3.6 WHEN POSSIBLE, ALL PV RELATED RACKING ATTACHMENTS WILL BE STAGGERED AMONGST THE ROOF FRAMING MEMBERS.

WIRING & CONDUIT NOTES:

- 1. ALL CONDUIT AND WIRE WILL BE LISTED AND APPROVED FOR THEIR PURPOSE. CONDUIT AND WIRE SPECIFICATIONS ARE BASED ON MINIMUM CODE REQUIREMENTS AND ARE NOT MEANT TO LIMIT UP-SIZING.
- 2. CONDUCTORS SIZED ACCORDING TO NEC 690.8, NEC 690.7.
- 3. VOLTAGE DROP LIMITED TO 1.5%.
- 4. DC WIRING LIMITED TO MODULE FOOTPRINT. MICRO INVERTER WIRING SYSTEMS SHALL BE LOCATED AND SECURED UNDER THE ARRAY W/ SUITABLE WIRING CLIPS.
- 5. AC CONDUCTORS COLORED OR MARKED AS FOLLOWS: PHASE A OR L1- BLACK PHASE B OR L2- RED, OR OTHER CONVENTION IF THREE PHASE PHASE C OR L3- BLUE, YELLOW, ORANGE**, OR OTHER CONVENTION NEUTRAL- WHITE OR GREY IN 4-WIRE DELTA CONNECTED SYSTEMS THE PHASE WITH HIGHER VOLTAGE TO BE MARKED ORANGE [NEC 110.15].

GROUNDING NOTES:

- 1. GROUNDING SYSTEM COMPONENTS SHALL BE LISTED FOR THEIR PURPOSE, AND GROUNDING DEVICES EXPOSED TO THE ELEMENTS SHALL BE RATED FOR SUCH USE.
- 2. PV EQUIPMENT SHALL BE GROUNDED ACCORDING TO NEC 690.43 AND MINIMUM NEC TABLE 250.122.
- 3. METAL PARTS OF MODULE FRAMES, MODULE RACKING, AND ENCLOSURES CONSIDERED GROUNDED IN ACCORD WITH 250.134 AND 250.136(A).
- 4. EQUIPMENT GROUNDING CONDUCTORS SHALL BE SIZED ACCORDING TO NEC 690.45 AND MICRO INVERTER MANUFACTURERS' INSTRUCTIONS.
- 5. EACH MODULE WILL BE GROUNDED USING WEEB GROUNDING CLIPS AS SHOWN IN MANUFACTURER DOCUMENTATION AND APPROVED BY THE AHJ. IF WEEBS ARE NOT USED, MODULE GROUNDING LUGS MUST BE INSTALLED AT THE SPECIFIED GROUNDING LUG HOLES PER THE MANUFACTURERS' INSTALLATION REQUIREMENTS.
- 6. THE GROUNDING CONNECTION TO A MODULE SHALL BE ARRANGED SUCH THAT THE REMOVAL OF A MODULE DOES NOT INTERRUPT A GROUNDING CONDUCTOR TO ANOTHER MODULE.
- 7. GROUNDING AND BONDING CONDUCTORS, IF INSULATED, SHALL BE COLORED GREEN OR MARKED GREEN IF #4 AWG OR LARGER [NEC 250.119]
- 8. THE GROUNDING ELECTRODE SYSTEM COMPLIES WITH NEC 690.47 AND NEC 250.50 THROUGH 250.106. IF EXISTING SYSTEM IS INACCESSIBLE, OR INADEQUATE, A GROUNDING ELECTRODE SYSTEM PROVIDED ACCORDING TO NEC 250, NEC 690.47 AND AHJ.
- 9. GROUND-FAULT DETECTION SHALL COMPLY WITH NEC 690.41(B)(1) AND (2) TO REDUCE FIRE HAZARDS

DISCONNECTION AND OVER-CURRENT PROTECTION NOTES:

- 1. DISCONNECTING SWITCHES SHALL BE WIRED SUCH THAT WHEN THE SWITCH IS OPENED THE CONDUCTORS REMAINING ENERGIZED ARE CONNECTED TO THE TERMINALS MARKED "LINE SIDE" (TYPICALLY THE UPPER TERMINALS).
- 2. DISCONNECTS TO BE ACCESSIBLE TO QUALIFIED UTILITY PERSONNEL, BE LOCKABLE, AND BE A VISIBLE-BREAK SWITCH
- 3. PV SYSTEM CIRCUITS INSTALLED ON OR IN BUILDINGS SHALL INCLUDE A RAPID SHUTDOWN FUNCTION TO REDUCE SHOCK HAZARD FOR EMERGENCY RESPONDERS IN ACCORDANCE WITH 690.12(A) THROUGH (D).
- 4. ALL OCPD RATINGS AND TYPES SPECIFIED ACCORDING TO NEC 690.8, 690.9, AND 240.
- 5. MICRO INVERTER BRANCHES CONNECTED TO A SINGLE BREAKER OR GROUPED FUSES IN ACCORDANCE WITH NEC 110.3(B).
- 6. IF REQUIRED BY AHJ, SYSTEM WILL INCLUDE ARC-FAULT CIRCUIT PROTECTION ACCORDING TO NEC 690.11 AND UL1699B.

INTERCONNECTION NOTES:

- 1. LOAD-SIDE INTERCONNECTION SHALL BE IN ACCORDANCE WITH [NEC 705.12 (B)]
- 2. THE SUM OF THE UTILITY OCPD AND INVERTER CONTINUOUS OUTPUT MAY NOT EXCEED 120% OF BUS BAR RATING [NEC 705.12(D)(2)(3)].
- 3. THE SUM OF 125 PERCENT OF THE POWER SOURCE(S) OUTPUT CIRCUIT CURRENT AND THE RATING OF THE OVERCURRENT DEVICE PROTECTING THE BUS BAR SHALL NOT EXCEED 120 PERCENT OF THE AMPACITY OF THE BUS BAR, PV DEDICATED BACKFEED BREAKERS MUST BE LOCATED OPPOSITE END OF THE BUS FROM THE UTILITY SOURCE OCPD [NEC 705.12(B)(2)(3)].
- 4. AT MULTIPLE ELECTRIC POWER SOURCES OUTPUT COMBINER PANEL, TOTAL RATING OF ALL OVERCURRENT DEVICES SHALL NOT EXCEED AMPACITY OF BUSBAR. HOWEVER, THE COMBINED OVERCURRENT DEVICE MAY BE EXCLUDED ACCORDING TO NEC 705.12 (B)(2)(3)(C).
- 5. FEEDER TAP INTERCONNECTION (LOADSIDE) ACCORDING TO NEC 705.12 (B)(2)(1)
- 6. SUPPLY SIDE TAP INTERCONNECTION ACCORDING TO NEC 705.12 (A) WITH SERVICE ENTRANCE CONDUCTORS IN ACCORDANCE WITH NEC 230.42 2.7.8BACKFEEDING BREAKER FOR ELECTRIC POWER SOURCES OUTPUT IS EXEMPT FROM ADDITIONAL FASTENING [NEC 705.12 (B)(5)].



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REVISIONS		
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Signature with Seal

Project Name & Address

DAVE VANDENEINDE RESIDENCE

840 WILD OAK TRAIL,
MAPLE PLAIN, MN 55359

Sheet Name

NOTES

Sheet Size

ANSI B
11" X 17"

Sheet Number

E 1.2



⚠

WARNING

ELECTRICAL SHOCK HAZARD

TERMINALS ON BOTH LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION

LABEL LOCATION:
WHERE ALL TERMINALS OF THE DISCONNECTING MEANS MAY BE ENERGIZED IN THE OPEN POSITION, A WARNING SIGN SHALL BE MOUNTED ON OR ADJACENT TO THE DISCONNECTING MEANS.
PER CODE(S): NEC 2020:
NEC 706.15(C)(4) and NEC 690.13(B)

⚠

WARNING

THIS EQUIPMENT FED BY MULTIPLE SOURCES, TOTAL RATING OF ALL OVERCURRENT DEVICES, EXCLUDING MAIN SUPPLY OVERCURRENT DEVICE, SHALL NOT EXCEED AMPACITY OF BUSBAR.

LABEL LOCATION:
PERMANENT WARNING LABELS SHALL BE APPLIED TO DISTRIBUTION EQUIPMENT, AC DISCONNECT
NEC: 2020, PER CODE: 705.12(B)(3)(3)

INVERTER #1 (SOLAR EDGE SE7600H-US [240V])

PHOTOVOLTAIC DC DISCONNECT

MAXIMUM SYSTEM VOLTAGE:

480

VDC

MAXIMUM CIRCUIT CURRENT:

20

ADC

MAX RATED OUTPUT CURRENT OF THE CHARGE CONTROLLER OR DC-TO-DC CONVERTER (IF INSTALLED):

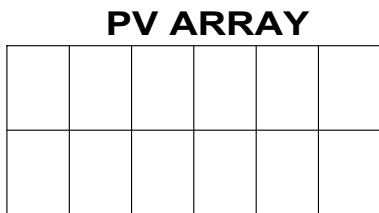
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ADC

LABEL LOCATION:
INVERTER(S), DC DISCONNECT(S).
PER CODE(S): NEC 2020,
PER CODE: 690.53

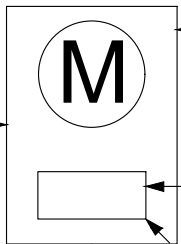
PHOTOVOLTAIC SYSTEM
EQUIPPED WITH
RAPID SHUTDOWN

LABEL LOCATION:
UTILITY SERVICE ENTRANCE/METER, INVERTER/DC DISCONNECT IF REQUIRED BY LOCAL AHJ, OR OTHER LOCATIONS AS REQUIRED BY LOCAL AHJ.
PER CODE(S): NEC 2020: ARTICLE 690.56(C)



WARNING: PHOTOVOLTAIC
POWER SOURCE

LABEL LOCATION :
EXPOSED RACEWAY, CABLE TRAYS, JUNCTION BOX
NEC: 2020, PER CODE: NEC 690.31(D)(2)



⚠

WARNING

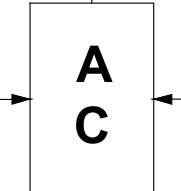
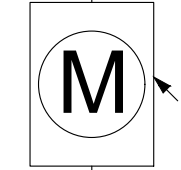
POWER SOURCE OUTPUT CONNECTION. DO NOT RELOCATE THIS OVERCURRENT DEVICE.

LABEL LOCATION:
MAIN SERVICE DISCONNECT
NEC: 2020, 705.12(B)(3)(2)

MAIN PHOTOVOLTAIC
SYSTEM DISCONNECT

LABEL LOCATION: MAIN SERVICE DISCONNECT, NEC 2020, 690.13(B)

PHOTOVOLTAIC
SYSTEM METER



PHOTOVOLTAIC
AC DISCONNECT

LABEL LOCATION:
AC DISCONNECT, NEC: 2020, (NEC 690.13(B)

SOLAR PV SYSTEM
EQUIPPED WITH RAPID
SHUTDOWN

TURN RAPID SHUTDOWN SWITCH TO THE "OFF" POSITION TO SHUTDOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY

SOLAR
ELECTRIC
PV PANELS

AT INVERTER [IFC 605.11.3.1(1) & 690.56(C)]
PER CODE: NEC 2020

PHOTOVOLTAIC
DC DISCONNECT

LABEL LOCATION:
DC DISCONNECT
(NEC 690.13(B)

SOLAR PHOTOVOLTAIC
SYSTEMS

(PER CODE: NEC 690)

SOLAR PHOTOVOLTAIC
SYSTEMS

(PER CODE: NEC 690)

⚠

WARNING

DUAL POWER SOURCE
SECOND SOURCE IS PHOTOVOLTAIC SYSTEM

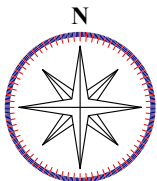
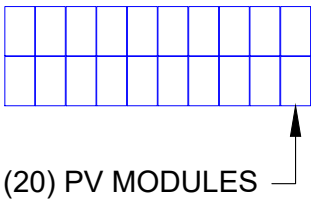
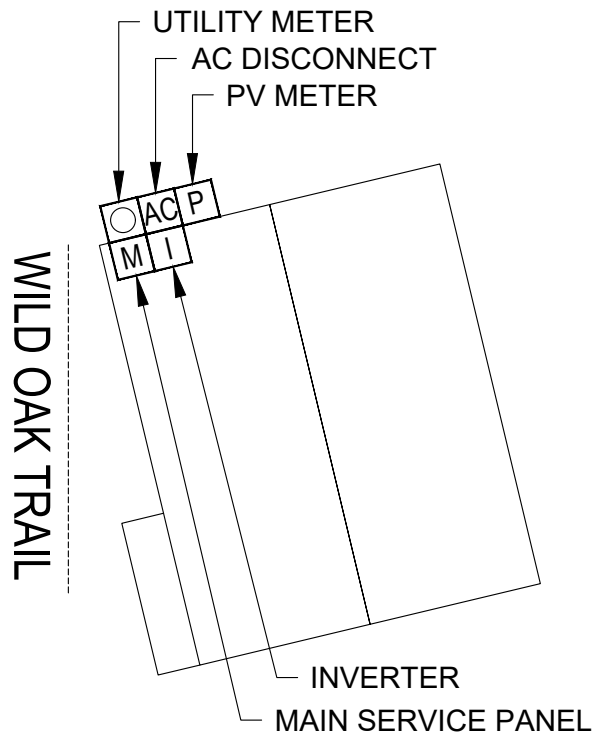
LABEL LOCATION:
PRODUCTION / NET METER (BI-DIRECTIONAL)
NEC: 2020
NEC 690.59, 705.12(D)(3)

UTILITY FUSED AC DISCONNECT
PHOTOVOLTAIC SYSTEM AC DISCONNECT
RATED AC OPERATING CURRENT 32 AMPS
AC NOMINAL OPERATING VOLTAGE 240 VOLTS

LABEL LOCATION:
AC DISCONNECT, POINT OF INTERCONNECTION
NEC: 2020
(PER CODE: NEC 690.54)

CAUTION:

POWER TO THIS BUILDING IS ALSO SUPPLIED FROM THE FOLLOWING SOURCES WITH DISCONNECTS LOCATED AS SHOWN



2349 WILLIS MILLER DR
HUDSON , WISCONSIN,
54016
(612) 382-7996
LICENCE NO # EA775799

REVISIONS		
Description	Date	Rev

Signature with Seal

Project Name & Address

DAVE VANDENEINDE RESIDENCE

840 WILD OAK TRAIL,
MAPLE PLAIN, MN 55359

Sheet Name

WARNING LABELS

Sheet Size

ANSI B
11" X 17"

Sheet Number

E 1.3





144HC M6 Bifacial Module

144 Half-Cut Monocrystalline 440W – 460W

20.8%

Utilizes the latest M6 size super high efficiency Monocrystalline PERC cells. Half cut design further reduces cell to module (CTM) losses.

Stability & Looks

Rugged, double webbed frame design withstands wind, snow, and other mechanical stresses. Framed Glass-Backsheet aesthetic is ideal for high visibility installation.

Anti-Reflective

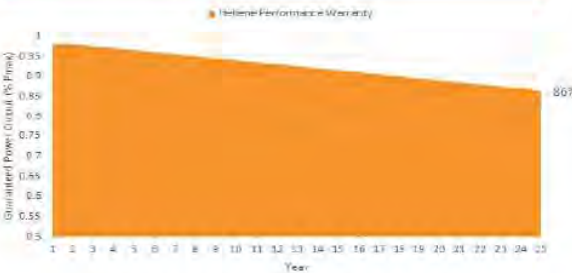
Premium solar glass with anti reflective coating delivers more energy throughout the day

High Reliability

Proven resistance to PID and reliable in high temperature and humidity environments.

No Compromise Guarantee

15 Year Workmanship Warranty
25 Year Linear Performance Guarantee



Manufactured Using International Quality System Standards: ISO9001

Half-Cut Design with Split Junction Box Technology

Bifacial Technology Enabling Additional Energy Harvest from Rear Side

1500V System Voltage Rating

World-class Quality

- Heliene's fully automated manufacturing facilities with state-of-the-art robotics and computer aided inspection systems ensure the highest level of product quality and consistency
- All manufacturing locations are compliant with international quality standards and are ISO 9001 certified
- Heliene modules have received Top Performer rankings in several categories from PV Evolution Labs (PV EL) independent quality evaluations

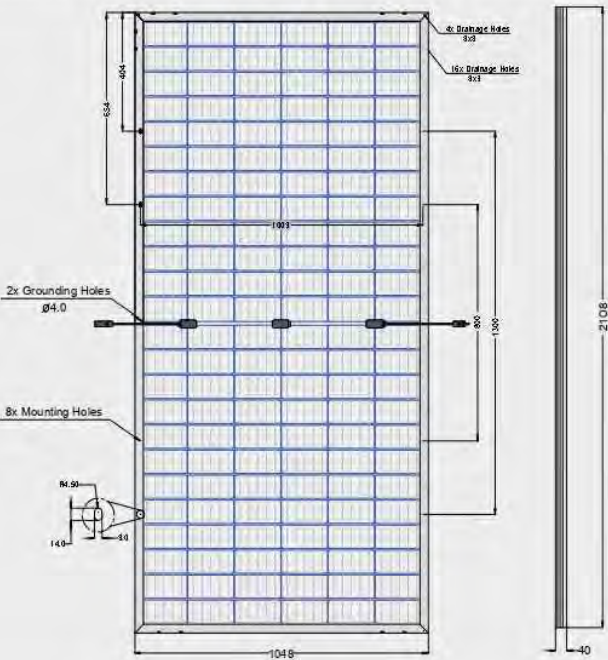
Bankable Reputation

- Established in 2010, Heliene is recognized by Bloomberg New Energy Finance (BNEF) as Tier 1 manufacturer of solar modules and has been approved for use by the U.S. Department of Defense, U.S. Army Corps of Engineers and from numerous top tier utility scale project debt providers
- By investing heavily in research and development, Heliene has been able to stay on the cutting edge of advances in module technology and manufacturing efficiency

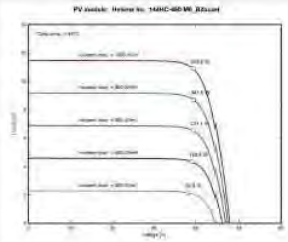
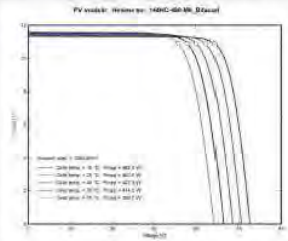
Local Sales, Service, and Support

- With sales offices across the U.S. and Canada, Heliene prides itself on unsurpassed customer support for our clients. Heliene has become the brand of choice for many of the leading residential installers, developers and Independent Power Producers due to our innovative technology, product customization capability and just in time last-mile logistics support
- Local sales and customer support means answered phone calls and immediate answers to your technical and logistics questions. We understand your project schedules often change with little warning and endeavor to work with you to solve your project management challenges

Dimensions for 144HC M6 Bifacial Series Modules



I-V Curves for 144HC M6 Bifacial Series Modules



Certifications



Electrical Data (STC)

Peak Rated Power	P_{mpp} (W)	460	450	440
Maximum Power Voltage	V_{mpp} (V)	42.58	42.16	41.74
Maximum Power Current	I_{mpp} (A)	10.80	10.68	10.58
Open Circuit Voltage	V_{oc} (V)	50.53	50.03	49.04
Short Circuit Current	I_{sc} (A)	11.40	11.29	11.21
Module Efficiency *	Eff (%)	20.8	20.4	19.9
Maximum Series Fuse Rating	MF (A)	20	20	20
Power Output Tolerance		[- 3/+3%]		

Bifaciality Factor

70%

STC - Standard Test Conditions: Irradiation 1000 W/m² - Air mass AM 1.5 - Cell temperature 25 °C

Mechanical Data

Solar Cells	144 Half-Cut, M6, 166mm, PERC Cells
Module Construction	Framed Glass-Backsheet
Dimensions (L x W x D)	2108 x 1048 x 40 mm (82.99 x 41.25 x 1.6 inch)
Weight	25 kg (55.12 lbs)
Frame	Double Webbed 15-Micron Anodized Aluminum Alloy
Glass	3.2mm Low-Iron Content, High-Transmission, PV Solar Glass with Anti Reflective Coating
Junction Box	IP-68 rated with 3 bypass diodes
Output Cables	0.3-meter Symmetrical Cables
Connectors	MC4 Compatible

Certifications

UL Certification

UL61215, UL61730

Temperature Ratings

Nominal Operating Cell Temperature (NOCT)	+45°C (±2°C)
Temperature Coefficient of P_{max}	-0.39%/°C
Temperature Coefficient of V_{oc}	-0.30%/°C
Temperature Coefficient of I_{sc}	0.037%/°C

Packaging Configuration

Modules per box:	27 pieces
Modules per 53' trailer:	702 pieces

Maximum Ratings

Operational Temperature	-40°C to +85°C
Max System Voltage	1500V

Warranty

15Year Manufacturer's Workmanship Warranty
25 Year Linear Power Guarantee



HSPE-144HC-M6-Bifacial-Rev.02.pdf

The specifications and key features contained in this datasheet may deviate slightly from our actual products due to the ongoing innovation and product enhancements. Heliene Inc. reserves the right to make necessary adjustment to the information described herein at any time without prior notice. PV modules should be handled and installed only by qualified people. Please carefully read safety and installation instructions available for download from Heliene website before using Heliene PV modules. For warranty details, please refer to Product Warranty Document, also available for download from Heliene website.

Single Phase Inverter with HD-Wave Technology

for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US /
SE7600H-US / SE10000H-US / SE11400H-US



INVERTERS

Optimized installation with HD-Wave technology

- Specifically designed to work with power optimizers
- Record-breaking efficiency
- Fixed voltage inverter for longer strings
- Integrated arc fault protection and rapid shutdown for NEC 2014 and 2017, per article 690.11 and 690.12
- UL1741 SA certified, for CPUC Rule 21 grid compliance
- Extremely small
- Built-in module-level monitoring
- Outdoor and indoor installation
- Optional: Revenue grade data, ANSI C12.20 Class 0.5 (0.5% accuracy)

solaredge.com

solaredge

Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US/
SE7600H-US / SE10000H-US / SE11400H-US

SE3000H-USSE3800H-USSE5000H-USSE6000H-USSE7600H-USSE10000H-USSE11400H-US								
OUTPUT								
Rated AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
Maximum AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
AC Output Voltage Min.-Nom.-Max. (211 - 240 - 264)	✓	✓	✓	✓	✓	✓	✓	Vac
AC Output Voltage Min.-Nom.-Max. (183 - 208 - 229)	-	✓	-	✓	-	-	✓	Vac
AC Frequency (Nominal)	59.3 - 60 - 60.5 ⁽¹⁾							Hz
Maximum Continuous Output Current @240V	12.5	16	21	25	32	42	47.5	A
Maximum Continuous Output Current @208V	-	16	-	24	-	-	48.5	A
GFDI Threshold	1							A
Utility Monitoring, Islanding Protection, Country Configurable Thresholds	Yes							
INPUT								
Maximum DC Power @240V	4650	5900	7750	9300	11800	15500	17650	W
Maximum DC Power @208V	-	5100	-	7750	-	-	15500	W
Transformer-less, Ungrounded	Yes							
Maximum Input Voltage	480							Vdc
Nominal DC Input Voltage	380				400			Vdc
Maximum Input Current @240V ⁽²⁾	8.5	10.5	13.5	16.5	20	27	30.5	Adc
Maximum Input Current @208V ⁽²⁾	-	9	-	13.5	-	-	27	Adc
Max. Input Short Circuit Current	45							Adc
Reverse-Polarity Protection	Yes							
Ground-Fault Isolation Detection	600k Ω Sensitivity							
Maximum Inverter Efficiency	99	99.2						%
CEC Weighted Efficiency	99						99 @ 240V 98.5 @ 208V	%
Nighttime Power Consumption	< 2.5							W
ADDITIONAL FEATURES								
Supported Communication Interfaces	RS485, Ethernet, ZigBee (optional), Cellular (optional)							
Revenue Grade Data, ANSI C12.20	Optional ⁽³⁾							
Rapid Shutdown - NEC 2014 and 2017 690.12	Automatic Rapid Shutdown upon AC Grid Disconnect							
STANDARD COMPLIANCE								
Safety	UL1741, UL1741 SA, UL1699B, CSA C22.2, Canadian AFCEI according to T.I.L. M-07							
Grid Connection Standards	IEEE1547, Rule 21, Rule 14 (HI)							
Emissions	FCC Part 15 Class B							
INSTALLATION SPECIFICATIONS								
AC Output Conduit Size / AWG Range	1" Maximum / 14-6 AWG					1" Maximum /14-4 AWG		
DC Input Conduit Size / # of Strings / AWG Range	1" Maximum / 1-2 strings / 14-6 AWG					1" Maximum / 1-3 strings / 14-6 AWG		
Dimensions with Safety Switch (HxWxD)	17.7 x 14.6 x 6.8 / 450 x 370 x 174					21.3 x 14.6 x 7.3 / 540 x 370 x 185		in / mm
Weight with Safety Switch	22 / 10		25.1 / 11.4		26.2 / 11.9		38.8 / 17.6	lb / kg
Noise	< 25				< 50			dBA
Cooling	Natural Convection							
Operating Temperature Range	-13 to +140 / -25 to +60 ⁽⁴⁾ (-40°F / -40°C option) ⁽⁵⁾							°F / °C
Protection Rating	NEMA 4X (Inverter with Safety Switch)							

⁽¹⁾ For other regional settings please contact SolarEdge support.

⁽²⁾ A higher current source may be used; the inverter will limit its input current to the values stated.

⁽³⁾ Revenue grade inverter P/N: SExxxH-US000NNC2

⁽⁴⁾ For power de-rating information refer to: <https://www.solaredge.com/sites/default/files/se-temperature-derating-note-na.pdf>

⁽⁵⁾ -40 version P/N: SExxxH-US000NNU4

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RoHS



SKY RACK 2.0 GROUND MOUNT (POST DRIVEN & BALLASTED)

Introducing the Sky-Rack 2.0 Ground Mount System. Our upgraded design increases the overall structural integrity of the assembly and provides more efficient installation techniques for rapid installation; while offering fixed or season adjustable options.

**Fixed Tilt System
5-45 Degrees**



**Season Adjustable
Manual: 15-60 Degrees**



**Season Adjustable
Motorized: 15-60 Degrees**



SKY-RACK 2.0 GROUND MOUNT FIXED TILT

WHY CHOOSE SDE?

No Middle-Man Distributors
No Commission Based Sales Representatives. You will work directly with our manufacturing plant; saving you time and money.

Our NABCEP certified designers and engineers can support you through every phase of your project. We offer the following support for free:

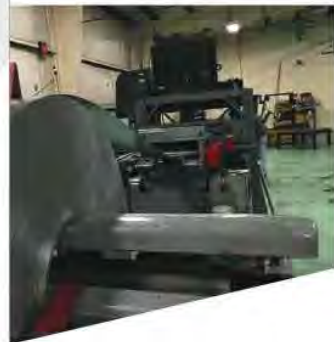
- Preliminary PV Designs & Proposals
- 3D Site Modeling & Production Reports
- Formal Structural Calculations for Permits
- Project BOM & Deployment Schedules





PRODUCT AVAILABILITY

All racking systems are manufactured "in-house" from prime 11 gage grade 50 USA Steel. This allows us to control 100% of the production schedule and deploy your system ahead of the installation date. We inventory 1-2 Megawatts of racking product to maintain an average lead-time of 7-10 days.



Only 4x Main Components Required

******NEW Z-PURLIN-210 (Slots available for direct to module)***

******NEW 4x9 C-CHANNEL POST (8-18 Feet Available)***

******NEW SLR-TRUSS-105***

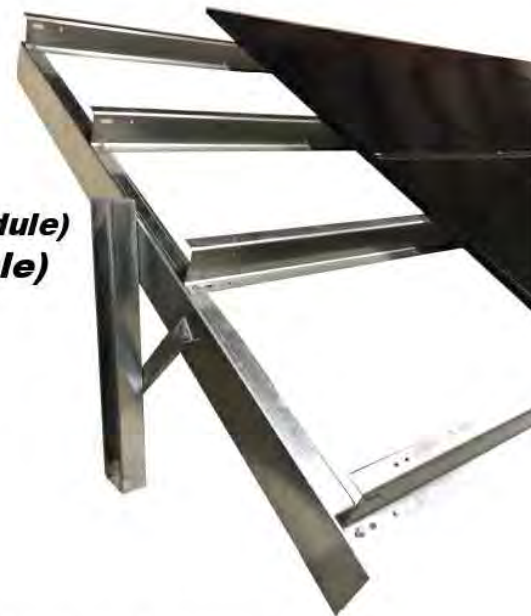
******NEW SLR-STRUT-50***

Minimal Hardware Required

2x 5/8-11 Serrated Flanged Bolts/Nuts

6x 1/2-13 Serrated Flanged Bolts/Nuts

Custom Extrusion Panel Clamp Kits



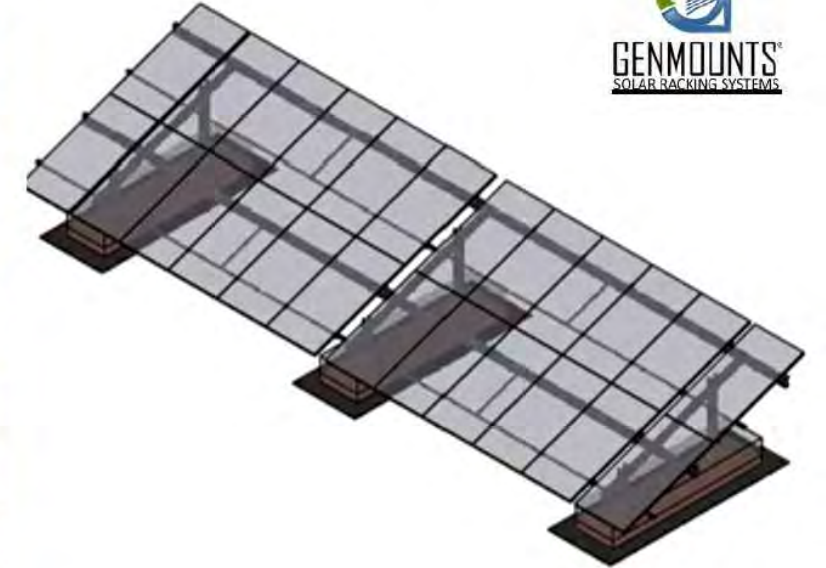
Note: Higher wind load/snow load options are available.

Formal site specific structural calculations available upon request.

APPLICATION	OPEN FIELD		
Tilt Angle	5-45 Degrees	Terrain	5 Degree E/W
Module Orientation	2 High Portrait	Wire Management	Included
Wind Load	115 MPH	Warranty	25 Years
Snow Load	60 PSF	Material	11GA G90 CHEM TREAT Steel
Ground Clearance	24in Standard (Customer Req)	Manufacturing	Made in Michigan, USA

SINGLE & DOUBLE PORTRAIT BALLASTED OPTIONS

Introducing the Vector 1.0 and Sky-Rack 2.0 Ballasted Ground Mount Systems. Our upgraded design increases the overall structural integrity of the assembly and provides more efficient installation techniques for rapid installation; while offering fixed or season adjustable options.



PRODUCT FEATURES

MODULAR WITH QUICK ASSEMBLY

STARTING SECTION ASSEMBLY INCLUDES 2 PRE-CAST BALLASTED POSTS, 2 N/S MEMBERS, 2 RAILS

ADD-ON SECTION ASSEMBLY INCLUDES: 1 PRE-CAST BALLASTED POST, 1 N/S MEMBER, 2 RAILS

MOUNTING STRUCTURE IS 100% HOT-DIPPED GALVANIZED METAL

IDEAL FOR LARGE COMMERCIAL & UTILITY-SCALE INSTALLATIONS

RUGGED, WEATHER RESISTANT DESIGN

10-YEAR GUARANTEE AGAINST MECHANICAL FAILURE (BREAKAGE) OF FRAME CONSTRUCTION

NO GROUND PENETRATION

WE ALSO OFFER THE FOLLOWING:

BALLASTED COMMERCIAL
ROOF MOUNTS



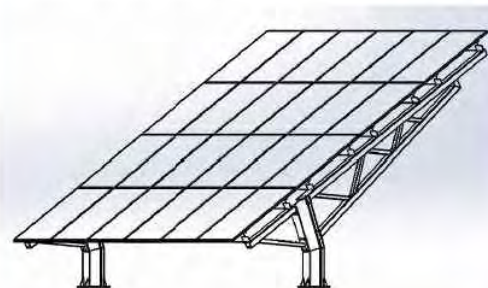
12 - 24 PANEL POLE MOUNTS
SEASON ADJUST & DUAL AXIS
TRACKING



Y-L-T SOLAR CARPORT SYSTEMS



4x HIGH PORTRAIT GROUND MOUNTS



CONTACT US



COMPANY OVERVIEW

SDE is a family-owned business established in 2007. Headquartered in Albion Michigan, we have grown to become an international manufacturer of Solar and SATCOM products. We currently employ between 25-30 personnel to support Engineering, Manufacturing, Installation, and Project Management. We are committed to customer satisfaction through continuous improvement.

VISION

Our vision is to become a "one-stop-shop" for your solar project requirements. From preliminary designs to full installation support, we will be there for you!

Contact us today to get your project started.

1104 Industrial Avenue
Albion Michigan
49224


phone +1 877 517 0311
email: kyle@sinclair-designs.net
www.sinclair-designs.com

This authorizes the application of the Certification Mark(s) shown below to the models described in the Product(s) Covered section when made in accordance with the conditions set forth in the Certification Agreement and Listing Report. This authorization also applies to multiple listee model(s) identified on the correlation page of the Listing Report.

This document is the property of Intertek Testing Services and is not transferable. The certification mark(s) may be applied only at the location of the Party Authorized To Apply Mark.

Applicant: SolarEdge Technologies Ltd	Manufacturer: Jabil Circuit (Guangzhou) LTD
Address: 1 HaMada Street Herzeliya 4673335	Address: DEV EAST DISTRICT 128 JUN CHENG RD GUANGZHOU, GUANGDONG 510530
Country: Israel	Country: China
Contact: Mr. Oren Bachar or Mr. Meir Adest	Contact: Elaine Ouyang
Phone: +972 9 957 6620 #293 or +972 9 957 6620 #131	Phone: 020-2805-4025/ 135-7023-5852
FAX: 972 9 957 6591	FAX: N/A
Email: OREB.B@SOLAREEDGE.COM MEIR.A@SOLAREEDGE.COM	Email: Elaine.ouyang@jabil.com

Party Authorized To Apply Mark: Same as Manufacturer
Report Issuing Office: Cortland NY 13045

Control Number: 4004590 **Authorized by:** 
Ulla-Pia Johansson-Nilsson
for Dean Davidson, Certification Manager



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Intertek Testing Services NA Inc.
545 East Algonquin Road, Arlington Heights, IL 60005
Telephone 800-345-3851 or 847-439-5667 Fax 312-283-1672

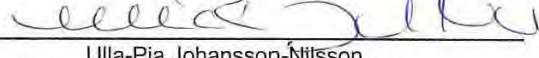
Standard(s):	Inverters, Converters, Controllers And Interconnection System Equipment For Use With Distributed Energy Resources [UL 1741:2010 Ed.2(Supplement SA)+R:07Sep2016] Power Conversion Equipment [CSA C22.2#107.1:2016 Ed.4]. UL SUBJECT 1699B Issued: 2013/01/14 Ed: 2 Outline of Investigation for Photovoltaic (PV) DC ARC-Fault Circuit Protection
Product:	Grid support Utility Interactive Inverter - Non Isolated Photovoltaic Inverter with MPPT function and Rapid
Brand Name:	SolarEdge
Models:	SE3000H-US, SE3800H-US, SE5000H-US, SE6000H-US, SE7600H-US, SE10000H-US and SE11400H-US

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Applicant: SolarEdge Technologies Ltd	Manufacturer: Celestica Romania
Address: 1 HaMada Street Herzeliya 4673335	Address: 88 Soseaua Borsului, Bors, Bihor county, 417075
Country: Israel	Country: Romania
Contact: Mr. Oren Bachar or Mr. Meir Adest	Contact: Renata Bodan
Phone: +972 9 957 6620 #293 or +972 9 957 6620 #131	Phone: +40-359-403-661
FAX: 972 9 957 6591	FAX: +40-722-964-215
Email: OREB.B@SOLAREEDGE.COM MEIR.A@SOLAREEDGE.COM	Email: rbodan@celestica.com

Party Authorized To Apply Mark: Same as Manufacturer
Report Issuing Office: Cortland NY 13045

Control Number: 4004590 **Authorized by:** 
Ulla-Pia Johansson-Nilsson
for Dean Davidson, Certification Manager



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Intertek Testing Services NA Inc.
545 East Algonquin Road, Arlington Heights, IL 60005
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Product:	Grid support Utility Interactive Inverter - Non Isolated Photovoltaic Inverter with MPPT function and Rapid
Brand Name:	SolarEdge
Models:	SE3000H-US, SE3800H-US, SE5000H-US, SE6000H-US, SE7600H-US, SE10000H-US and SE11400H-US

City of Independence

Request for a Minor Subdivision to Permit a Lot Line Rearrangement for the Properties Located at and Adjacent to 8910 Highway 12

To: City Council
From: Mark Kaltsas, City Planner
Meeting Date: September 6, 2022
Applicant/Owner: John Peterson/ Jean P & A Sterner Etal
Location: 8910 Highway 12

Request:

John Peterson (Applicant) and Jean P & A Sterner Etal (Owner) requests that the City consider the following action for the properties generally located at 8910 US Hwy 12, Independence, MN (PID No's. 07-118-24-41-0003 and 07-118-24-42-0004):

- a. A minor subdivision to allow a lot line rearrangement which would adjust the line that separates the two properties and cleans up a property line discrepancy along the north property line.

Property/Site Information:

The subject property is located just west of Lake Haughey Road and North of Hwy 12. There are two principal structures located on the 8910 property along with several detached accessory structures. There are no structures on the westerly parcel (07-118-24-42-0004). The property has the following site characteristics:

Property Information: 8910 Highway 12

Zoning: *Agriculture*

Comprehensive Plan: *Agriculture*

Acreage (Before Parcel A - north): 38.70

Acreage (Before Parcel A - south): 18.00

Acreage (Before Parcel B - north): 42.95

Acreage (Before Parcel B - south): 14.39

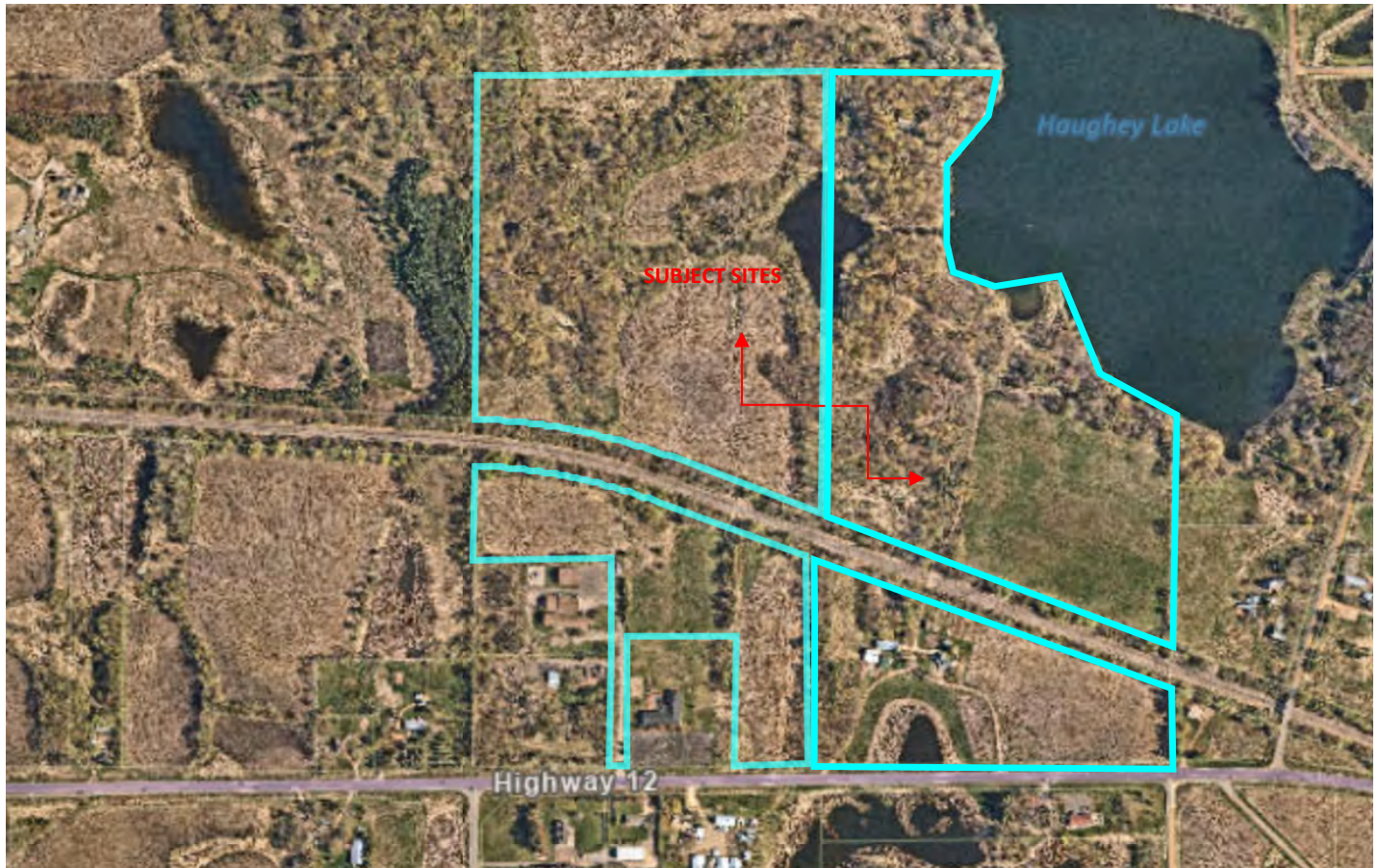
Acreage (After Parcel A - north): 41.60

Acreage (After Parcel A - south): 18.00

Acreage (Before Parcel A - north): 40.19

Acreage (Before Parcel B - south): 14.39

Aerial of Subject Properties



Discussion:

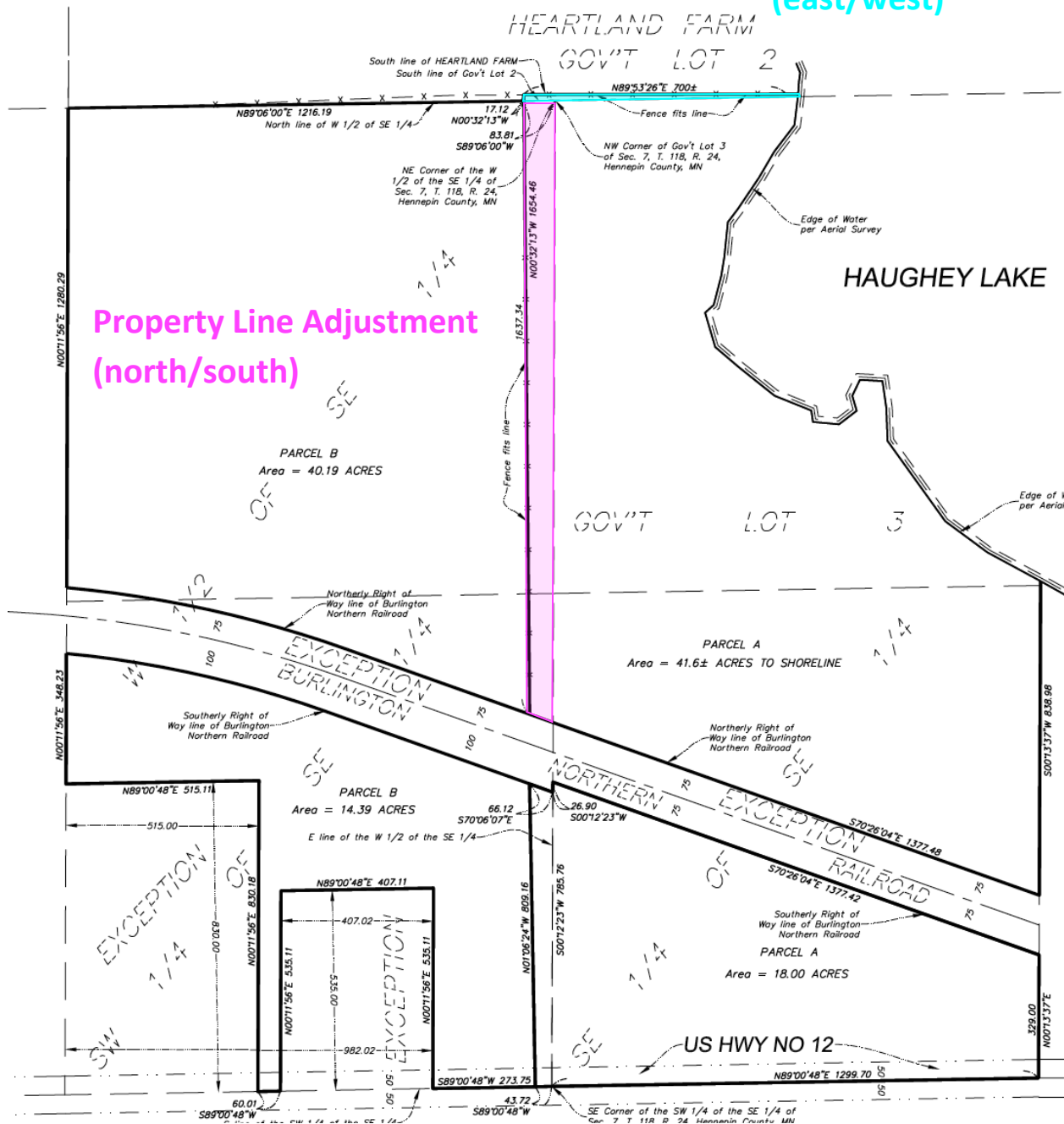
The applicant is seeking a minor subdivision to adjust several lot lines and correct a property line discrepancy. The proposed lot line rearrangement would adjust the north/south property line that runs between the two subject properties. The line would move to the west north of the railroad tracks so that it aligns with the north/south line that runs south of the railroad tracks. In addition to this realignment, the applicant has noted that there is a piece of property to the north of the subject Parcel A that should be incorporated into the property. This can be seen on Hennepin County GIS. The applicant is proposing to adjust the north property line so that it incorporates the property that has historically been included within the fenced portion of the subject property.

The proposed lot line adjustments will add approximately 3 acres to the easterly property (Parcel A) and reduce the westerly property by the same. Both properties are under the control of the applicant's family members and there is agreement relating to the proposed adjustment with the adjacent property owner to the north.

The Bearings shown on the drawing are based upon the Hennepin County Coordinate System and differ from the legal description. The angles formed by the bearings are the same.

AFTER

**Property Line Adjustment
(east/west)**



Planning Commission Discussion and Recommendation:

Planning Commissioners reviewed the request and asked questions of staff and the applicant. There was some discussion relating to the “unclaimed” property along the north line. It was

noted that there is still a small triangular piece that will remain as unclaimed in the after condition as a result of the property owners not wanting to incur the costs and time of pursuing acquisition of the property. Commissioners found the request for the lot line rearrangement met the applicable criteria and recommended approval to the City Council.

Summary:

The proposed lot line rearrangement is generally in keeping with the City's zoning and subdivision regulations. The City reviewed the proposed subdivision and did not find any potential issues relating to the requested minor subdivision. No new lots are being created and both lots are conforming in both the before and after conditions. The City is not requesting any additional drainage and utility easements due to the minimal change and overall size of the subject parcels. The proposed minor subdivision appears to meet all of the applicable standards of the City's zoning and subdivision ordinance.

Neighbor Comments:

The City has not received any written comments regarding the proposed minor subdivision.

Recommendation:

The Planning Commission recommended approval of the requested minor subdivision with the following findings:

1. The proposed minor subdivision for a lot line rearrangement meets all applicable criteria and conditions stated in Chapter V, Section 500, Planning and Land Use Regulations of the City of Independence Zoning Ordinance.
2. The Applicant shall pay for all costs associated with the City's review of the requested minor subdivision.
3. The Applicant shall record the subdivision and City Council Resolution with the county within six (6) months of approval.

Attachments:

1. Application
2. Before and After Subdivision Survey



RESOLUTION OF THE
CITY OF INDEPENDENCE
HENNEPIN COUNTY, MINNESOTA

RESOLUTION NO. 22-0906-02

**A RESOLUTION GRANTING APPROVAL OF A MINOR SUBDIVISION TO ALLOW
A LOT LINE REARRANGEMENT BETWEEN THE PROPERTIES GENERALLY
LOCATED AT AND ADJACENT TO 8910 HIGHWAY 12**

WHEREAS, the City of Independence (the “City”) is a municipal corporation under the laws of Minnesota; and

WHEREAS, the City adopted a comprehensive plan in 2010 to guide the development of the community; and

WHEREAS, the City has adopted a zoning ordinance and other official controls to assist in implementing the comprehensive plan; and

WHEREAS, John Peterson (the “Applicant”) submitted a request for minor subdivision to allow a lot line rearrangement between the properties located at and adjacent to 8910 Highway 12 (PID No’s. 07-118-24-41-0003 and 07-118-24-42-0004): (the “Property”); and

WHEREAS, the Properties are zoned Agriculture; and

WHEREAS, the Properties are legally described on **Exhibit A** attached hereto; and

WHEREAS the requested minor subdivision meets all requirements, standards and specifications of the City of Independence zoning ordinance for Agriculture lots; and

WHEREAS the Planning Commission held a public hearing on August 16, 2022 to review the application for a minor subdivision, following mailed and published noticed as required by law; and

WHEREAS, the City Council has reviewed all materials submitted by the Applicant; considered the oral and written testimony offered by the applicant and all interested parties; and has now concluded that the application is in compliance with all applicable standards and can be considered for approval.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF INDEPENDENCE, MINNESOTA, that it should and hereby does approve the application by John Peterson and grants approval of a minor subdivision to allow a lot line rearrangement for

the subject properties in accordance with the City's zoning regulations with the following findings and conditions:

1. The proposed minor subdivision and rezoning of that portion to be added to 4390 Woodhill Dr. request meets all applicable conditions and restrictions stated in Chapter V, Section 500, Subdivisions and Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. The applicant shall pay for all costs associated with the City's review and recording of the requested minor subdivision.
3. The Applicant shall record the subdivision and City Council Resolution with the county within six (6) months of approval.

This resolution was adopted by the City Council of the City of Independence on this 6th day of September 2022, by a vote of ____ ayes and ____ nays.

Marvin Johnson, Mayor

ATTEST:

Mark Kaltsas, City Administrator

EXHIBIT A
(Legal Description)

PROPERTY DESCRIPTIONS

Parcel A:

The Southeast Quarter of the Southeast Quarter, except R.R. Land, and, Government Lot 3, all in Section 7, Township 118, Range 24, Hennepin County, Minnesota.

AND

That part of the Southwest Quarter of the Southeast Quarter of Section 7, Township 118, Range 24, Hennepin County, Minnesota, described as follows:

Beginning at the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence on an assumed bearing of South 89 degrees 55 minutes 36 seconds West, along the South line of said Southwest Quarter of the Southeast Quarter, a distance of 43.72 feet; thence North 00 degrees 11 minutes 36 seconds West, a distance of 809.16 feet to the Southerly right of way line of Burlington Northern Railroad; thence South 69 degrees 11 minutes 19 seconds East, along said Southerly right of way line, a distance of 66.12 feet to the East line of said Southwest Quarter of the Southeast Quarter; thence South 01 degrees 07 minutes 11 seconds West, along said East line, a distance of 785.76 feet to the point of beginning.

Parcel B:

That part of the West Half of the Southeast Quarter of Section 7, Township 118, Range 24, Hennepin County, Minnesota, lying Northerly of the railroad right of way.

AND

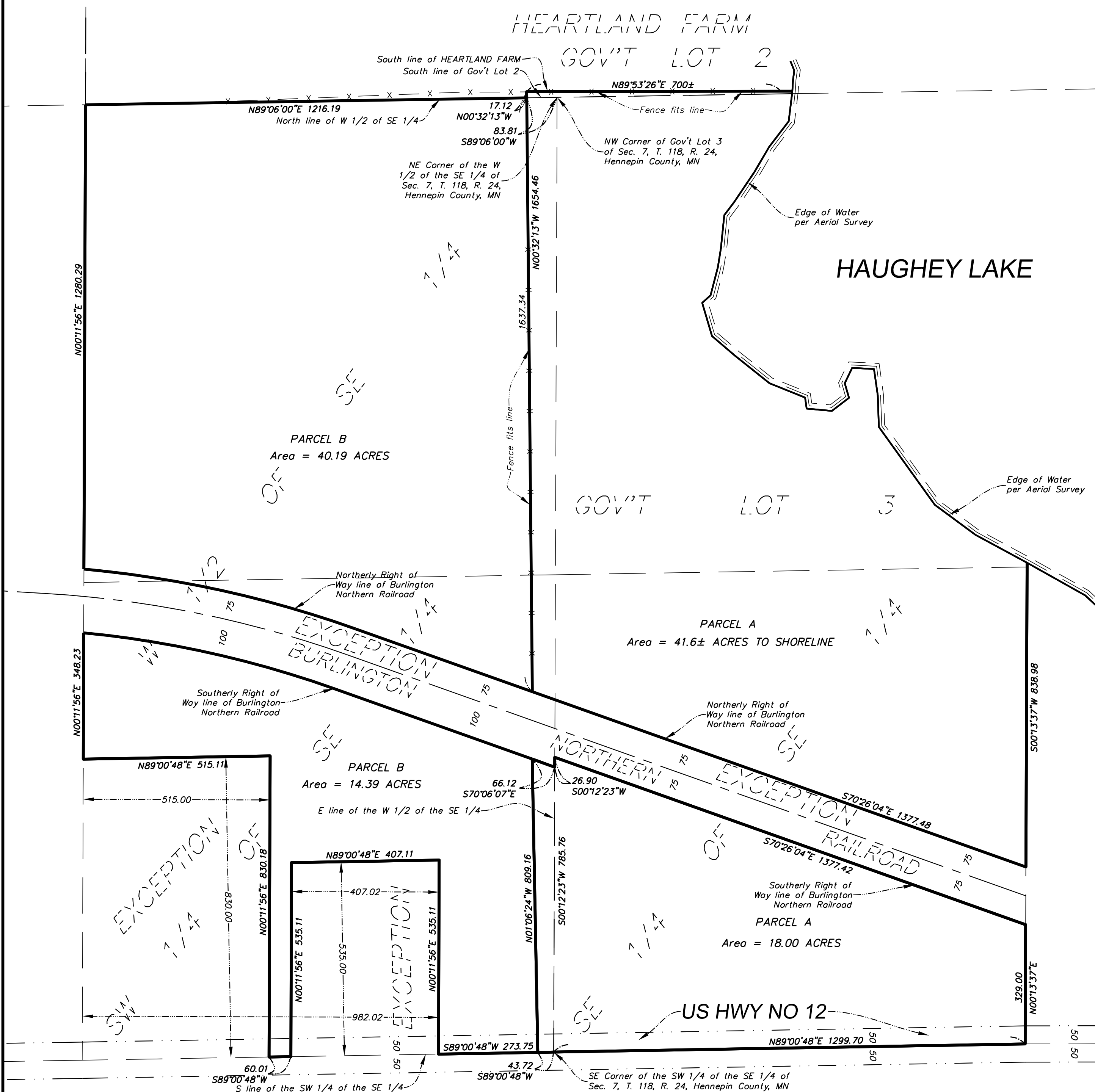
That part of the West Half of the Southeast Quarter of said Section 7, lying Southerly of the railroad right of way and Westerly of a line running from a point on the South line of said West Half of the Southeast Quarter, a distance of 43.72 feet West from the Southeast corner thereof to a point on the Southerly line of the railroad right of way, a distance of 66.12 feet Westerly, as measured along said Southerly line from the East line of the West Half of the Southeast Quarter; except the South 830 feet of the West 515.00 feet of the West Half of the Section Quarter and except the East 407.02 feet of the West 982.02 feet of the South 535.00 feet of the West Half of the Southeast Quarter.

The Bearings shown on the drawing are based upon the Hennepin County Coordinate System and differ from the legal description. The angles formed by the bearings are the same.

Certificate of Description

*based
system
the angles*

AFTER



Parcel A:

The Southeast Quarter of the Southeast Quarter, except R.R. Land, and, Government Lot 3, all in Section 7, Township 118, Range 24, Hennepin County, Minnesota.

AND

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AND

That part of the West Half of the Southeast Quarter of Section 7, Township 118, Range 24, Hennepin County, Minnesota, that lies North of the Northerly right of way line of the Burlington Northern Railroad and East of the following described line:

Commencing at the Northeast corner of said West Half of the Southeast Quarter; thence on an assumed bearing of South 89 degrees 06 minutes 00 seconds West, along the North line of said West Half of the Southeast Quarter, a distance of 83.81 feet to the point of beginning of said line; thence South 00 degrees 32 minutes 13 seconds East, a distance of 1637.34 feet to said Northerly right of way line of the Burlington Northern Railroad and said line there terminating.

AND

That part of Government Lot 2 of Section 7, Township 118, Range 24, Hennepin County, Minnesota, described as follows:

Beginning at the Northwest corner of Government Lot 3 of said Section 7; thence on an assumed bearing of South 89 degrees 06 minutes 00 seconds West, along the South line of said Government Lot 2, a distance of 83.81 feet; thence North 00 degrees 32 minutes 13 seconds West, a distance of 17.12 feet to the South line of the recorded plat of HEARTLAND FARM; thence Easterly along said South line to the shoreline of Haughey Lake; thence Southerly along said shoreline to the South line of said Government Lot 2; thence Westerly along said South line to the point of beginning.

Parcel B:

That part of the West Half of the Southeast Quarter of Section 7, Township 118, Range 24, Hennepin County, Minnesota, lying Northerly of the railroad right of way.

AND

That part of the West Half of the Southeast Quarter of said Section 7, lying Southerly of the railroad right of way and Westerly of a line running from a point on the South line of said West Half of the Southeast Quarter, a distance of 43.72 feet West from the Southeast corner thereof to a point on the Southerly line of the railroad right of way, a distance of 66.12 feet Westerly, as measured along said Southerly line from the East line of the West Half of the Southeast Quarter; except the South 830 feet of the West 515.00 feet of the West Half of the Section Quarter and except the East 407.02 feet of the West 982.02 feet of the South 535.00 feet of the West Half of the Southeast Quarter.

EXCEPT;

That part of the West Half of the Southeast Quarter of Section 7, Township 118, Range 24, Hennepin County, Minnesota, that lies North of the Northerly right of way line of the Burlington Northern Railroad and East of the following described line:

Commencing at the Northeast corner of said West Half of the Southeast Quarter; thence on an assumed bearing of South 89 degrees 06 minutes 00 seconds West, along the North line of said West Half of the Southeast Quarter, a distance of 83.81 feet to the point of beginning of said line; thence South 00 degrees 32 minutes 13 seconds East, a distance of 1637.34 feet to said Northerly right of way line of the Burlington Northern Railroad and said line there terminating.


Requested By:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Paul E. Otto
License #40062

Proposed Certificate of Description on part of the SE 1/4 of Section 7, Township 118, Range 24, Hennepin County, Minnesota

Revised:



TTO
SSOCIATES

www.ttoassociates.com

*9 West Division Street
Buffalo, MN 55313
(763)682-4727
Fax: (763)682-3522*

Engineers & Land Surveyors, Inc.

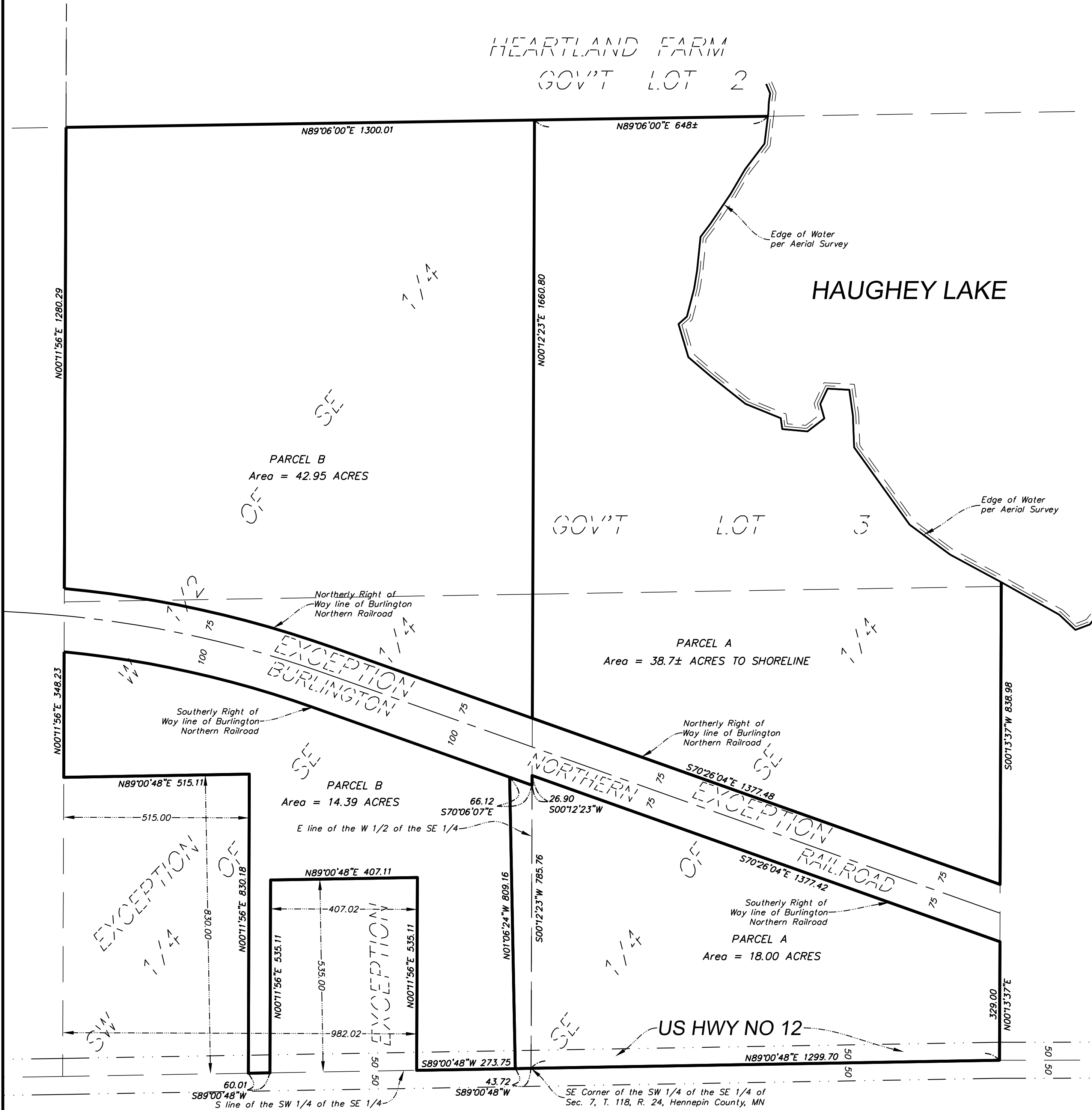
- denotes iron monument found
- denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062

Project No.

22-0201

Certificate of Description
BEFORE

Surveyors Note:
The Bearings shown on the drawing are based upon the Hennepin County Coordinate System and differ from the legal description. The angles formed by the bearings are the same.



EXISTING PROPERTY DESCRIPTIONS

Parcel A:
The Southeast Quarter of the Southeast Quarter, except R.R. Land, and, Government Lot 3, all in Section 7, Township 118, Range 24, Hennepin County, Minnesota.
AND
That part of the Southwest Quarter of the Southeast Quarter of Section 7, Township 118, Range 24, Hennepin County, Minnesota, described as follows:

Beginning at the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence on an assumed bearing of South 89 degrees 55 minutes 36 seconds West, along the South line of said Southwest Quarter of the Southeast Quarter, a distance of 43.72 feet; thence North 00 degrees 11 minutes 36 seconds West, a distance of 809.16 feet to the Southerly right of way line of Burlington Northern Railroad; thence South 69 degrees 11 minutes 19 seconds East, along said Southerly right of way line, a distance of 66.12 feet to the East line of said Southwest Quarter of the Southeast Quarter; thence South 01 degrees 07 minutes 11 seconds West, along said East line, a distance of 785.76 feet to the point of beginning.

Parcel B:
That part of the West Half of the Southeast Quarter of Section 7, Township 118, Range 24, Hennepin County, Minnesota, lying Northerly of the railroad right of way.
AND
That part of the West Half of the Southeast Quarter of said Section 7, lying Southerly of the railroad right of way and Westerly of a line running from a point on the South line of said West Half of the Southeast Quarter, a distance of 43.72 feet West from the Southeast corner thereof to a point on the Southerly line of the railroad right of way, a distance of 66.12 feet Westerly, as measured along said Southerly line from the East line of the West Half of the Southeast Quarter; except the South 830 feet of the West 515.00 feet of the West Half of the Section Quarter and except the East 407.02 feet of the West 982.02 feet of the South 535.00 feet of the West Half of the Southeast Quarter.

denotes iron monument found
denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062
Project No. 22-0201

www.ottoassociates.com
9 West Division Street
Buffalo, MN 55313
(763)682-4727
Fax: (763)682-3522
OTTO ASSOCIATES
Engineers & Land Surveyors, Inc.

Requested By:
John Peterson
Date: 5-10-22
Drawn By: T.R.K.
Checked By: P.E.O.
Scale: 1"=200'

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Paul E. Otto
License #40062 Date: 5-20-22

Existing Certificate of Description on part of the SE 1/4 of Section 7, Township 118, Range 24, Hennepin County, Minnesota
Revised:

City of Independence
Review of a Proposed 28 Unit Subdivision
on the Subject Properties Generally Located
at 2236 South Lake Shore Drive and to be known as BridgeVine

To:	City Council
From:	Mark Kaltsas, City Planner
Meeting Date:	September 6, 2022
Applicant:	BohLand Development
Owner:	Clifford L. Otten Trust
Location:	2236 South Lake Shore Drive

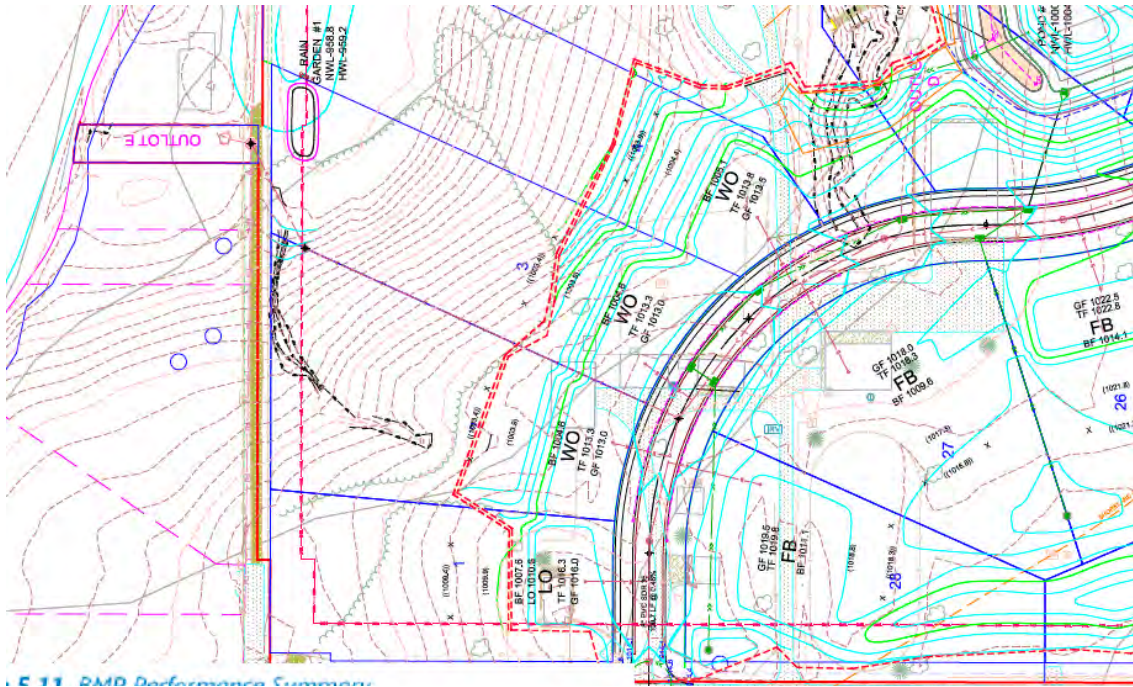
UPDATE 09.06.2022:

Following review and consideration at the August 16, 2022, City Council Meeting, Council directed the applicant to consider providing additional information relating to the proposed development. The applicant has provided additional information relating to several key discussion points as follows:

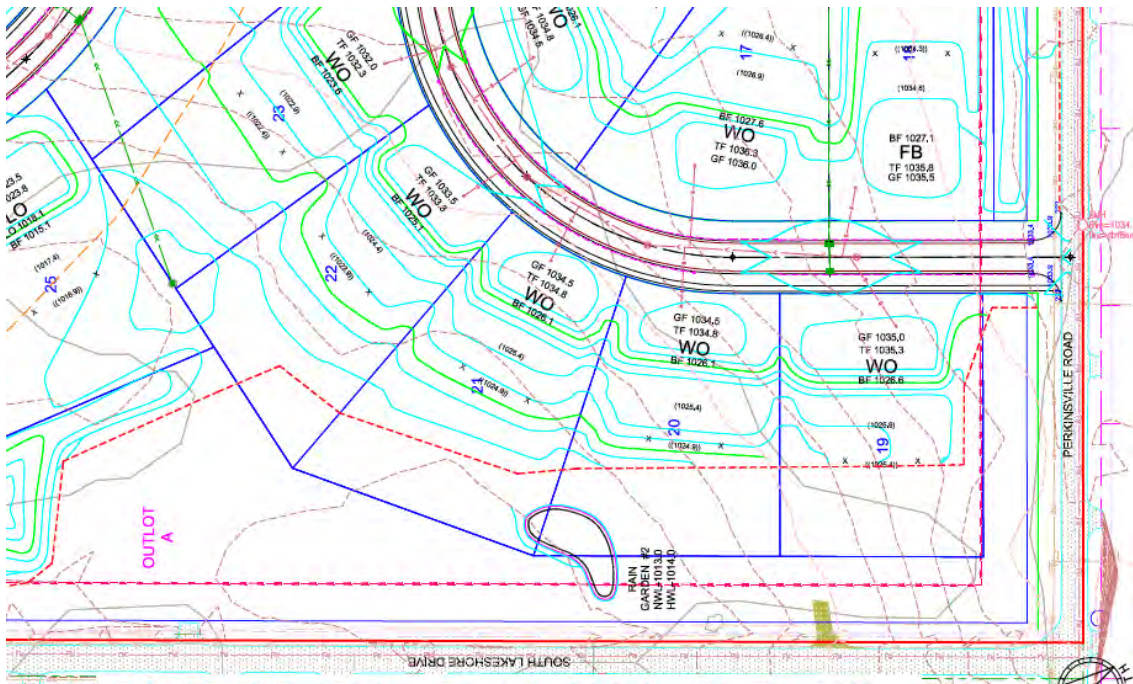
- **Stormwater:** the applicant has agreed to strengthen the proposed stormwater management system for this development in several key locations. The applicant is now proposing to add a rain garden/infiltration area on the northern edge of Lot 3. This rain garden area will add an additional level of filtration for water that runs off of Lots, 1, 2, and 3 prior to heading towards the lakeshore. The applicant is also proposing to add a rain garden/infiltration area to Outlot A that will further filter stormwater that drains to the west under South Lake Shore.

Along with these stormwater mitigation measures, the applicant has provided the City with a table showing that the proposed stormwater system will be reducing the peak runoff rates (from the current condition) for stormwater heading towards Lake Independence that goes to the ravine system to the east and the drainage system to the west (see attached drainage exhibit).

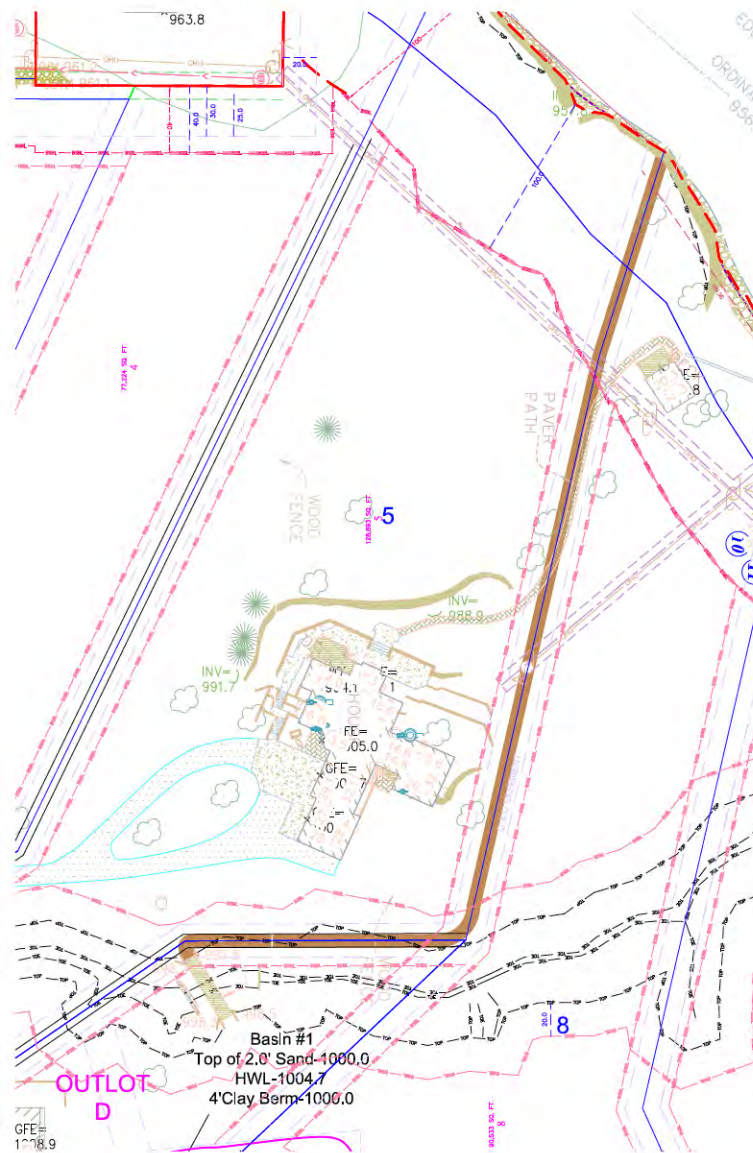
Rain Garden – Lot 3



Rain Garden – Outlot A



- **Common Area Dock:** The applicant is proposing to move the location of a potential pontoon boat dock. The applicant is no longer proposing an Outlot, but is now proposing a trail easement between lots 5 and 8 and connecting to the common area of Outlot D. This location is internal to the development. The applicant has also provided a narrative of the proposed restrictions relating to the use of the easement and dock (see attached). If recommended for approval, the City would include a condition as a part of the Planned Unit Development that would place more regulation on this development and the dock access and dock number permitted.
- The applicant is proposing to deed Outlot E to the City of Independence. The City's lift station currently occupies a portion of this property. There would be no access to the Maple Street easement from this property.



- **Trail/Sidewalk:** The City met with Three Rivers Park District to discuss a trail connection to Baker Park. The park district is going to further review a potential connection but is did not believe that a connection into the campground walking path would be supported. Instead, it was discussed that a trail along CSAH 19 to the underpass beneath the road may be a better solution. This would likely require the involvement of Hennepin County. To address this issue now it is recommended that the City consider identifying a trail alignment/easement within Outlot A along Perkinsville Road that could be extended to the east at a future date. In addition, the City could consider requiring a trail payment in lieu of construction for that portion of the trail. This finding could then be used in the future by the City to fund that portion of the trail.

Request:

Charles Wiemerslage and Steve Bohl – BohLand Development (Applicant) and Clifford L. Otten Trust (Owner) requests that the City consider the following actions for the properties generally located at 2236 South Lake Shore Drive, Independence, MN (PID No's. 24-118-24-14-0005, 24-118-24-11-0009 and 24-118-24-11-0012):

- a. A comprehensive plan amendment to allow the subject property to be re-guided to a new residential zoning district with standards to be determined.
- b. An ordinance amendment to allow planned unit developments as a conditional use in the Rural Residential Zoning District (at Final Plat)
- c. Rezoning of the property to Rural Residential.
- d. A conditional use permit to allow a planned unit development (at Final Plat).
- e. A preliminary plat for the proposed subdivision of the property into 28 single-family lots with a minimum lot size of 1 acre.

Property/Site Information:

The property is located on the north side of Perkinsville Road and in-between South Lake Shore Drive and County Road 19. The property has frontage on Lake Independence and is comprised primarily of agriculture land. There are two homes on the subject property along with several detached accessory buildings. The property is comprised of densely wooded areas, wetlands and tillable acreage.

Property Information: 2236 South Lake Shore Drive

Zoning: Agriculture (S-Shoreland Overlay)

Comprehensive Plan: Rural Residential

Acreage: ~48 acres

2236 South Lake Shore Drive Aerial



Discussion:

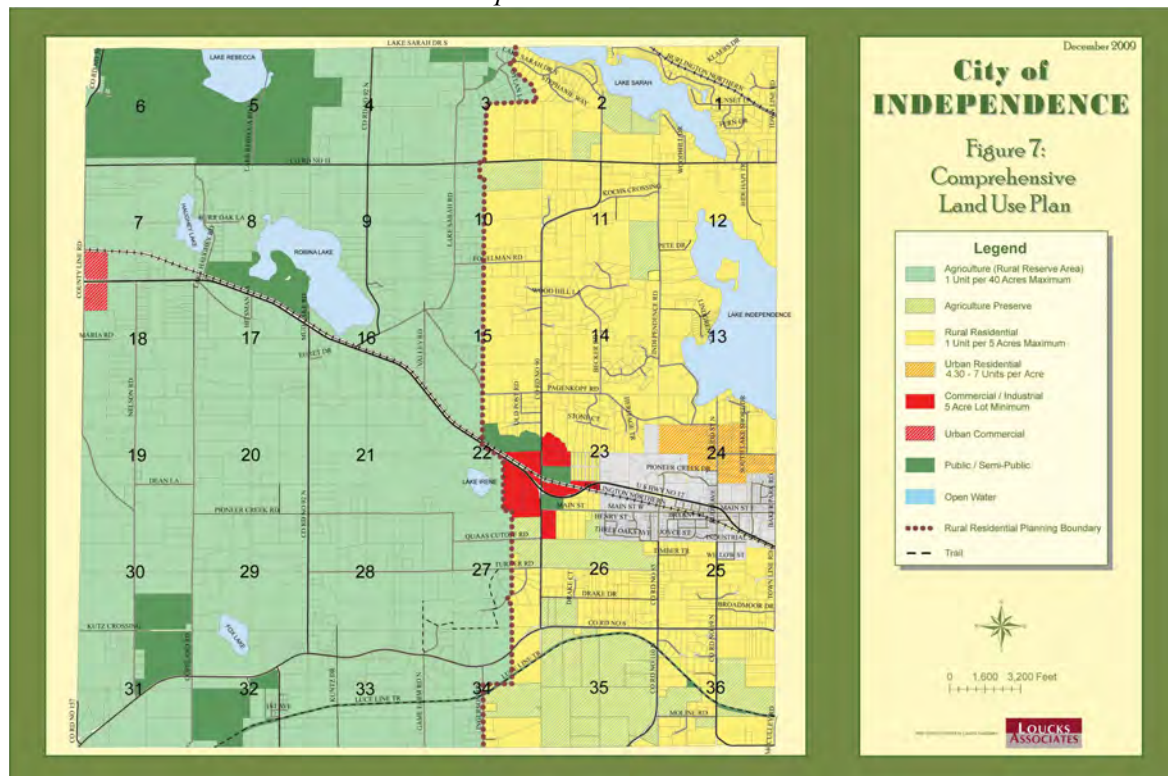
The City has reviewed and considered several concept plans for this property dating back to 2018. The initial concept plan submitted to the City was for a 96-unit subdivision. In 2020 a revised concept plan was submitted for a 28-unit subdivision. It was noted at that time that the City needed to finalize the Comprehensive Plan prior to considering any additional action on this

property. The Comprehensive Plan is nearing completion and the City has received an application for a preliminary plat and associated actions relating to a new development on this property. Any consideration by the City relating to this application would be subject to finalization and approval of the City's 2040 Comprehensive and approval of a Comprehensive Plan Amendment to allow the development of this property.

Comprehensive Plan

The City's adopted 2030 and Council Approved 2040 Plan (waiting for final Metropolitan Council approval) identifies this property as Rural Residential with limited sewer service. The Rural Residential designation allows for a general development density of 1 unit per 5 acres. The portion of the property that is located within the Shoreland Overlay zoning district could potentially be developed in accordance with the requisite shoreland standards. These standards generally allow for property within the shoreland overlay (1,000 feet from the OHWL) to be developed as one (1) acre lots if provided with City sewer. The City has noted that the property is currently served by the existing sanitary sewer which runs along two sides of the property (South Lake Shore and Perkinsville Road).

2030 Comprehensive Land Use Plan

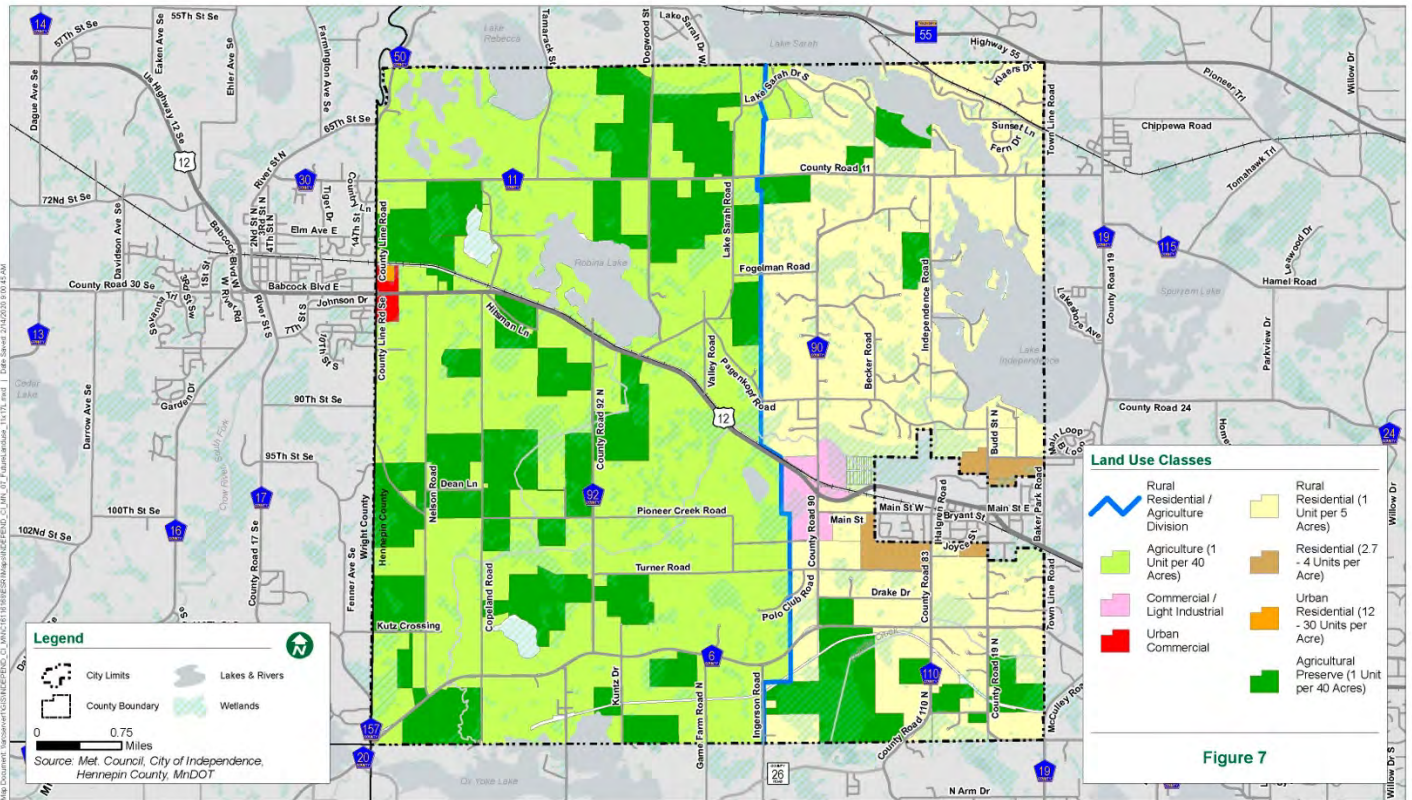


City Approved 2040 Comprehensive Land Use Plan



2040 Comprehensive Plan
Independence, MN

Future Land Use
January 2020



Proposed Subdivision - Preliminary Plat

The applicant has prepared a preliminary plat and associated plans for review by the City. The City has reviewed the plans and provided detailed comments and feedback to the applicant. The current guided designation would allow this property to be rezoned to Rural Residential with a portion of the property falling under the S-Shoreland Overlay (all property within 1,000 feet of the OHWL of Lake Independence). There are approximately 26 acres located within the area governed by the S-Shoreland Overlay. The number of lots that this area would yield is likely between 18-22 lots given the lakeshore, existing topography and configuration of the property covered by the overlay district. For the remaining 22 acres the number of lots that could be developed would be governed by the Rural Residential standards shown below. 22 acres could yield 4-5 lots depending on the exact acreage of the remaining land outside of the shoreland overlay area. The total number of lots that could be realized on this property utilizing the current zoning standards is estimated to be between 20-25.

The City reviewed the existing sewer system and met with the Metropolitan Council and the City of Medina relating to the possibility of developing this property. The relatively low density (less than 3 units per acre) of the proposed subdivision does present a challenge to gaining approval by the Metropolitan Council. Review of the City's sanitary sewer system identified the capacity

to service the proposed subdivision. The City has identified several upgrades and system improvements that will be necessary for this development to occur. The City would require a condition of approval to provide for any recommended updates necessary to the lift station to accommodate this development.

The City also completed a traffic analysis pertaining to the potential impacts of a potential 96-unit development. Generally, the traffic analysis found that there was capacity on CSAH 29 and Perkinsville Road to accommodate development of this parcel. It has been noted by the City that any development of this property would have potential traffic impacts to Perkinsville Road and County Road 29. The City has limited ability to require off-site improvements due to the current restrictions relating to impact fees. The City has continued to discuss possible improvements to the intersection of CSAH 19 and Perkinsville Road with Hennepin County along with trying to identify additional funding sources.

The City completed a detailed review of the proposed development and provided detailed comments to the applicant (see attached letter) as follows:

1. The proposed layout shows that those lots with direct shoreland would be developed so that the homes could be located at the top of the existing slope. This configuration is preferable due to the existing vegetation and slopes moving from south to north.
2. The surrounding area has a mixture of lot types, sizes and densities. A quick analysis of the approximately 21 surrounding (abutting) properties indicates that the average lot size is close to 1.5 acres with the smallest property being 0.2 acres. The nearby properties located on Lake Independence (within 1,000 feet of the subject property) also range in size with the average lots size being approximately 0.5 acres. The approximate net density of the abutting properties is approximately .75 units per acre. The proposed development would have a net density of .75 units per acre.
3. The proposed development would preserve a buffer and open space area along Perkinsville and South Lake Shore Drive. This area is proposed to be planted to help screen the proposed development from the surrounding properties. The applicant has prepared a preliminary landscape plan for further consideration. The City reviewed the preliminary landscape plan and offers several additional comments:
 - a. The proposed landscape plan should identify the actual existing trees to be saved. The plans note that the existing trees will remain along both Perkinsville Road and South Lake Shore Dr.
 - b. The City will want to see buffering and screening along the rear yards of Lots 15-18, Block 1.
4. The subject property has a significant natural feature that consists of a wooded “ravine” that runs from west to southeast through the northern portion of the property. The proposed plans have identified this area and show that a significant portion of this area would be preserved. It is noted that the applicant is willing to consider placing an

easement over the portion of this area that can be preserved to ensure its long-term protection. The City is recommending that a condition of the approval requires the establishment of a protective easement or similar conveyance tool.

5. A portion of the proposed property is located within 1,000 feet of Lake Independence and is therefore within the Shoreland Overlay District. This plan will be subject to the review of the Department of Natural Resources.
6. This plan will be subject to the review of the Pioneer Sarah Creek Watershed Commission.
7. The plan indicates all lots will be connected to City sewer. This property is guided by the City's Comprehensive Plan for RR-Rural Residential and currently has 2 sewer connections. In order for the City to consider connection to the City sewer, a Comprehensive Plan Amendment will be required. In addition to the comprehensive plan amendment, the City's sanitary sewer is routed through the City of Medina and permitted through the Quad City Agreement. An amendment to that agreement will be necessary in order to serve this property with sewer. Any initial approval of the proposed development will be subject to an amendment of the Comprehensive Plan and Quad Cities Agreement.
8. Additional comments relating to potential lift station upgrades, grading, road construction and infrastructure will be provided in a separate letter from the City's engineer.
9. The proposed preliminary plat indicates six lots with riparian access (frontage or access) on Lake Independence. Any lot directly abutting the lake would need to comply with applicable shoreland overlay standards. The shoreland overlay requires a minimum lot size of 1 acre and a minimum shoreland lot width of 100 linear feet. The subject property has approximately 700 linear feet of shoreline on Lake Independence. Detailed review of each riparian lot relating to slopes, bluffs and general grading will be required if the development is approved.
10. It is noted that there is a 30-foot-wide strip of land that borders Lake Independence along Maple Drive. The Planning Commission reviewed the proposed use of this lot as a common dock. Commissioners were concerned about the potential impact of this property on the adjacent lots. Commissioners recommended that the common use of this lot not be permitted. The applicant has revised their initial plan to now include a new Outlot located to the east of the 4915 South Lake Shore Dr. (furthest east property adjacent to subject property). The proposed Outlot (Outlot F) will allow for one (1) community owned pontoon boat to be docked on Lake Independence. The applicant has prepared a more detailed narrative and graphic exhibit of the proposed Outlot F and associated trail (attached to this report). The proposed use of this land as a common HOA element with a dock and boat slips will need to be further discussed and reviewed by the City. Staff is seeking direction from the City Council relating to this issue.
11. The City does not have applicable zoning for this type of sewer residential

development. It is proposed that the City’s Rural Residential zoning ordinance be amended to allow Planned Unit Developments (PUD) in the Rural Residential zoning district. The City will need to adopt physical lot standards associated with the PUD. If a PUD is adopted, it is recommended that the riparian lakeshore lots be required to comply with applicable shoreland district standards. The City is recommending the following additional lot standards:

Minimum lot size:	1 acre (43,560 SF)
Minimum lot width:	100 feet at right of way line
Front yard setback:	35 feet from right of way line
Side yard setback:	15 feet
Corner yard setback:	35 feet
Rear yard setback:	40 feet
Shoreland setback:	100 feet
Setback from lake:	100 feet from ordinary high mark
Setback from wetland:	10 ten feet from the outside edge of the required wetland buffer

The plans will need to be revised to clearly show the building setbacks. It is also recommended that a plan be prepared that shows a “typical” house plan for each lot to verify that the lots can accommodate a home site. A draft ordinance amendment as been drafted for review and consideration. The ordinance amendment and PUD requirements would be considered at the time of final plat.

12. It does not appear that there are any proposed HOA/Covenant restrictions relating to accessory structures. Please provide additional information relating to proposed thoughts on accessory structures. The City would propose developing a new accessory structure provision with the PUD similar to the following:

Accessory Structure Maximum Size: 1,000 square feet (combined attached garage and detached accessory structures).

Accessory Structure Setbacks:	Front Yard – located to the rear of the principal structure. Side Yard – 15 feet Rear Yard – 40 feet
-------------------------------	--

Accessory Structure Height:	Maximum height shall be limited to 14 feet or height of principal structure, whichever is less. Maximum garage door height is eight 8 feet.
-----------------------------	---

13. The proposed plan indicates open space around the perimeter and includes Outlots A, B, C, D, and F. Outlot D, which is centrally located is proposed to contain an HOA community amenity space (see attached detailed plan). All Outlots will become the

responsibility of the homeowner's association established for this development. Documentation indicating the conveyance of this ownership and the maintenance responsibility has been provided to the City. The Outlots will be maintained as described in the HOA documents as mowed and managed landscape open areas.

14. The preliminary plat indicates a 66-foot-wide ROW and a 26-foot-wide road. The street construction plan indicates a 30-foot-wide street. The preliminary plat will need to be revised to match the construction drawings.
15. Lots 16 and 17, Block 1 are less than 1 acre in size and will need to be modified to meet the minimum lot size requirements.
16. There is an existing tree stand located on the property which is primarily along the ravine/drainage area. The City is concerned and desires that these areas are preserved and protected in the after condition of the property. The City has shoreland alteration limitations specified in the shoreland ordinance. In order to ensure that these trees and the ravine are fully preserved, it is recommended that a condition of the approval include adding language to the PUD relating to tree preservation on the lakeshore properties.
17. Please indicate the top of bluff structure setbacks on the site plan.
18. Please label all drainage and utility easements on the preliminary plat. It appears that there should be extended onto Lots 14 and 15 and 6 and 7, Block 1.
19. Park dedication will be required for this development. No dedication of open space was discussed during the concept plan review of this property. The proposed development does not include sidewalks or trails. Planning Commissioners discussed the possibility of adding a trail along South Lake Shore Dr. and Perkinsville Road. The applicant stated that they would be agreeable to a sidewalk. Staff is seeking direction from City Council relating to a sidewalk and or trail. The City had discussed a trail along Perkinsville at one time but understand that it may be challenging to extend the trail beyond this property without a designated connection point on CSAH 19. Cash in lieu of land will be required in accordance with the City's current park dedication fee of \$3,500 per lot (less than 4.99 acres). One park dedication credit will be given for the existing house proposed to remain. The park dedication fee requirement for this development is anticipated to be approximately \$94,500 (27 lots x \$3,500).
20. Please see the comments provided by the City's Water Resource Engineer, Shane Nelson, dated June 2, 2022, pertaining to water resources. Stormwater is going to be collected and routed to 2 stormwater ponds with adjacent filtration basins. Stormwater will be treated to maintain and improve water quality and also retained to ensure that the rate of runoff is not increased as a result of the proposed improvements. The majority of this sites water runoff will be collected prior to getting to the lake.
21. Please see the comments provided by the City's Civil Engineer, Andrew Budde, dated August 10, 2022, pertaining to engineering comments.

Planning Commission Discussion/Recommendation:

Planning Commissioners reviewed the request, held the public hearing and asked questions of staff and the applicant. Commissioners discussed the location of the 1,000-foot shoreland setback line. Commissioners also asked and discussed the number of lots that could be realized using the underlying zoning standards. Staff noted that this site would likely yield somewhere around 20-25 lots using the underlying zoning (see attached past concept plan with 1,000-foot shoreland line). Commissioners discussed a possible sidewalk being added within the development and or along South Lake Shore Drive. Commissioners noted that the ravine would make it challenging for owners of Lots 8 and 9 to get to the lake. The applicant noted that they would work with those lot owners to identify a walking path to get to the lake. Commissioners discussed the ravine, existing trees along the lakeshore and concerns relating to preservation of the natural resources. Commissioners recommended that protective easements be placed over the ravine and existing trees. Commissioners discussed the proposed Outlot E common dock. Commissioners noted concerns relating to the potential impact of the common dock to the adjacent properties. Commissioners recommended that the common dock and the use of Outlot E by the association be prohibited. Commissioners noted that a common Outlot located to the east could be considered. Commissioners reviewed the draft ordinance language and noted that accessory structure limitations and asked that the applicants covenants mirror the City language. Commissioners ultimately recommended approval of the proposed comprehensive plan amendment, subdivision, preliminary plat and rezoning with the addition of several conditions. The additional conditions included adding a sidewalk to the development, adding restrictive easements over the ravine area, restricting tree clearing along the ravine and lakeshore lots and limiting accessory structures as described within the draft ordinance language.

Recommendation:

The Planning Commission recommended approval of the application for a comprehensive plan amendment, rezoning and preliminary plat, subject to the approval of an ordinance amendment, conditional use permit, and Metropolitan Council approval of the comprehensive plan amendment with the following findings and conditions:

1. The proposed rezoning, preliminary plat and comprehensive plan amendment meet all applicable conditions, criteria and restrictions stated in the City of Independence Ordinance.
2. City Council approval of the preliminary plat is subject to approval and completion of the following items:
 - a) Metropolitan Council approval of a Comprehensive Plan Amendment.

- b) Review and adoption of an ordinance amendment to include planned unit developments as a conditional use in the RR-Rural Residential zoning district.
- c) Rezoning of the property from AG-Agriculture to RR-Rural Residential.
- d) Review and approval of a conditional use permit approving a planned unit development.
- e) Approval of the Quad City Agreement (stipulates sewer connections through Medina) by the applicable cities that are a party to the agreement.
- f) The Applicant shall address all engineering comments made by the City's Civil Engineer, Andrew Budde, dated August 10, 2022, pertaining to engineering comments.
- g) The Applicant shall address all engineering comments made by the City's Water Resource Engineer, Shane Nelson, dated June 2, 2022, pertaining to water resources.
- h) The Applicant shall make all revisions requested in the staff report, Planning Commission and City Council.
- i) The Applicant shall prepare a restrictive and protective easement over and across the area generally described as the "ravine" to the satisfaction of the City.
- j) The proposed PUD will include the following provisions and restrictions:
 - a. Regulations relating to tree removal on all riparian lots within the proposed subdivision. The final language will be drafted and considered at the time of final plat.
 - b. Regulations relating to the number and location of docks.
- k) The Applicant shall receive approval and comply with all applicable regulations and conditions prescribed by Pioneer Sarah Creek Watershed Management Organization.
- l) The Applicant shall receive the approval of the Department of Natural Resources.
- m) The Applicant shall enter into a development agreement with the City for this development.

- n) The Applicant shall provide a letter of credit as established by the development agreement for all improvements associated with this development.
 - o) The Applicant shall provide the City with copies of the HOA agreement and covenants, including information related to the maintenance plantings and storm water easements.
 - p) The Applicant shall obtain all necessary City, County, PCA and other regulatory agency approval and permits prior to construction.
- 3. The Applicant shall pay for all costs associated with the City's review of the comprehensive plan amendment, subdivision, rezoning, ordinance amendment and conditional use permit and preliminary plat and general plan.
 - 4. The Applicant shall submit the final plat to the City within 180 days of the preliminary plat approval.

Attachments:

RESOLUTION NO. 22-0906-03 – Considering approval of a comprehensive plan amendment

ORDINANCE 2022-05: Considering rezoning of the subject property from AG-Agriculture to RR-Rural Residential

RESOLUTION NO. 22-0906-04 – Considering approval of a preliminary plat for the proposed subdivision of the property into 28 single-family lots

Application

Narrative

Outlots Narrative and Trail Exhibit

Preliminary Plat

Construction Drawings

Staff Comment Letters

Draft Ordinance

Underlying Zoning Concept Plan and Shoreland Setback Exhibit



RESOLUTION OF THE
CITY OF INDEPENDENCE
HENNEPIN COUNTY, MINNESOTA

RESOLUTION NO. 22-0906-03

**RESOLUTION APPROVING THE AMENDMENT TO THE 2040 COMPREHENSIVE
PLAN FOR THE EXPANSION OF THE MUSA AS RECOMMENDED BY THE CITY
OF INDEPENDENCE PLANNING COMMISSION AND CITY COUNCIL**

WHEREAS, the City of Independence (the “City”) is a municipal corporation under the laws of Minnesota; and

WHEREAS, the City adopted a comprehensive plan in 2019 to guide the development of the community; and

WHEREAS, the City has adopted a zoning ordinance and other official controls to assist in implementing the comprehensive plan; and

WHEREAS, Steve Bohl (Applicant) and Clifford L Otten Trust (Owner) request approval of a comprehensive plan amendment to support a preliminary plat to allow a 28 lot development of the properties generally located at 2236 South Lake Shore Drive, Independence, MN (PID No’s. 24-118-24-14-0005, 24-118-24-11-0009 and 24-118-24-11-0012) (the “Property”); and

WHEREAS, the Property is legally described on **Exhibit A** attached hereto; and

WHEREAS, the Preliminary Plat is further depicted on **Exhibit B** attached hereto; and

WHEREAS, the Property is zoned RR-Rural Residential; and

WHEREAS, the City of Independence (hereinafter the City), in accordance with the Land Use Planning Act (Minn Stat. 473.145-473.871) has developed a Comprehensive Plan; and

WHEREAS, in December, 2019 the City of Independence adopted the 2040 Comprehensive Plan to promote the health, safety and welfare of the City by effectively guiding long-range growth and development within the City; and

WHEREAS, a public hearing was held on July 19, 2022 wherein the following Comprehensive Plan amendment herein adopted was reviewed and commented on by members of the public; and

WHEREAS, the City of Independence Planning Commission has reviewed and recommended the amendment to the Comprehensive Plan at a regular monthly meeting; and

WHEREAS, the City of Independence Planning Commission reviewed the Comprehensive Plan Amendment, found the amendment to be consistent with the vision of the Comprehensive Plan; and

WHEREAS, after said public hearing, the City Council will decide whether to adopt the proposed amendment to the Comprehensive Plan subject to approval by the Metropolitan Council; and

WHEREAS, the Comprehensive Plan may be used as the basis for, among other things, updating the zoning ordinance and as a guide for approving or disapproving actions affecting growth and development within the jurisdiction of the City of Independence; and

WHEREAS, this Comprehensive Plan may from time to time be amended; and

NOW, THEREFORE, BE IT RESOLVED, by the City of Independence City Council that the recommended Comprehensive Plan amendment is hereby adopted as a part of the City of Independence Comprehensive Plan, subject to the approval of the Metropolitan Council:

This resolution was adopted by the City Council of the City of Independence on this 6th of September 2022, by a vote of ____ ayes and ____ nays.

Marvin Johnson, Mayor

ATTEST:

Mark Kaltsas, City Administrator

EXHIBIT A

(Legal Description)

DESCRIPTION OF PROPERTY SURVEYED (Per Schedule A of the herein referenced Title Commitment)

The Land is described as follows:

Parcel 1: The West 525 feet of the East 657 feet of Government Lot 1 except the South 246 feet of the East 444 feet thereof; That part of Government Lot 1 lying West of the East 657 feet thereof and South of Fred W. Anderson's Addition, all in Section 24, Township 118, Range 24, free and clear of all dedications of streets, roads, alleys and public use of property contained in the plat of Perkinsville, Hennepin County, Minnesota.

Parcel 2: Lots 13 to 25 inclusive, Fred W. Anderson's Addition, Hennepin County, Minnesota.

Parcel 3: Lot 4, Fred W. Anderson's Addition, except the East 2.00 feet, as measured at right angles to the East line thereof, free and clear of all dedications of streets, roads, alleys and public use of property contained in the plat of Perkinsville, Hennepin County, Minnesota.

That part of vacated Maple Street, dedicated in the plat of "Fred W. Anderson's Addition" lying southerly of the centerline of said Maple Street, and between the northerly extension across it of the westerly line of Lot 16, said plat, and the southerly extension across it of the centerline of Lake Street, said plat; That part of vacated Maple Street, dedicated in the plat of "Fred W. Anderson's Addition" lying southerly of the centerline of said Maple Street, and between the southerly extension across it of the centerline of Lake Street, as dedicated in said plat, and the northerly extension across it of the easterly line of Lot 25, said plat; That part of vacated Maple Street, dedicated in the plat of "Fred W. Anderson's Addition" lying northerly of the centerline of said Maple Street, and between the southerly extensions across it of the centerline of Lake Street, as dedicated in said plat, and westerly line of the East 2.00 feet of Lot 4, as measured of right angles to the East line thereof, said plat; That part of vacated Lake Street, dedicated in the plat of "Fred W. Anderson's Addition" lying easterly of the centerline of said Lake Street, as dedicated in said plat.

(All of the above property is Torrens)

AND

Lot Twenty-six (26) in Fred W. Anderson's Addition, Hennepin County, Minnesota, according to the plat thereof on file and of record in the office of the Register of Deeds in and for said county.

(Abstract)

(Preliminary Plat)





RESOLUTION OF THE
CITY OF INDEPENDENCE
HENNEPIN COUNTY, MINNESOTA

ORDINANCE NO. 2022-05

**AN ORDINANCE AMENDING THE CITY OF INDEPENDENCE
ZONING CODE, INCLUDING ZONING MAPS**

THE CITY OF INDEPENDENCE, MINNESOTA DOES ORDAIN:

Section 1. The City of Independence Zoning Code be amended to rezone 46.52 acres of the property identified as (PID No's. 24-118-24-14-0005, 24-118-24-11-0009, 24-118-24-11-0012) from A-Agriculture to RR Rural Residential and legally described as follows:

Parcel 1: The West 525 feet of the East 657 feet of Government Lot 1 except the South 246 feet of the East 444 feet thereof; That part of Government Lot 1 lying West of the East 657 feet thereof and South of Fred W. Anderson's Addition, all in Section 24, Township 118, Range 24, free and clear of all dedications of streets, roads, alleys and public use of property contained in the plat of Perkinsville, Hennepin County, Minnesota.

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(All of the above property is Torrens)

AND

Lot Twenty-six (26) in Fred W. Anderson's Addition, Hennepin County, Minnesota, according to the plat thereof on file and of record in the office of the Register of Deeds in and for said county.

(Abstract)

Section 2. The City Administrator is hereby directed to amend the City of Independence Zoning Ordinance, including Zoning Maps, in accordance with the foregoing amendment.

Section 3. Effective date. This ordinance shall be and is hereby declared to be in full force and effect after its passage and publication according to law.

Adopted this 6th day of September 2022.

Marvin Johnson, Mayor

ATTEST:

Mark Kaltsas, City Administrator



RESOLUTION OF THE
CITY OF INDEPENDENCE
HENNEPIN COUNTY, MINNESOTA

RESOLUTION NO. 22-0906-04

**A RESOLUTION GRANTING APPROVAL OF A PRELIMINARY PLAT
TO BE KNOWN AS BRIDGEVINE**

WHEREAS, the City of Independence (the “City”) is a municipal corporation under the laws of Minnesota; and

WHEREAS, the City adopted a comprehensive plan in 2010 to guide the development of the community; and

WHEREAS, the City has adopted a zoning ordinance and other official controls to assist in implementing the comprehensive plan; and

WHEREAS, Steve Bohl (Applicant) and Clifford L Otten Trust (Owner) request approval of a Preliminary Plat to allow a 28 lot development of the properties generally located at 2236 South Lake Shore Drive, Independence, MN (PID No’s. 24-118-24-14-0005, 24-118-24-11-0009 and 24-118-24-11-0012) (the “Property”); and

WHEREAS, the Property is legally described on **Exhibit A** attached hereto; and

WHEREAS, the Preliminary Plat is further depicted on **Exhibit B** attached hereto; and

WHEREAS, the Property is zoned RR-Rural Residential; and

WHEREAS the requested Preliminary Plat meets all requirements, standards, and specifications of the City of Independence zoning ordinance for Rural Residential lots; and

WHEREAS the Planning Commission held a public hearing on July 19, 2022, to review the application for the Rezoning and Preliminary Plat, following mailed and published noticed as required by law; and

WHEREAS, the City Council has reviewed all materials submitted by the Applicant; considered the oral and written testimony offered by the applicant and all interested parties; and has now concluded that the application is in compliance with all applicable standards and can be considered for approval; and

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF INDEPENDENCE, MINNESOTA, that it should and hereby does approve the application by Steve Bohl for a Preliminary Plat to allow the subdivision of the property per the City's subdivision regulations with the following conditions:

1. The proposed rezoning, preliminary plat and comprehensive plan amendment meet all applicable conditions, criteria and restrictions stated in the City of Independence Ordinance.
2. City Councils approval of the preliminary plat is subject to approval and completion of the following items:
 - a) Metropolitan Council approval of a Comprehensive Plan Amendment.
 - b) Review and adoption of an ordinance amendment to include planned unit developments as a conditional use in the RR-Rural Residential zoning district.
 - c) Rezoning of the property from AG-Agriculture to RR-Rural Residential.
 - d) Review and approval of a conditional use permit approving a planned unit development.
 - e) Approval of the Quad City Agreement (stipulates sewer connections through Medina) by the applicable cities that are a party to the agreement.
 - f) The Applicant shall address all engineering comments made by the City's Civil Engineer, Andrew Budde, dated August 10, 2022, pertaining to engineering comments.
 - g) The Applicant shall address all engineering comments made by the City's Water Resource Engineer, Shane Nelson, dated June 2, 2022, pertaining to water resources.
 - h) The Applicant shall make all revisions requested in the staff report, Planning Commission and City Council.
 - i) The Applicant shall prepare a restrictive and protective easement over and across the area generally described as the "ravine" to the satisfaction of the City.
 - j) The proposed PUD will include provisions and restrictions relating to tree removal on all riparian lots within the proposed subdivision. The final language will be drafted and considered at the time of final plat.
 - k) The Applicant shall receive approval and comply with all applicable regulations and conditions prescribed by Pioneer Sarah Creek Watershed Management Organization.

- l) The Applicant shall receive the approval of the Department of Natural Resources.
 - m) The Applicant shall enter into a development agreement with the City for this development.
 - n) The Applicant shall provide a letter of credit as established by the development agreement for all improvements associated with this development.
 - o) The Applicant shall provide the City with copies of the HOA agreement and covenants, including information related to the maintenance plantings and storm water easements.
 - p) The Applicant shall obtain all necessary City, County, PCA and other regulatory agency approval and permits prior to construction.
- 3. The Applicant shall pay for all costs associated with the City's review of the comprehensive plan amendment, subdivision, rezoning, ordinance amendment and conditional use permit and preliminary plat and general plan.
 - 4. The Applicant shall submit the final plat to the City within ninety (90) days of the City Council approval of the Preliminary Plat.

This resolution was adopted by the City Council of the City of Independence on this 6th of September 2022, by a vote of ____ ayes and ____ nays.

Marvin Johnson, Mayor

ATTEST:

Mark Kaltsas, City Administrator

EXHIBIT A

(Legal Description)

Parcel 1: The West 525 feet of the East 657 feet of Government Lot 1 except the South 246 feet of the East 444 feet thereof; That part of Government Lot 1 lying West of the East 657 feet thereof and South of Fred W. Anderson's Addition, all in Section 24, Township 118, Range 24, free and clear of all dedications of streets, roads, alleys and public use of property contained in the plat of Perkinsville, Hennepin County, Minnesota.

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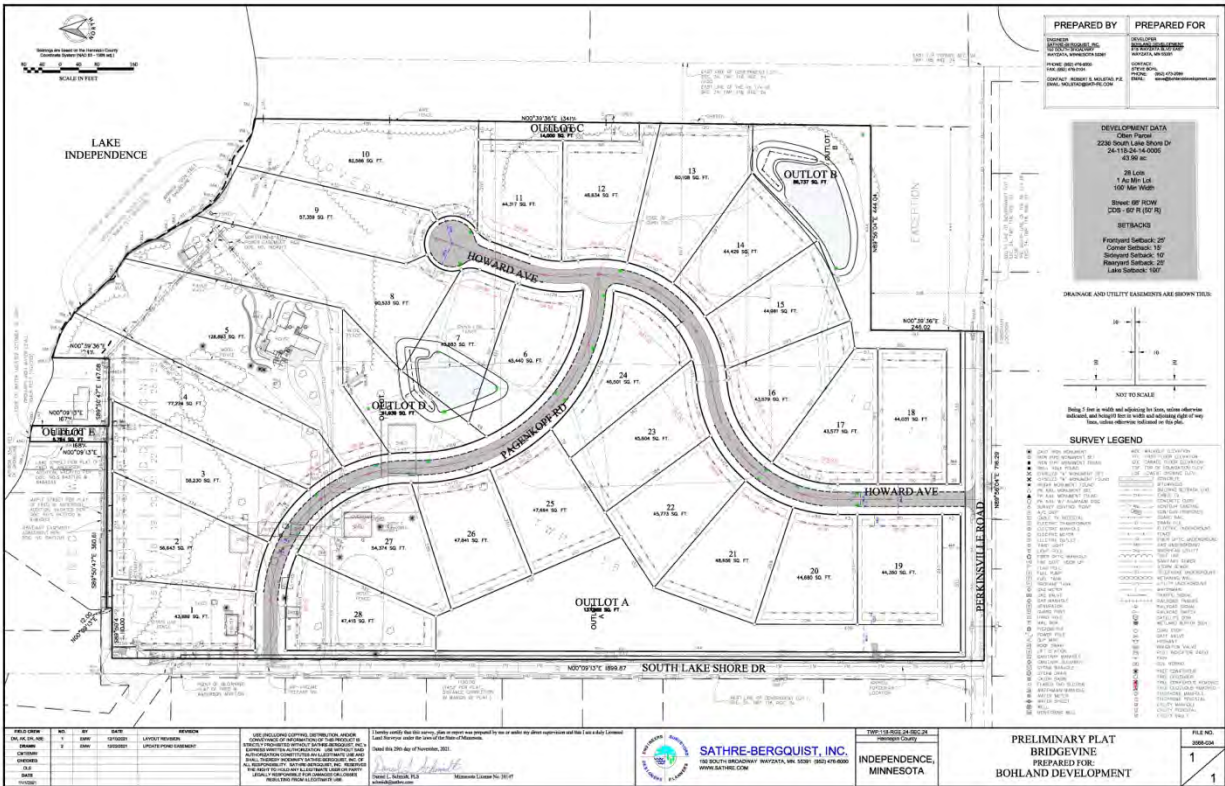
(All of the above property is Torrens)

AND

Lot Twenty-six (26) in Fred W. Anderson's Addition, Hennepin County, Minnesota, according to the plat thereof on file and of record in the office of the Register of Deeds in and for said county.

(Abstract)

EXHIBIT B
(Preliminary Plat)



BridgeVine Dock and Outlot Use

Proposed “Option B”

August 5, 2022

History and Amenity:

The Otten property has long owned a portion of shoreline including the small strip of land currently used for the lift station to serve the adjoining neighbors and for future subdivision of the property. There is history and information about the previous Maple Street and the intent to share that use by an easement that benefits the property owners.

The use of the lakeshore is an amenity for BridgeVine. Our proposal is passive, a significant neighborhood amenity, and will be managed similar to other neighborhoods we have done before. We anticipate this is more of an opportunity for the off-lake owners to occasionally take a boat ride on the lake.

1 pontoon boat use only:

We have changed the use of the dock from 2-3 boats to only allow dock use for the 1 pontoon boat.

Effectively, the use of the dock is based on the number of boats - not the number of neighbors. Only so many people can be on the boat at any specific time.

The impact to boat traffic on Lake Independence is extremely nominal and similar to a 1 boat dock. Compared to the access from Baker Park, this will not create any impact to boat traffic on the lake.

Our intent is to offer access to the lakeshore with a passive use including no boat launching, pontoon boat docking, and HOA restrictions that keep the use reasonable to not disturb the adjoining neighbor and keep the outlot well landscaped and maintained.

Landscaping:

There currently is a grove of trees separating our proposed outlot and Becker's home. Our landscape plan for the outlot will include tree buffers by transplanting arborvitaes and other trees in between property lines and some along the pathway down to the outlot. It is very common to have a passive neighborhood trail within a neighborhood. This trail is completely within our property boundaries.

Location:

We have moved the trail and outlot to a new location for the least impact to the neighbor. This new location is better than between the two houses “Outlot E.” With the recent approval for new construction, Cree's property on the west side of the outlot E, and the location of the Becker's dock on the very west corner of their property adjoining Outlot E, this is a significant improvement for all considered. Our dock will be over 200' away from the Becker's dock. This is a much improved location.

The new trail location is only for pedestrians, bikes, or maybe a golf cart. We will keep the fence installed so that no pedestrian access (or crossover of property boundaries) will be onto Maple Street.

Limited Access to the adjoining easement - old Maple Street:

One of the most significant improvements to this proposal is to minimize the use of the currently allowed easement on the old Maple Street. Today, we have use of the easement along Maple Street for access. We will be eliminating traffic along the driveway except for city required access to the lift station and emergency use.

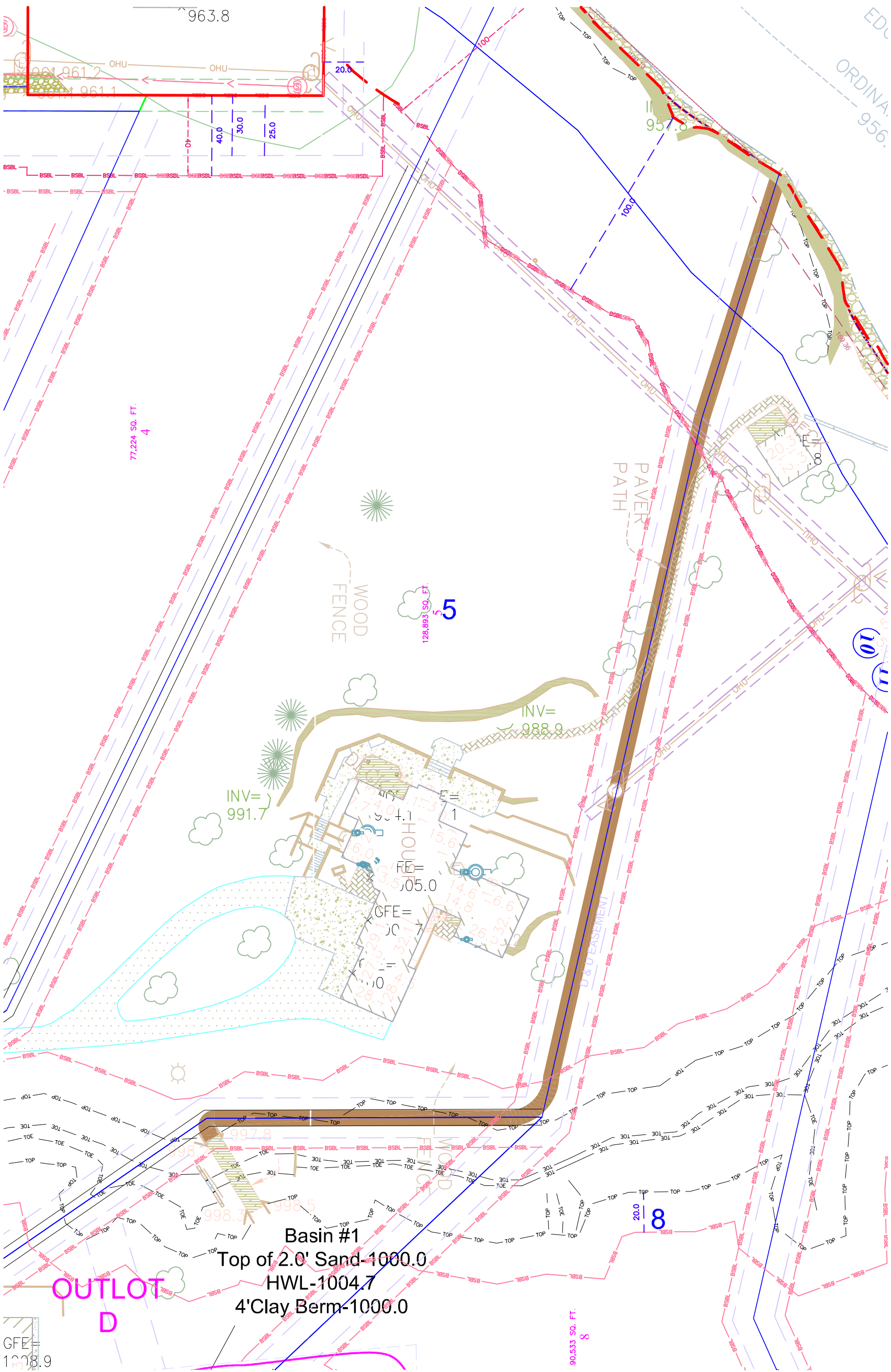
By moving the trail to in between lots 1 and 2 will give the perception that the trail is specifically for the BridgeVine neighbors and will posted accordingly. By moving the trail to this location, it will eliminate possible visitors vs a trail along South Lakeshore Dr. This will allow for a strict posting "No Trespassing" along the Maple Street Road.

There is a fence line on our property along Maple Street and we will keep the fence in that location. We will keep the trail on "our side" of the fence and landscape along the open area. We will repair the runoff swale to Improve water quality and meander the path between the trees.

General Use Limitations:

- BridgeVine neighbors and guests only
- Only use of the pontoon boat
- Must be trained and 25 years old to drive the boat
- Reservation for boat time will be through the HOA
- Noise restrictions
- Cleanliness
- Hours from 7:00AM - 10:00PM during summer hours
- Violations will be subject to future use of boat and dock
- Boat will be stored off-site during off season

This proposed plan offers a significant benefit over the current conditions with limited impact to neighbors and Lake Independence. This brings a benefit to the neighborhood to enjoy a natural amenity with a passive use.



OUTLOT
D

Basin #1
Top of 2.0' Sand-1000.0
HWL-1004.7
4'Clay Berm-1000.0

GFE=
1238.9

90.533 SQ. FT.
8

128.893 SQ. FT.
5

77.224 SQ. FT.
4

EDC
ORDINA.
956.0

Table 5.5 Site Peak Discharge Rates to Lake Independence (cfs)

Condition	2-Year	10-Year	100-Year
Existing	42.2	80.8	173.7
Proposed	30.9	54.6	141.1
Difference	-11.3	-26.2	-32.6

LAKE INDEPENDENCE (270176)
RECREATIONAL DEVELOPMENT
100' SETBACK FROM OHWL
OHWL - 956.8 (NGVD 29)
Highest Level - 959.05

Table 5.7 Site Peak Discharge Rates to Site Ravine (cfs)

Condition	2-Year	10-Year	100-Year
Existing	35.8	68.2	144.7
Proposed	22.4	35.0	106.3
Difference	-13.4	-33.2	-38.4

Table 5.8 Site Peak Discharge Rates to East Ravine (cfs)

Condition	2-Year	10-Year	100-Year
Existing	8.3	14.6	29.0
Proposed	5.0	9.3	21.4
Difference	-3.3	-5.3	-7.6

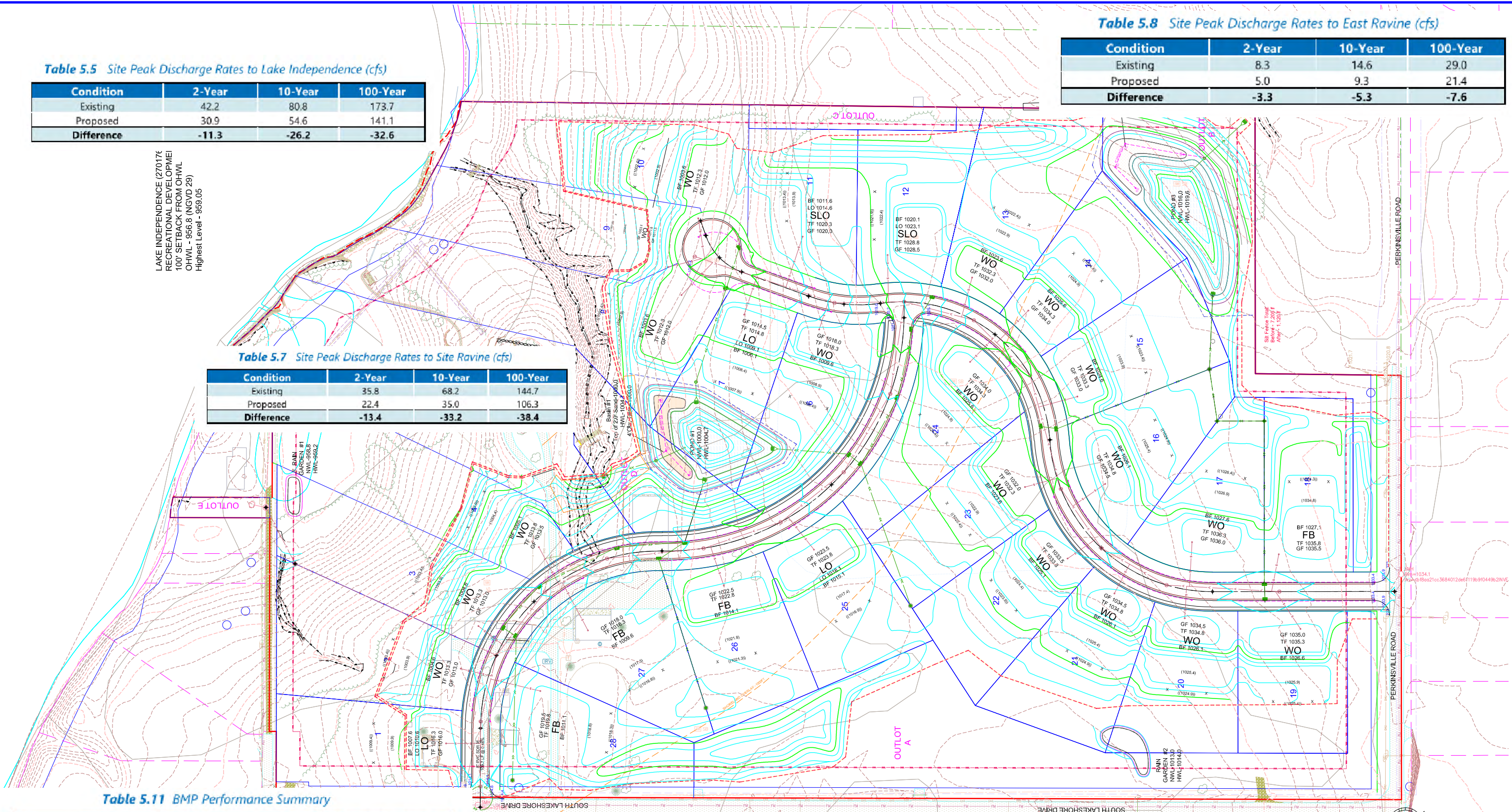


Table 5.11 BMP Performance Summary

Variable	Existing Loading (lbs/yr)	Proposed Loading (lbs/yr)	Total Removed (lbs/yr)	Proposed Discharge (lbs/yr)	Pollutant Reduction (from Existing Conditions)
TSS	4,102	7,930	5,137	2,793	-1,309
TP	13.7	25.8	13.5	12.3	-1.4

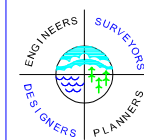
Table 5.6 Site Peak Discharge Rates to South Lakeshore Drive Culvert (cfs)

Condition	2-Year	10-Year	100-Year
Existing	10.9	21.8	47.9
Proposed	7.9	15.5	33.5
Difference	-3.0	-6.3	-14.4

DRAWING NAME	NO.	BY	DATE	REVISIONS
GRADING	01	RSM	05/06/22	REVISE LOT TYPES
DRAWN BY	02	CAW	06/30/22	REVISE SANITARY SEWER MATERIALS
CHECKED BY	03	CAW	08/08/22	GRADING & LOT LINE REVISIONS
DATE				
12/29/21				

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I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Robert S. Molstad, P.E.
Date: 7/29/21 Lic. No. 26728

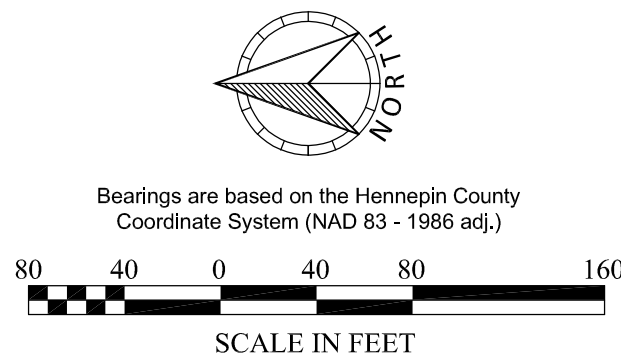


SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.
--
INDEPENDENCE, MINNESOTA

GRADING - DRAINAGE EXHIBIT
BRIDGEVINE
BOHLAND DEVELOPMENT

FILE NO.
3568-034
1
1



PREPARED BY	PREPARED FOR
ENGINEER SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MINNESOTA 55391 PHONE: (952) 476-6000 FAX: (952) 476-0104 CONTACT: ROBERT S. MOLSTAD, P.E. EMAIL: MOLSTAD@SATHRE.COM	DEVELOPER BOHLAND DEVELOPMENT 815 WAYZATA BLVD EAST WAYZATA, MN 55391 CONTACT: STEVE BOHL PHONE: (952) 473-2089 EMAIL: steve@bohldevelopment.com

DEVELOPMENT DATA

Otten Parcel
2236 South Lake Shore Dr
24-118-24-14-0005
43.99 ac

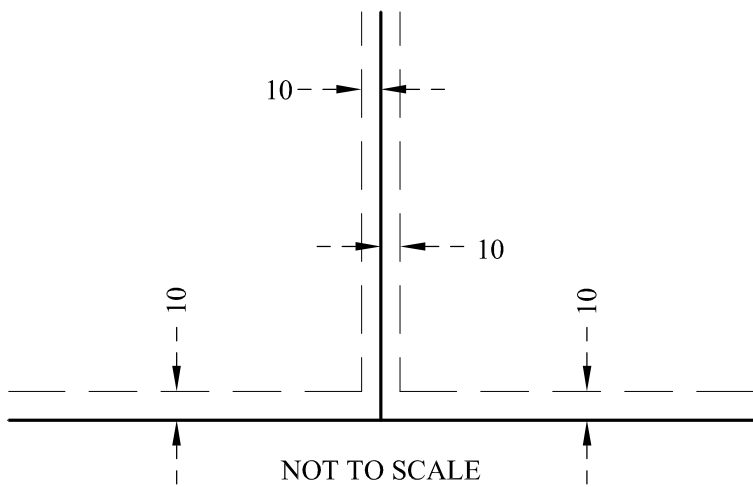
28 Lots
1 Ac Min Lot
100' Min Width

Street: 66' ROW
CDS - 60' R (50' R)

SETBACKS

Frontyard Setback: 25'
Corner Setback: 15'
Sideyard Setback: 10'
Rearyard Setback: 25'
Lake Setback: 100'

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



Being 5 feet in width and adjoining lot lines, unless otherwise indicated, and being 10 feet in width and adjoining right of way lines, unless otherwise indicated on this plat.

SURVEY LEGEND

- | | |
|-------------------------------|-----------------------------|
| ● CAST IRON MONUMENT | WOE WALKOUT ELEVATION |
| ○ IRON PIPE MONUMENT SET | FEE FIRST FLOOR ELEVATION |
| ○ IRON PIPE MONUMENT FOUND | GFE GARAGE FLOOR ELEVATION |
| ○ DRILL HOLE FOUND | TOF TOP OF FOUNDATION ELEV. |
| ✕ CHISELED "X" MONUMENT SET | LOE LOWER OPENING ELEV. |
| ✕ CHISELED "X" MONUMENT FOUND | CONCRETE |
| ★ REBAR MONUMENT FOUND | BITUMINOUS |
| △ PK NAIL MONUMENT SET | BUILDING SETBACK LINE |
| ▲ PK NAIL MONUMENT FOUND | CTV |
| ○ PK NAIL W/ ALUMINUM DISC | CONCRETE CURB |
| △ SURVEY CONTROL POINT | CONTOUR EXISTING |
| □ A/C UNIT | CONTOUR PROPOSED |
| □ CABLE TV PEDESTAL | GUARD RAIL |
| □ ELECTRIC TRANSFORMER | DT DRAIN TILE |
| □ ELECTRIC MANHOLE | ELC ELECTRIC UNDERGROUND |
| □ ELECTRIC METER | FENCE |
| □ ELECTRIC OUTLET | FO FIBER OPTIC UNDERGROUND |
| □ YARD LIGHT | GAS GAS UNDERGROUND |
| □ LIGHT POLE | GHU OVERHEAD UTILITY |
| □ FIBER OPTIC MANHOLE | OHU OVERHEAD UTILITY |
| □ FIRE DEPT. HOOK UP | TR TREE LINE |
| □ FLAG POLE | SS SANITARY SEWER |
| □ FUEL PUMP | SP STORM SEWER |
| □ FUEL TANK | TU TELEPHONE UNDERGROUND |
| □ PROPANE TANK | UTL UTILITY UNDERGROUND |
| □ GAS METER | WATERMAIN |
| □ GAS VALVE | TS TRAFFIC SIGNAL |
| □ GAS MANHOLE | RR RAILROAD TRACKS |
| □ GENERATOR | RS RAILROAD SIGNAL |
| □ GUARD POST | RS RAILROAD SWITCH |
| □ HAND HOLE | SS SATellite DISH |
| □ MAIL BOX | WB WETLAND BUFFER SIGN |
| □ PIEZOMETER | CS CURB STOP |
| □ POWER POLE | GV GATE VALVE |
| □ GUY WIRE | HY HYDRANT |
| □ ROOF DRAIN | IR IRRIGATION VALVE |
| □ LIFT STATION | PI POST INDICATOR VALVE |
| □ SANITARY MANHOLE | SI SIGN |
| □ SANITARY CLEANOUT | SB SOIL BORING |
| □ STORM MANHOLE | TC TREE CONIFEROUS |
| □ STORM DRAIN | TD TREE DECIDUOUS |
| □ CATCH BASIN | TR TREE CONIFEROUS REMOVED |
| □ FLARED END SECTION | TD TREE DECIDUOUS REMOVED |
| □ WATERMAIN MANHOLE | TM TELEPHONE MANHOLE |
| □ WATER METER | UM UTILITY MANHOLE |
| □ WATER SPIGOT | UP UTILITY PEDESTAL |
| □ WELL | UV UTILITY VAULT |
| □ MONITORING WELL | |

FIELD CREW	NO.	BY	DATE	REVISION
DM, AK, DR, ABE	1	EMW	12/10/2021	LAYOUT REVISION
DRAWN	2	EMW	12/22/2021	UPDATE POND EASEMENT
CMT/EMW				
CHECKED				
DLS				
DATE				
11/1/2021				

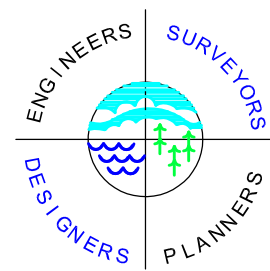
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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 29th day of November, 2021.

Daniel L. Schmidt

Daniel L. Schmidt, PLS
schmidt@sathre.com
Minnesota License No. 26147



SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000
WWW.SATHRE.COM

TWP:118-RGE:24-SEC:24
Hennepin County

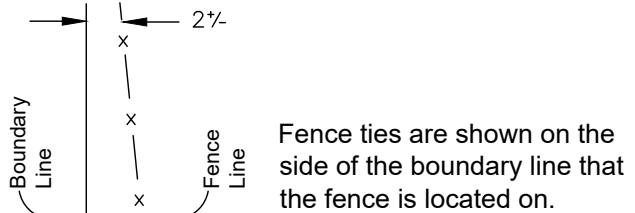
**INDEPENDENCE,
MINNESOTA**

**PRELIMINARY PLAT
BRIDGEVINE
PREPARED FOR:
BOHLAND DEVELOPMENT**

FILE NO.
3568-034

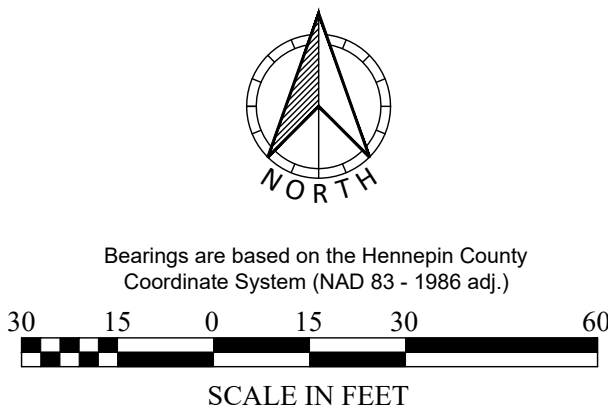
1

1



ALTA/NSPS LAND TITLE SURVEY PREPARED FOR: BOHLAND HOMES	FILE NO. 3568-034
	<div style="display: flex; justify-content: space-between; align-items: center; height: 100px;"> <div style="font-size: 48px; font-weight: bold;">2</div> <div style="font-size: 48px; font-weight: bold;">3</div> </div>

DETAIL A



SURVEY LEGEND

- | | | |
|-------------------------------|---------------------------|-----------------------------|
| ● CAST IRON MONUMENT | ⊙ PIEZOMETER | WOE WALKOUT ELEVATION |
| ○ IRON PIPE MONUMENT SET | ⊙ POWER POLE | FFE FIRST FLOOR ELEVATION |
| ● IRON PIPE MONUMENT FOUND | ⊙ GUY WIRE | GFE GARAGE FLOOR ELEVATION |
| ● DRILL HOLE FOUND | ⊙ ROOF DRAIN | TOF TOP OF FOUNDATION ELEV. |
| ✕ CHISELED "X" MONUMENT SET | ⊙ LIFT STATION | LOE LOWEST OPENING ELEV. |
| ✕ CHISELED "X" MONUMENT FOUND | ⊙ SANITARY MANHOLE | |
| ✕ REBAR MONUMENT FOUND | ⊙ SANITARY CLEANOUT | |
| ▲ PK NAIL MONUMENT SET | ⊙ STORM MANHOLE | CONCRETE |
| ▲ PK NAIL MONUMENT FOUND | ⊙ STORM DRAIN | BITUMINOUS |
| ○ PK NAIL W/ ALUMINUM DISC | ⊙ CATCH BASIN | BUILDING SETBACK LINE |
| △ SURVEY CONTROL POINT | ⊙ FLARED END SECTION | CTV CABLE TV |
| ⊠ A/C UNIT | ⊙ TREE CONIFEROUS | CONCRETE CURB |
| ⊠ CABLE TV PEDESTAL | ⊙ TREE DECIDUOUS | CONTOUR EXISTING |
| ⊠ ELECTRIC TRANSFORMER | ⊙ TREE CONIFEROUS REMOVED | CONTOUR PROPOSED |
| ⊠ ELECTRIC MANHOLE | ⊙ TREE DECIDUOUS REMOVED | QUARD RAIL |
| ⊠ ELECTRIC METER | ⊙ TELEPHONE MANHOLE | DT DRAIN TILE |
| ⊠ ELECTRIC OUTLET | ⊙ TELEPHONE PEDESTAL | ELC ELECTRIC UNDERGROUND |
| ⊙ YARD LIGHT | ⊙ UTILITY MANHOLE | FENCE |
| ⊙ LIGHT POLE | ⊙ UTILITY PEDESTAL | FO FIBER OPTIC UNDERGROUND |
| ⊙ FIBER OPTIC MANHOLE | ⊙ UTILITY VALVE | GAS GAS UNDERGROUND |
| ⊙ FIRE DEPT. HOOK UP | ⊙ WATER MAIN MANHOLE | OHU OVERHEAD UTILITY |
| ⊙ FLAG POLE | ⊙ WATER METER | ⊙ SANITARY SEWER |
| ⊙ FUEL PUMP | ⊙ WATER SPIGOT | ⊙ STORM SEWER |
| ⊙ FUEL TANK | ⊙ WELL | TEL TELEPHONE UNDERGROUND |
| ⊙ PROPANE TANK | ⊙ MONITORING WELL | UTL RETAINING WALL |
| ⊙ GAS METER | ⊙ CURB STOP | UTL UTILITY UNDERGROUND |
| ⊙ GAS VALVE | ⊙ GATE VALVE | WATERMAIN |
| ⊙ GAS MANHOLE | ⊙ HYDRANT | TRAFFIC SIGNAL |
| ⊙ GENERATOR | ⊙ IRRIGATION VALVE | RAILROAD TRACKS |
| ⊙ GUARD POST | ⊙ POST INDICATOR VALVE | RAILROAD SIGNAL |
| ⊙ HAND HOLE | ⊙ SIGN | RAILROAD SWITCH |
| ⊙ MAIL BOX | ⊙ SOIL BORING | SATellite DISH |
| | | WETLAND BUFFER SIGN |

FIELD CREW	NO.	BY	DATE	REVISION
DM, AK, DR, ABE				
DRAWN				
CMT				
CHECKED				
DLS				
DATE				
11/1/2021				

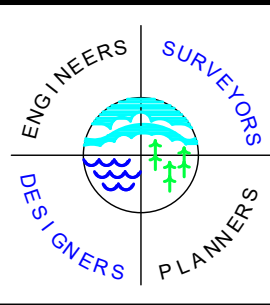
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To: Bohland Homes, Clifford L. Otten, and Old Republic Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1 - 6a, 7a, 8, 11b, 14, 16, and 17 of Table A thereof. The field work was completed on November 5, 2021.

Date of Plat or Map: 11/23/2021

Daniel L. Schmidt
Daniel L. Schmidt, PLS
Minnesota License No. 26147



SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000
WWW.SATHRE.COM

TWP:118-RGE:24-SEC:24 Hennepin County
INDEPENDENCE, MINNESOTA

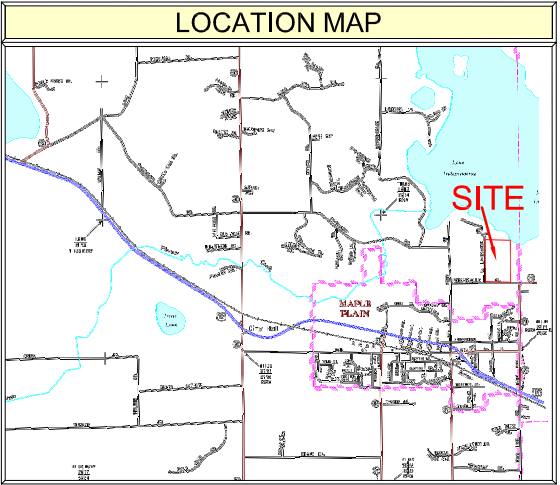
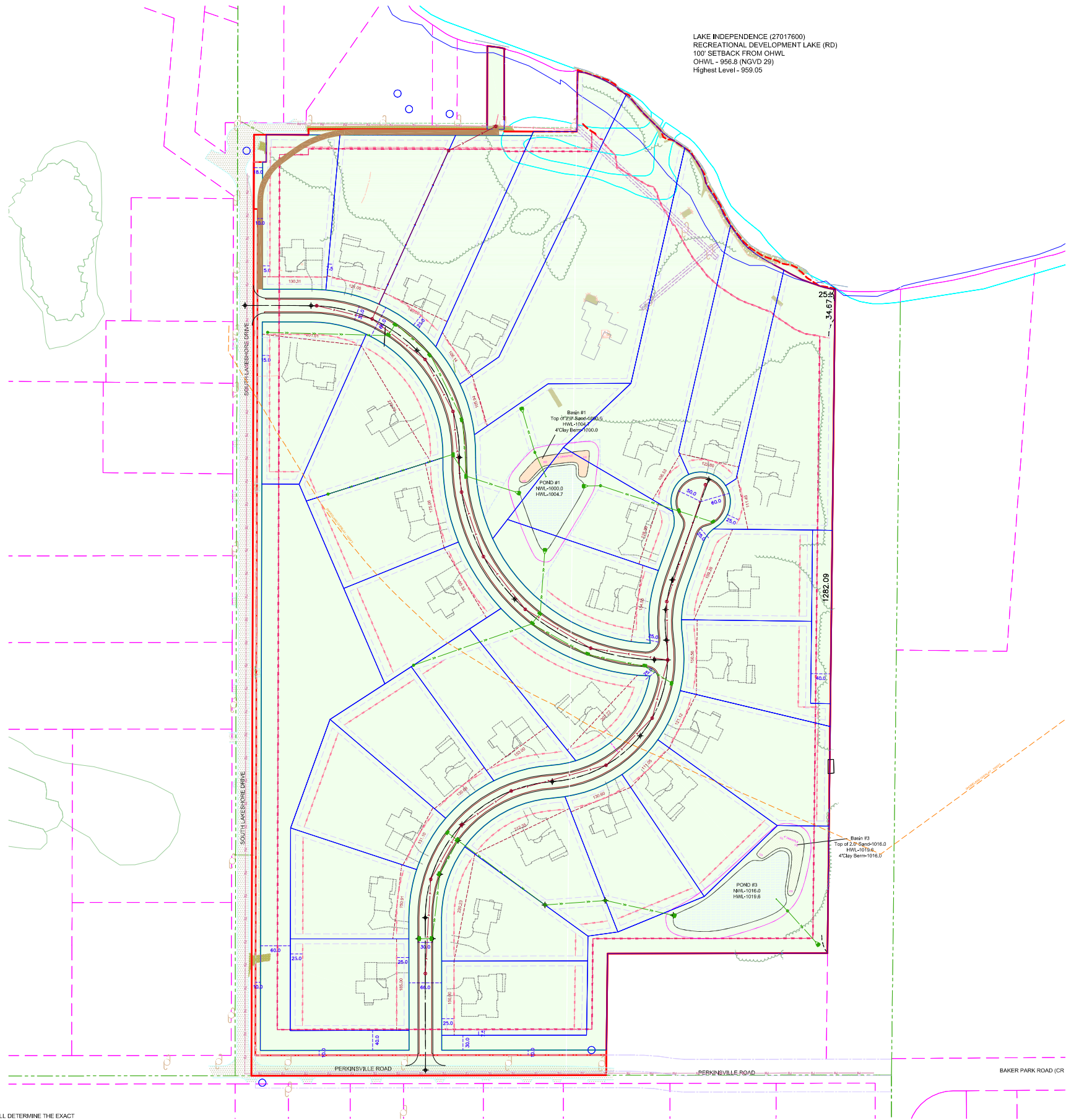
ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR:
BOHLAND HOMES

FILE NO.
3568-034

3

3



SHEET INDEX TABLE	
SHEET	Description
1	Title Sheet
2-4	Preliminary Street Plan
5-8	Preliminary Sanitary Sewer Plan
9-12	Preliminary Storm Sewer Plan
13-15	Preliminary Grading Plan
16-17	Preliminary Erosion Control Plan

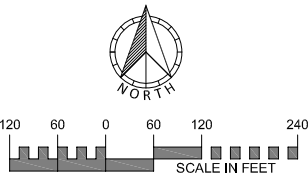
Notes:
Zoning:

Lots: 29 Single Family Lots
Front Yard Setback: 25'
Side Yard Setback: 7.5'/7.5'
Side Yard Setback Corner Lot: 25'
Rear Yard Setback: 25'

Street: 66' ROW
30' B-B - Surmountable Curb

*NOTE - HOUSES SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY

PREPARED BY	PREPARED FOR
ENGINEER SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MINNESOTA 55391 PHONE: (952) 476-6000 FAX: (952) 476-0104 CONTACT : ROBERT S. MOLSTAD, P.E. EMAIL: MOLSTAD@SATHRE.COM	DEVELOPER BOHLAND DEVELOPMENT 815 WAYZATA BLVD EAST WAYZATA, MN 55391 CONTACT: STEVE BOHL PHONE: (952) 473-2089 EMAIL: STEVE@BOHLANDDEVELOPMENT.COM



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS
TITLE				
DRAWN BY				
CAW				
CHECKED BY				
RSM				
DATE				
12/29/21				

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I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ROBERT S. MOLSTAD, P.E.
Date: _____ Lic. No. _____

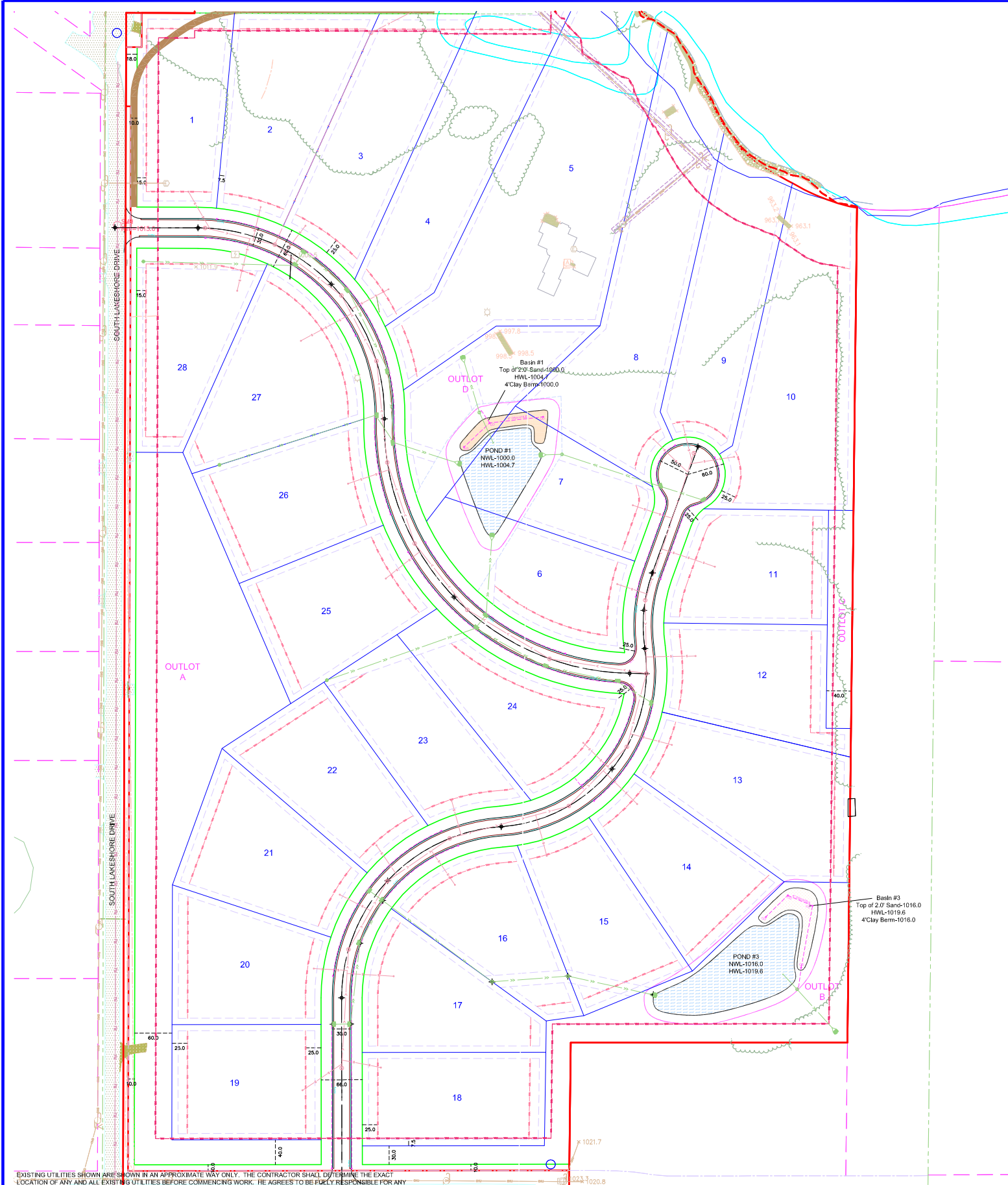


SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.
--
INDEPENDENCE,
MINNESOTA

TITLE SHEET
BRIDGEVINE
BOHLAND DEVELOPMENT

FILE NO.
3568-034
1
17



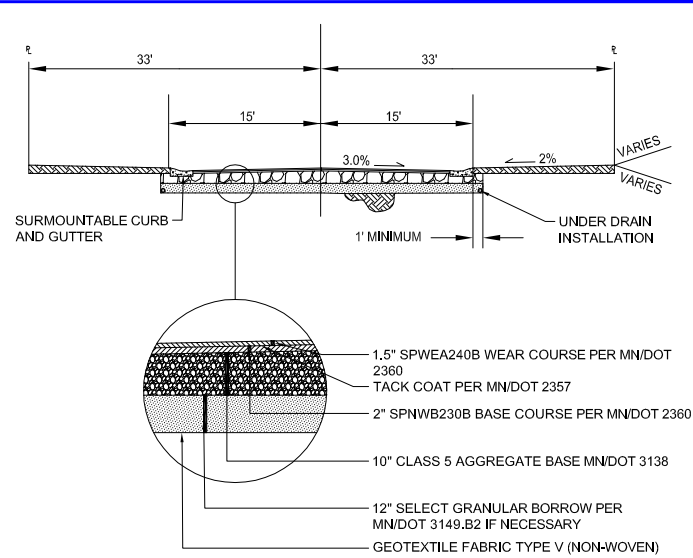
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DRAWING NAME	NO.	BY	DATE	REVISIONS
STREET				
DRAWN BY				
CAW				
CHECKED BY				
RSM				
DATE				
12/29/21				

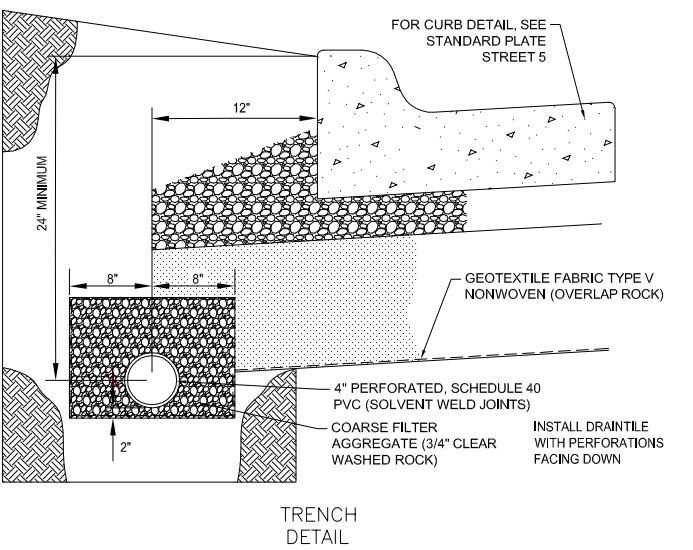
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ROBERT S. MOLSTAD, P.E.
Date: _____ Lic. No. _____



- NOTES:
- PAVING SECTION DESIGN SHALL BE VERIFIED BY AN INDEPENDENT SOILS ENGINEER BASED ON ACTUAL SITE SOIL CONDITIONS
 - TYPICAL SECTION SHOWN IS THE MINIMUM RESIDENTIAL STREET REQUIREMENT. SEE SPECIFICATIONS FOR PROJECT SPECIFIC DETAILS.
 - DRAINTILE SHALL BE INSTALLED BEHIND CURB. DRAINTILE TO BE INSTALLED AS REQUIRED TO ADEQUATELY DRAIN ALL SELECT GRANULAR FILL AREAS.
 - STREET SHALL BE DESIGNED FOR A 30 MPH DESIGN SPEED WITH MINIMUM 0.50% AND MAXIMUM 6.00% GRADE.
 - THE CITY RESERVES THE RIGHT TO INCREASE THE STREET SECTION BASED ON SOIL CONDITIONS.
 - TACK COAT PER MN/DOT 2357 TO BE USED ON CURB PRIOR TO PLACEMENT OF BITUMINOUS

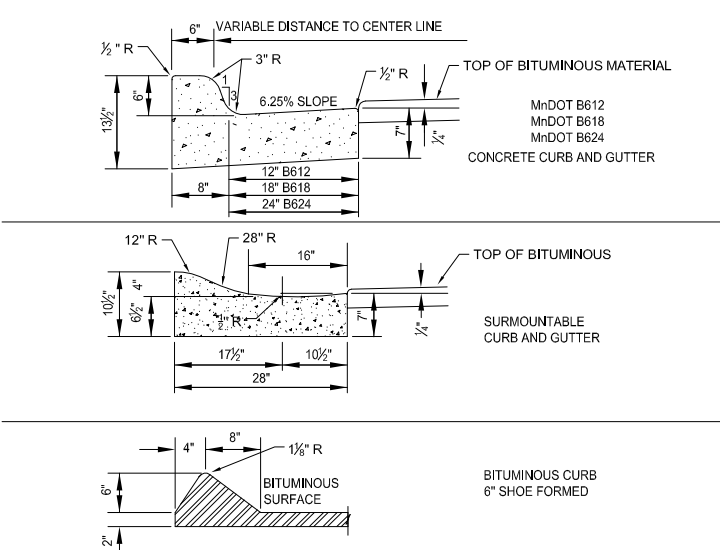


- NOTES:
- PLACE SUB-DRAIN BEHIND ALL CURB & GUTTER 250 LF IN EACH DIRECTION FROM CATCH BASINS LOCATED AT LOCALIZED LOW POINTS AND 150 LF UPSTREAM FROM CATCH BASINS LOCATED IN THE MID SLOPE.
 - CONNECT SUB-DRAIN TO NEAREST CATCH BASIN. CONNECTION TO BE CORE-DRILLED. DOGHOUSES MUST BE GROUTED BOTH INSIDE AND OUTSIDE OF STRUCTURE.
 - SLOPE SUB-DRAIN TO CATCH BASIN.
 - SUBDRAIN MAY BE DAYLIGHTED TO DITCH AS APPROVED BY CITY ENGINEER.
 - CLEANOUTS ARE REQUIRED AT A MAXIMUM OF 200 FOOT INTERVALS, AT BENDS, AND AT THE END OF THE RUN.

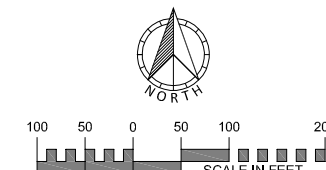
LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
SANWV SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		

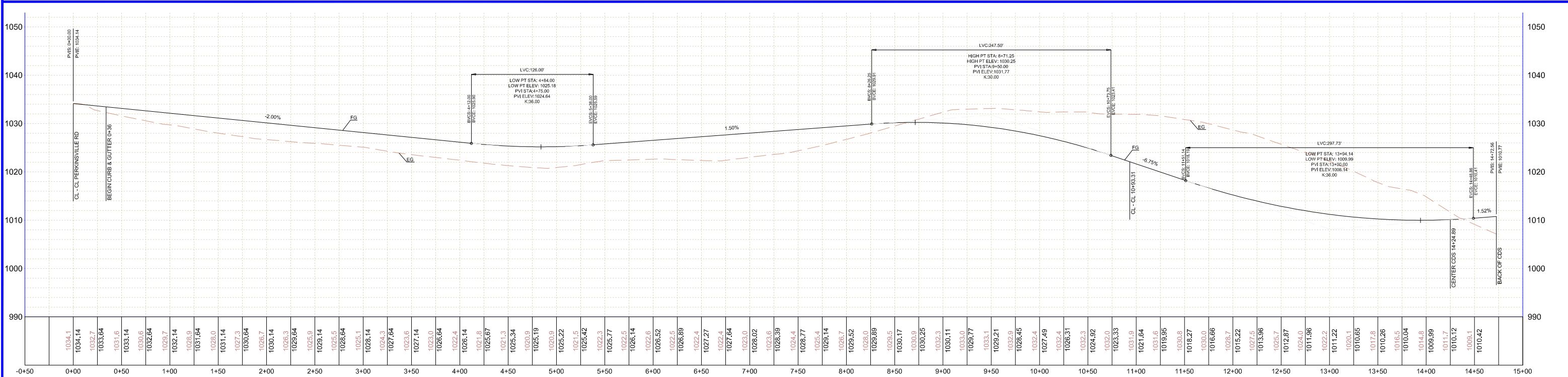
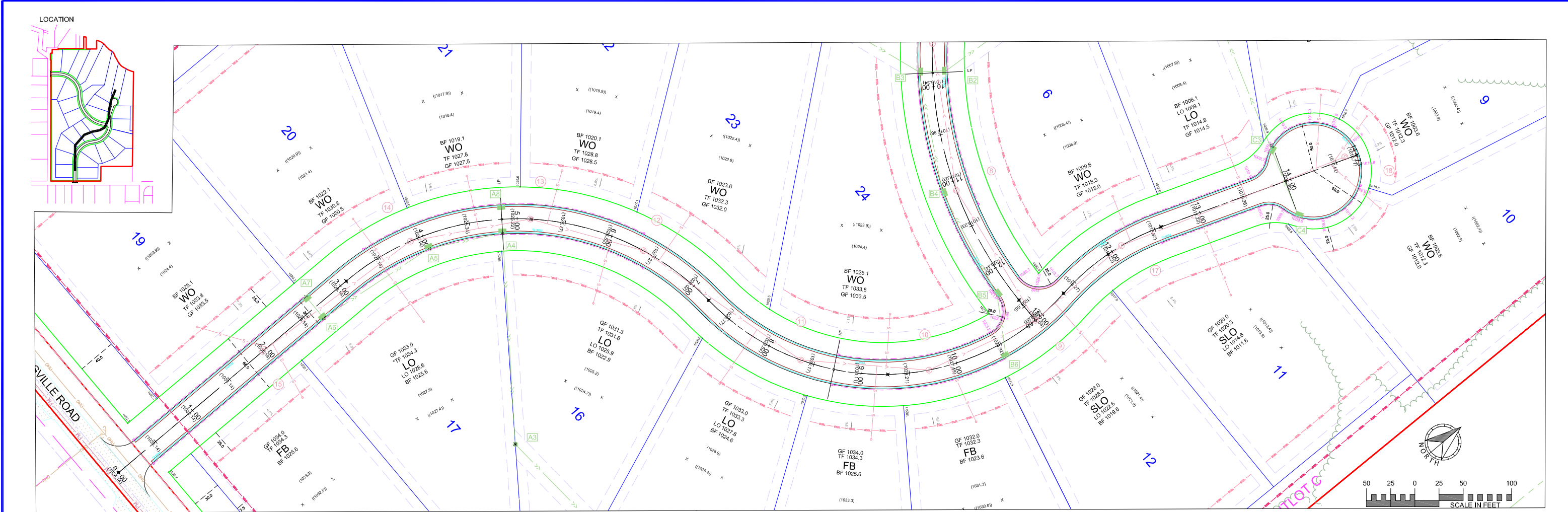
- STREET NOTES:
- ALL PUBLIC STREETS ARE 26' BB UNLESS OTHERWISE NOTED. CURB DIMENSIONS ARE BACK TO BACK.
 - SEE CITY DETAILS FOR STREET DESIGN STANDARDS.
 - STREET RADII AS FOLLOWS:
INTERNAL INTERSECTIONS = 25' RADIUS
 - ALL STORM SEWER STRUCTURES SHALL BE EXPOSED DURING STRING LINE OF CURB TO ENSURE PROPER FIT WITH CONCRETE RINGS.
 - ALL PUBLIC STREETS SHALL BE NO PARKING ON ONE SIDE.


- LEGEND:
- SURM DENOTES PROPOSED SURMOUNTABLE CURB
 - B618 DENOTES PROPOSED B618 CURB
 - X.X% DENOTES PROPOSED DRIVEWAY GRADE
 - DRAINTILE
 - CLEANOUT

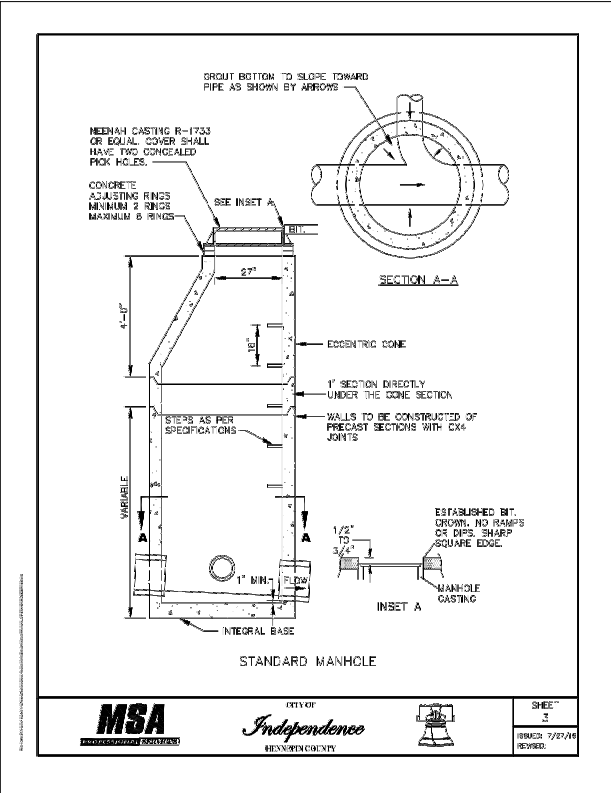
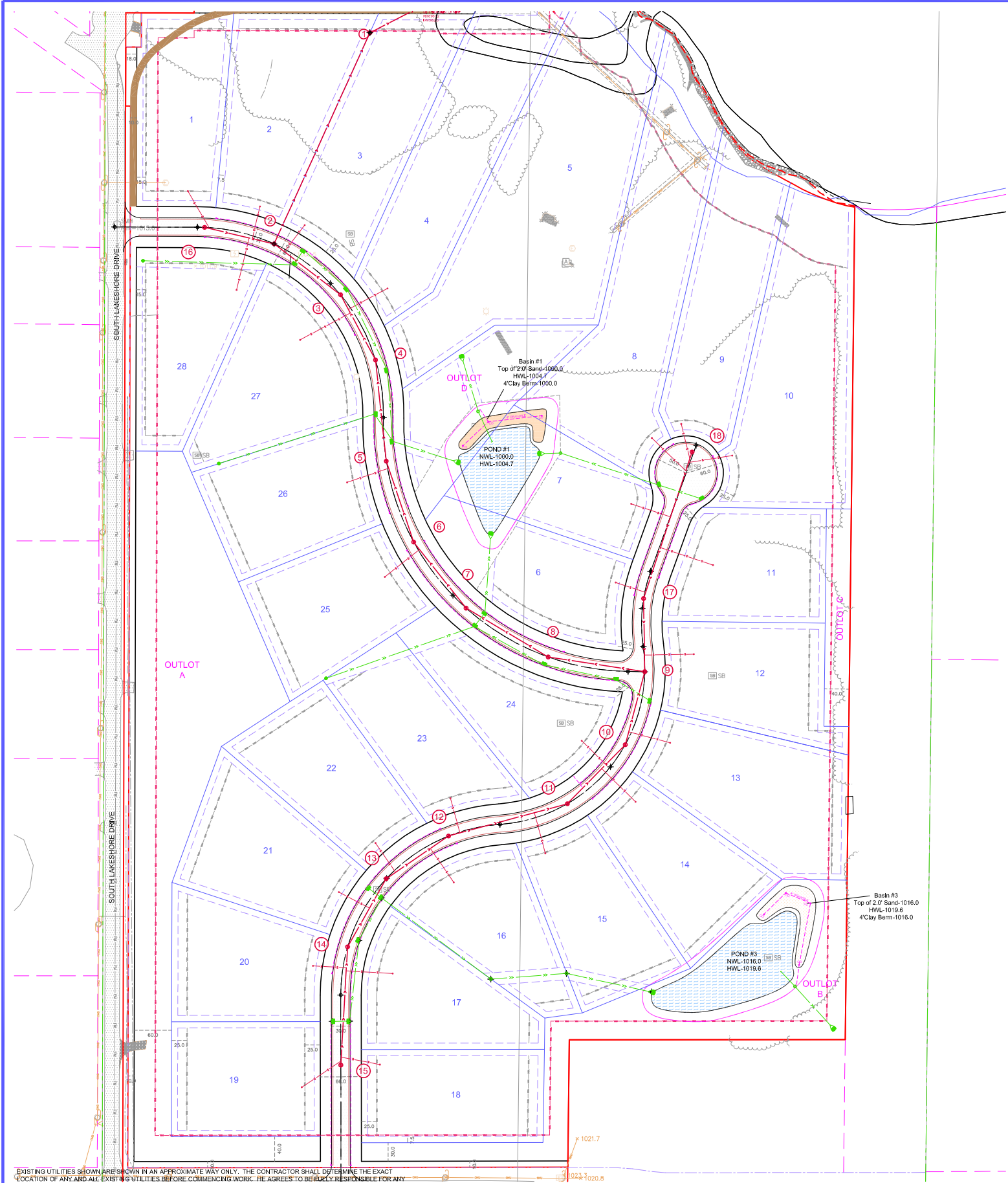


- NOTES:
- ONCE CURB AND GUTTER ARE INSTALLED, ENSURE EROSION CONTROL MEASURES ARE PROPERLY ESTABLISHED.
 - USE SUITABLE MATERIAL TO BACKFILL AREA BEHIND CURB.





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STREET										3
DRAWN BY										
CAW										
CHECKED BY								INDEPENDENCE, MINNESOTA		
RSM										
DATE										
12/29/21										



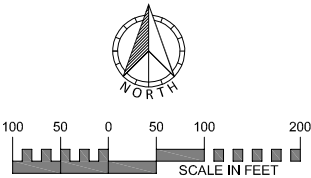
LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	SSBL	SSBL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE		CSBL
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
SANWWM SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRAP-RAP		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		

SANITARY SEWER NOTES:

- ALL DIP FOR SANITARY SEWER LINES SHALL BE POLY-WRAPPED AND ALL BOLTS USED SHALL BE STAINLESS STEEL (ASTM F593 TYPE 304).
- REFER TO DETAIL SHEETS TO SEE STRUCTURE DETAILS.
- ALL LOTS TO HAVE INDIVIDUAL WELLS. WELL LOCATIONS TO BE DETERMINED AT THE TIME OF HOME CONSTRUCTION.
- WYE LOCATIONS TO BE SUPPLIED & VERIFIED BY CONTRACTORS. WYE STATIONING IS CALCULATED FROM THE DOWN STREAM MANHOLES.
- ALL TIES AND DISTANCES ARE TO THE CENTER OF SURFACE STRUCTURES.
- ALL SEWER SERVICES TO HAVE CLEANOUTS INSTALLED AT THE TIME OF INSTALLATION.
- THE CITY OF INDEPENDENCE CURRENT "ENGINEERING GUIDELINES" AND "SPECIFICATIONS" SHALL GOVERN.
- MECHANICAL BALLS SHALL BE INSTALLED IN SANITARY SEWER AT CONNECTION POINTS FOLLOWING INSTALLATION OF PIPE TO PROTECT EXISTING LINES FROM DEBRIS & SEDIMENT INFILTRATION. BALLS SHALL REMAIN UNTIL LINES ARE TELEVIEWED & ACCEPTED BY THE CITY.
- THE CONTRACTOR SHALL CONTACT THE CITY ENGINEER AT LEAST 48 HOURS PRIOR TO ANY PUBLIC SEWER/WATERMAIN CONNECTION.
- USE AN 8" WIDE EXTERNAL SEAL WRAP, "INF-SHIELD" OR APPROVED EQUAL WITH ALL SANITARY SEWER MANHOLES.
- ALL SANITARY SEWER MANHOLE ADJUSTING RINGS INSTALLATIONS SHALL HAVE POLYMER II BARRIERS BY "STRIKE PRODUCTS" OR APPROVED EQUAL INSTALLED.
- ALL SANITARY SEWER MN SHALL INCLUDE 0.1" DROP
- RESTRAIN VERTICAL BENDS WITH STAINLESS STEEL TIE RODS PER CITY SPECIFICATION PLY 02205.9.
- SANITARY SERVICES SHALL BE 4" SCH 40 PVC.

GENERAL NOTES:

S&W INDICATES SANITARY SERVICE
X+XX INDICATES SANITARY SERVICE STATION (FROM DOWNSTREAM MANHOLE)
XXX.X INDICATES SERVICE ELEVATION
X' R INDICATES RISER HEIGHT (IF NEEDED)



DRAWING NAME	NO.	BY	DATE	REVISIONS
UTILITY				
DRAWN BY				
CAW				
CHECKED BY				
RSM				
DATE				
12/29/21				

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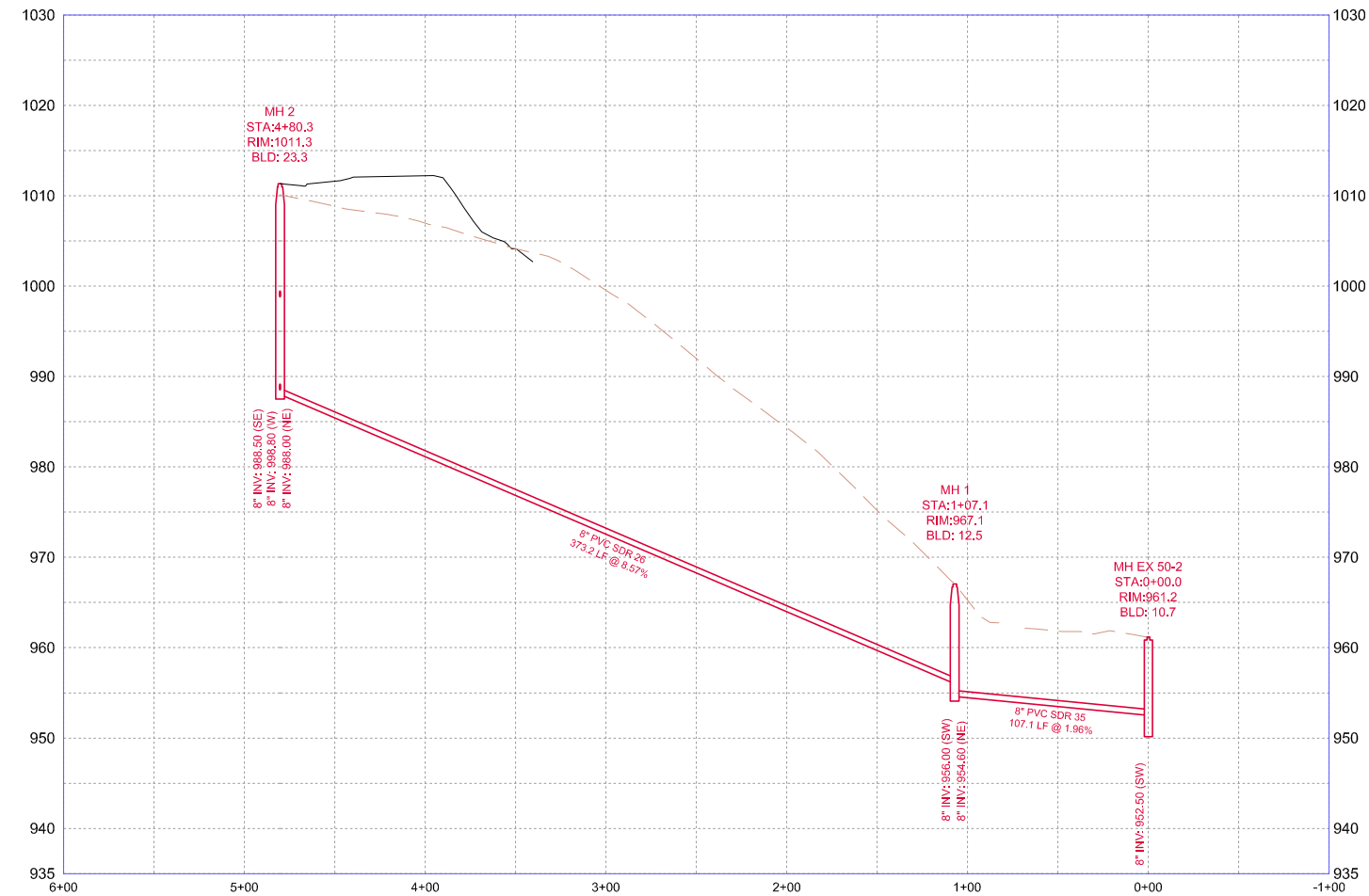
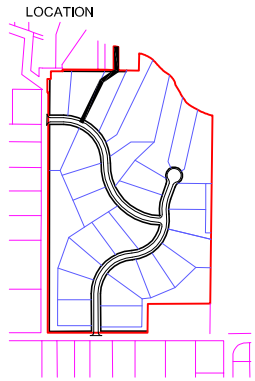
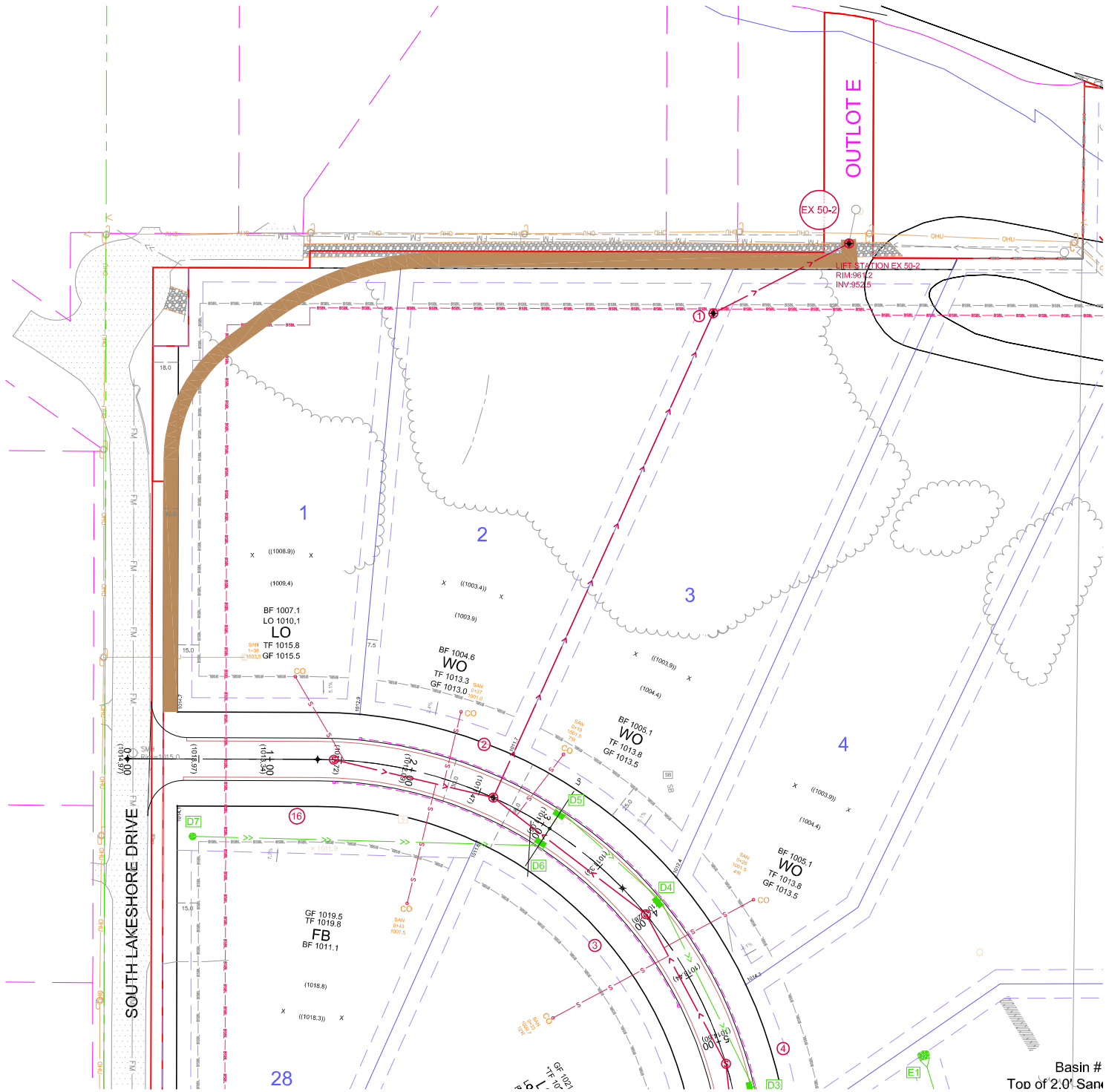


SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.
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INDEPENDENCE,
MINNESOTA

PRELIMINARY SANITARY SEWER PLAN
BRIDGEVINE
BOHLAND DEVELOPMENT

FILE NO.
3568-034
5
17



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UTILITY				
DRAWN BY				
CAW				
CHECKED BY				
RSM				
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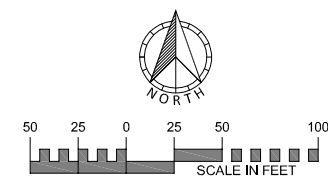
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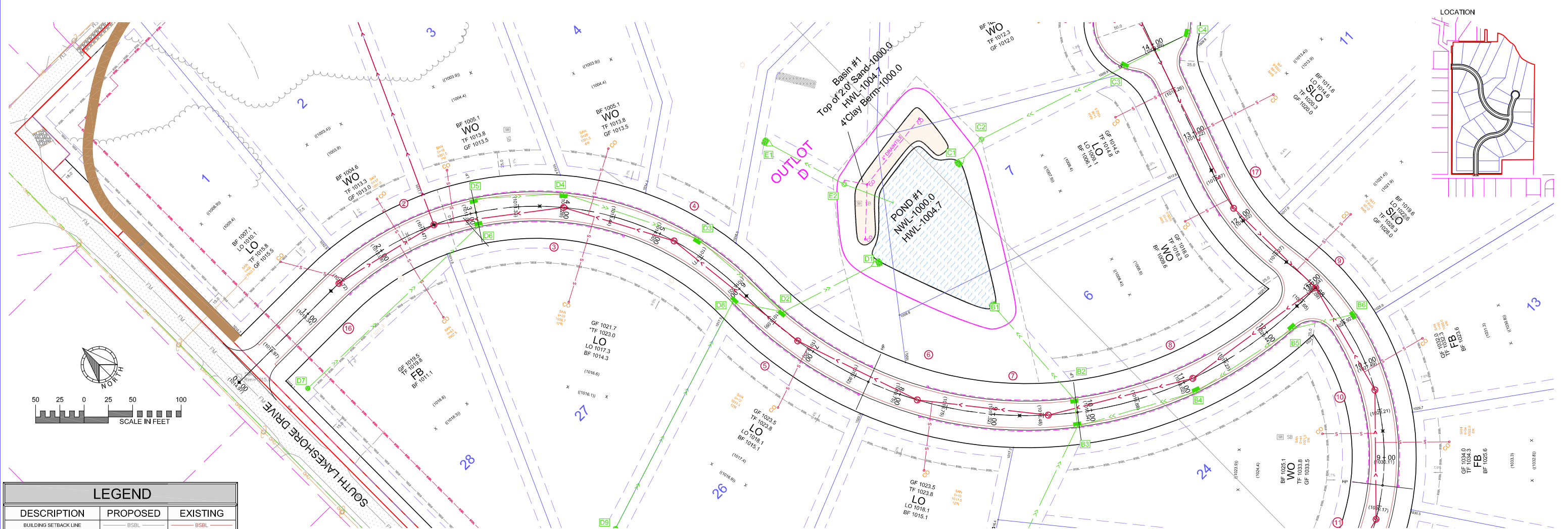
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BRIDGEVINE
BOHLAND DEVELOPMENT

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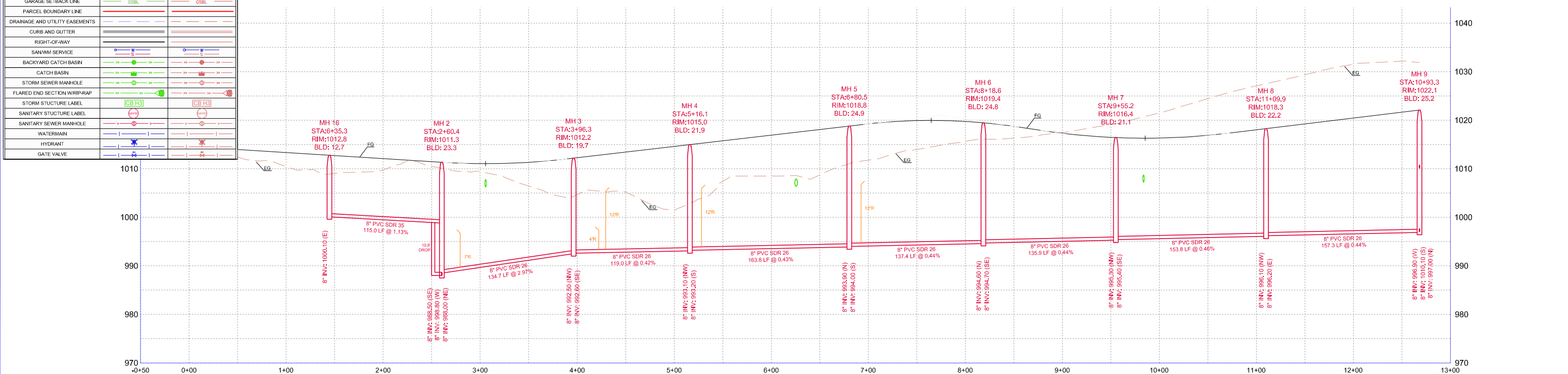
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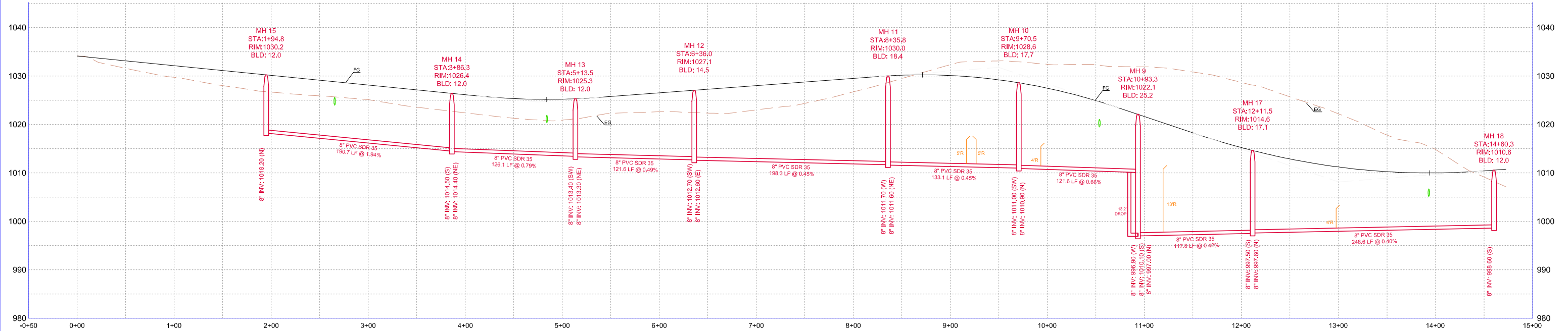
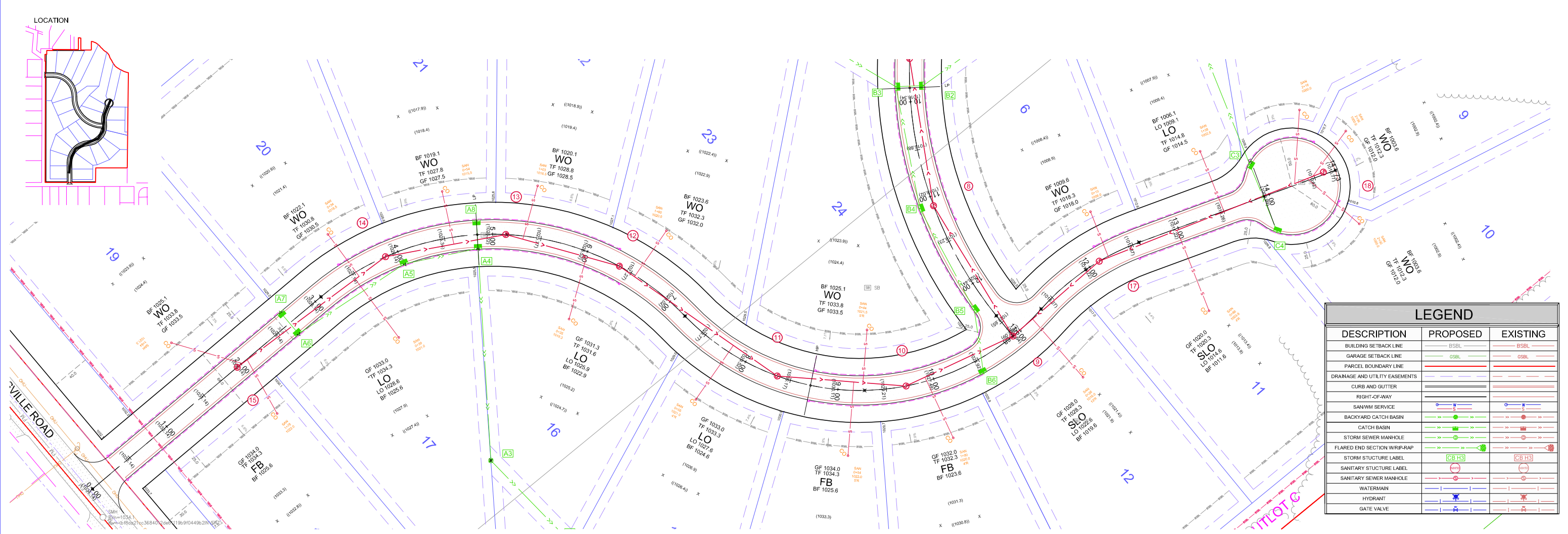


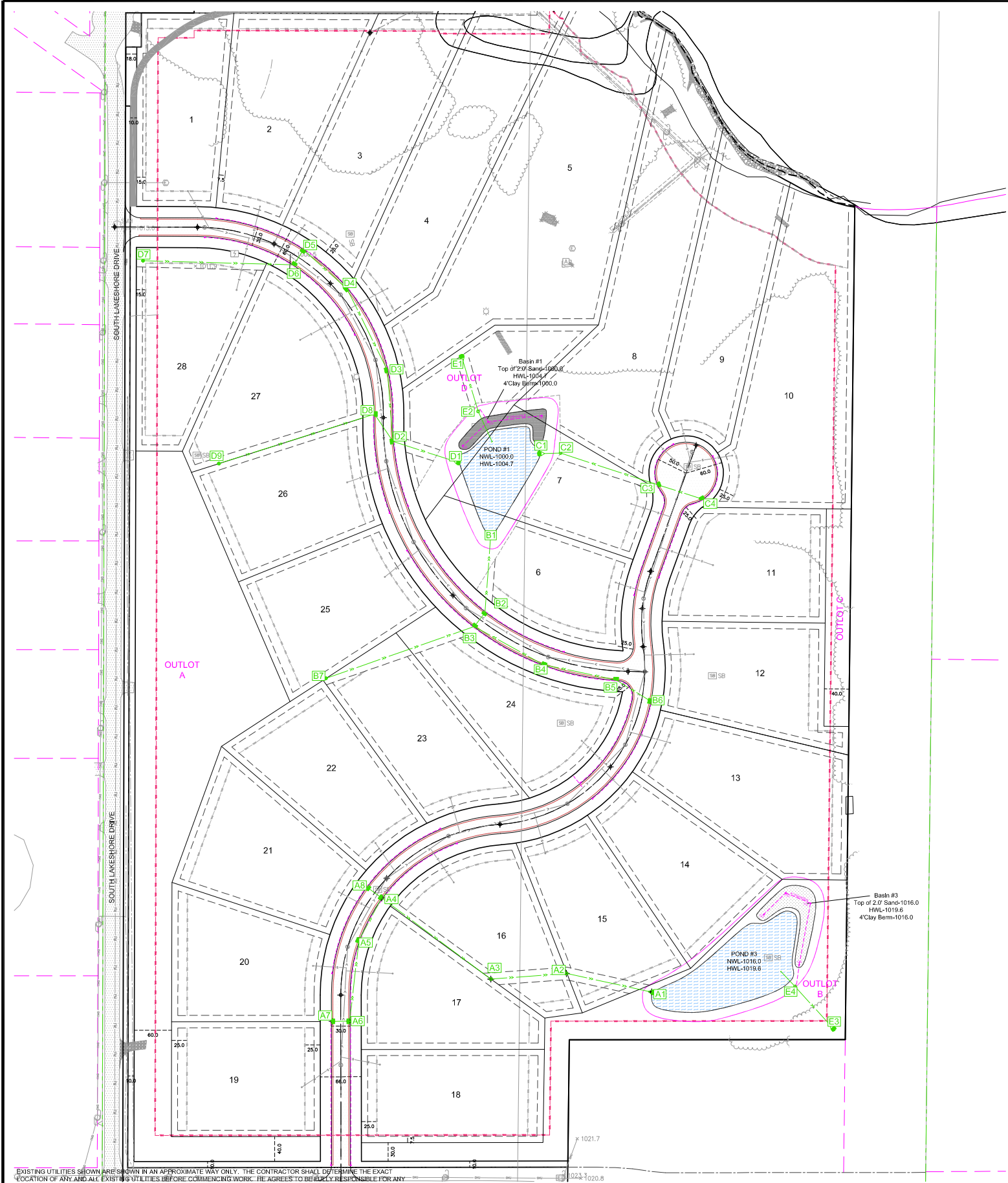
LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE	CSBL	CSBL
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
SANITARY SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		



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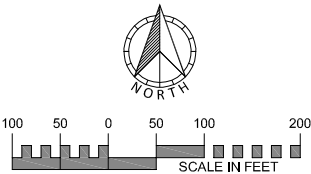
- STORM NETWORK NOTES:**
- 6" RIGID PVC DRAINTILE SHALL BE INSTALLED AT THE LOWPOINT CATCH BASINS 125' MIN. (STD) IN EACH DIRECTION & 250' IN THE UPHILL DIRECTION FOR ON SLOPE CATCH BASINS.
 - 6" PERFORATED REAR YARD DRAINTILE W/WRAP SHALL BE INSTALLED THROUGH THE FILTRATION AREAS AS SHOWN ON THE PLANS. SEE THE "TYPICAL DETAIL - INFILTRATION/FILTRATION AREA" BELOW FOR INSTALLATION PURPOSES.
 - TIE THE LAST 3 PIPE JOINTS TO FLARED END SECTIONS (TYPICAL).
 - TRASH GUARDS (HOT DIPPED GALVANIZED) SHALL BE PLACED ON ALL FLARED END SECTIONS.
 - TIE ALL PIPE JOINTS BETWEEN STORM SEWER CONTROL STRUCTURES AND APRONS AND CULVERT APRONS.
 - TIE ALL JOINTS BETWEEN OCS STRUCTURES AND FLARED END SECTIONS.
 - WIMCO'S OR APPROVED EQUAL TO BE INSTALLED AT ALL STORM INLETS.
 - GRANULAR MATERIAL SHALL BE PLACED UNDER STORM SEWER PIPE OR STRUCTURES THAT ARE LESS THAN 48" BELOW FINISHED GRADE AND EXTEND TO AT LEAST 48" BELOW FINISHED GRADE.
 - RIP-RAP FOR STORM SEWER SHALL BE CONSTRUCTED USING GRANITE ROCK, 1" DIAMETER OR LARGER AND SHALL BE HAND PLACED. RIP-RAP SHALL BE CLASS 3 ON FILTER MATERIAL ON GEOTEXTILE FABRIC.
 - ALL ADJUSTING RINGS TO BE CONCRETE.

LEGEND		
DESCRIPTION	PROPOSED	EXISTING
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GARAGE SETBACK LINE	GSBL	GSBL
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CURB AND GUTTER		
RIGHT-OF-WAY		
SANITARY SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION W/ RIP-RAP		
STORM STRUCTURE LABEL	[CB H3]	[CB H3]
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		

STRUCTURE TABLE							
STRUCTURE NAME	TYPE	DIAMETER	RIM	BUILD	INV	CASTING	NOTES
A2	CBMH		1020.9	4.3'	1016.6		
A3	CBMH		1022.9	4.9'	1018.0		
A4	CBMH		1024.6	7.6'	1017.0		
A5	CBMH		1025.5	4.0'	1021.5		
A6	CBMH		1028.3	4.3'	1024.0		
A7	CB		1028.3	4.0'	1024.3		
A8	CB		1024.6	4.0'	1020.6		
B2	CBMH		1015.7	14.7'	1001.0		
B3	CBMH		1015.8	8.1'	1007.7		
B4	CBMH		1017.7	4.0'	1013.7		
B5	CBMH		1020.7	4.0'	1016.7		
B6	CB		1024.5	4.0'	1020.5		
B7	CB		1012.9	3.4'	1009.5		
C2	STMH		1005.0	4.8'	1000.2		
C3	CBMH		1009.0	7.3'	1001.7		
C4	CB		1008.9	3.2'	1005.7		
D2	CBMH		1017.5	19.0'	998.5		
D3	CBMH		1015.0	10.9'	1004.1		
D4	CBMH		1011.6	6.0'	1005.6		
D5	CBMH		1010.5	4.3'	1006.2		
D6	CBMH		1010.5	4.0'	1006.5		
D7	CB		1011.0	3.2'	1007.8		
D8	CBMH		1016.5	9.5'	1007.0		
D9	CB		1012.9	2.9'	1010.0		

FES TABLE				
Structure Name	TYPE	SIZE (IN.)	INV	C.Y. RIP RAP
A1	FES	21	1016.0	
B1	FES	18	1000.0	
C1	FES	18	1000.0	
D1	FES	18	1000.0	
E1	FES	36	998.0	
E3	FES	12	1010.9	

OUTLET STRUCTURE TABLE			
Structure Name	TYPE	INV	DETAIL
E2	OCS	997.5 998.50	SEE STRUCTURE DETAIL
E4	OCS	1014.0 1014.00	SEE STRUCTURE DETAIL

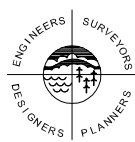


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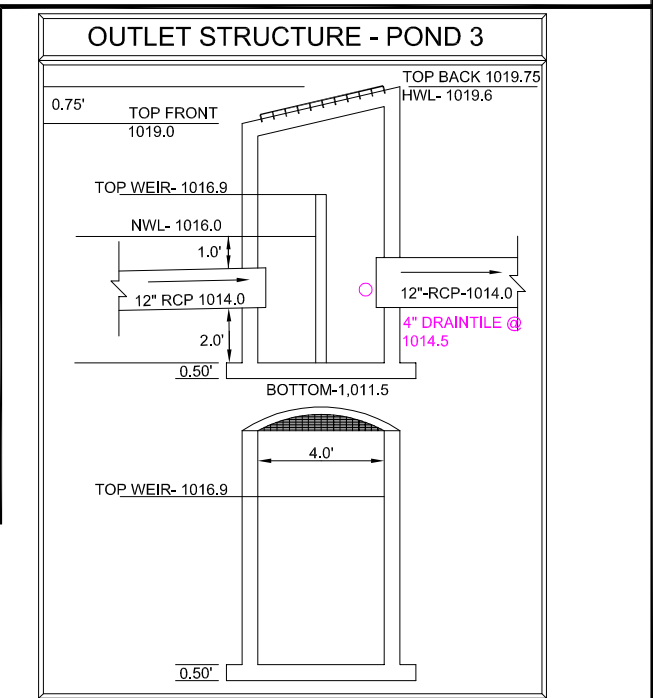
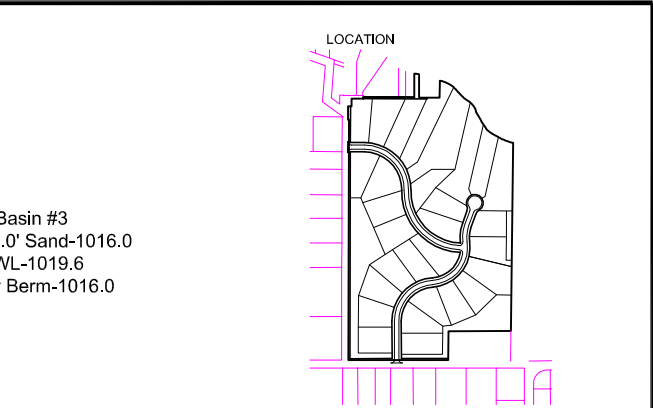
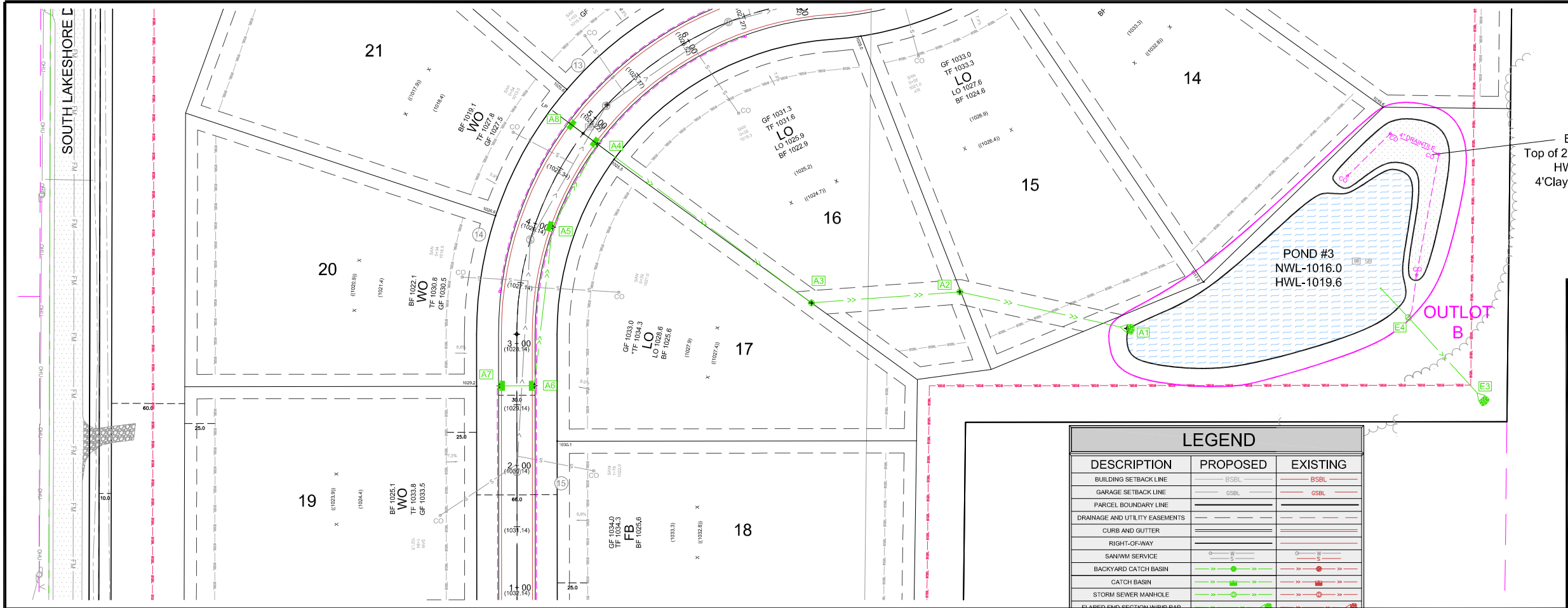


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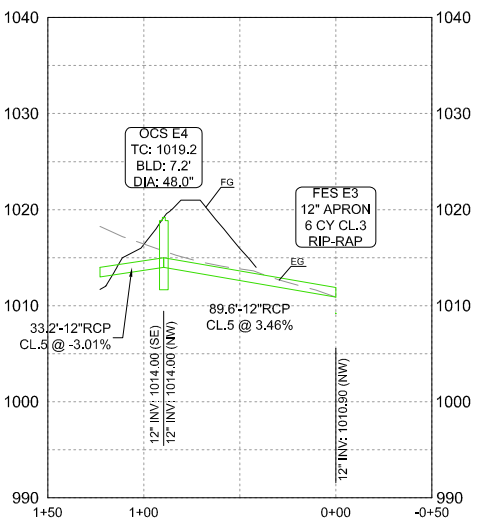
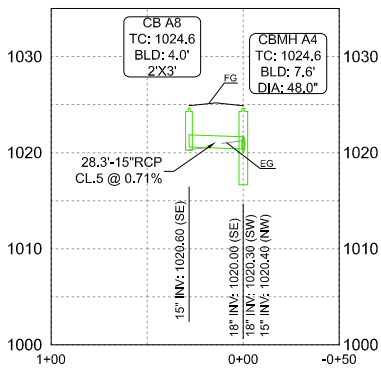
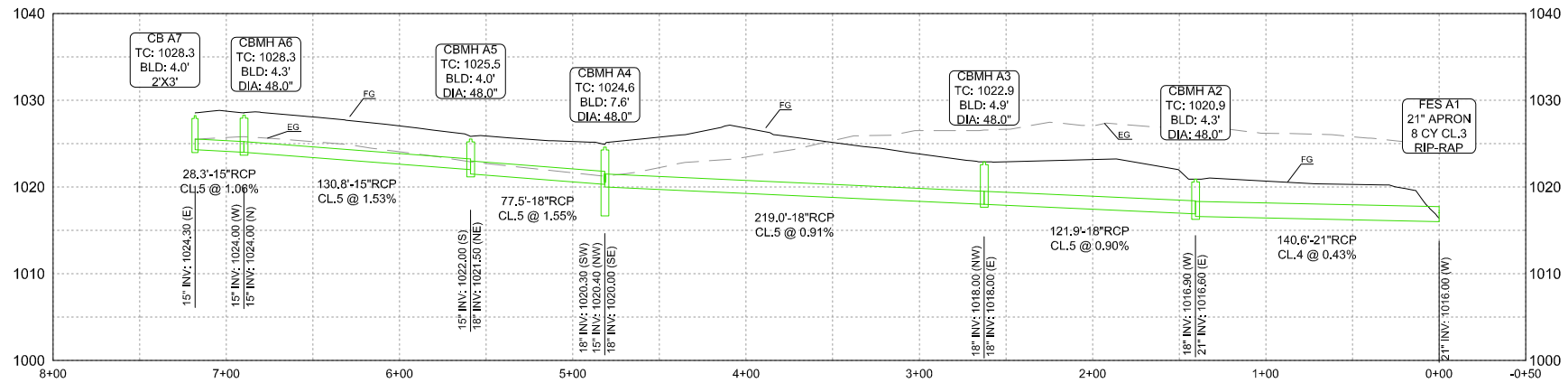
CITY PROJECT NO.
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INDEPENDENCE,
MINNESOTA

PRELIMINARY STORM SEWER PLAN
BRIDGEVINE
BOHLAND DEVELOPMENT

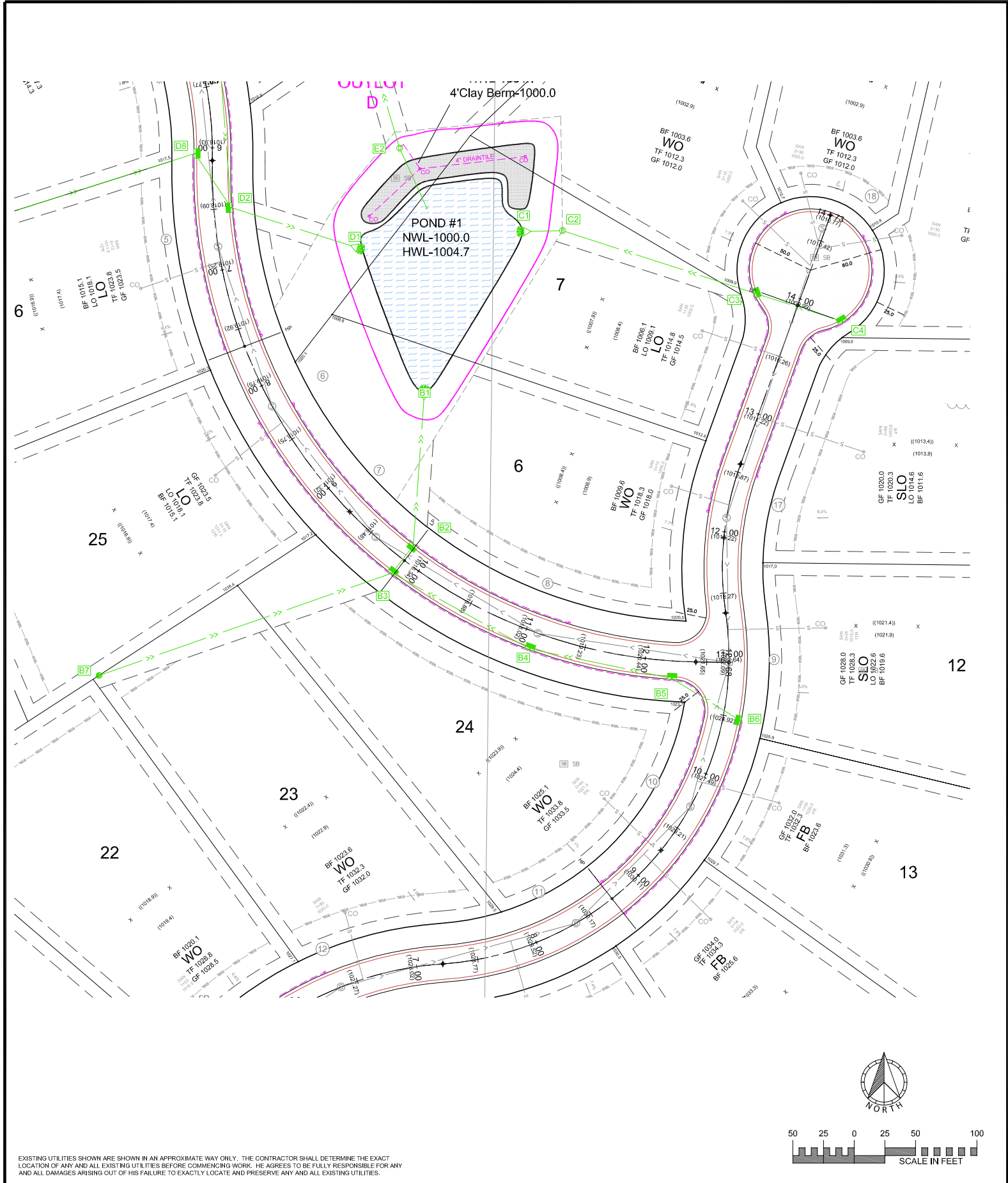
FILE NO.
3568-034
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LEGEND		
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BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
SANITARY SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION INVERT ROAD		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		



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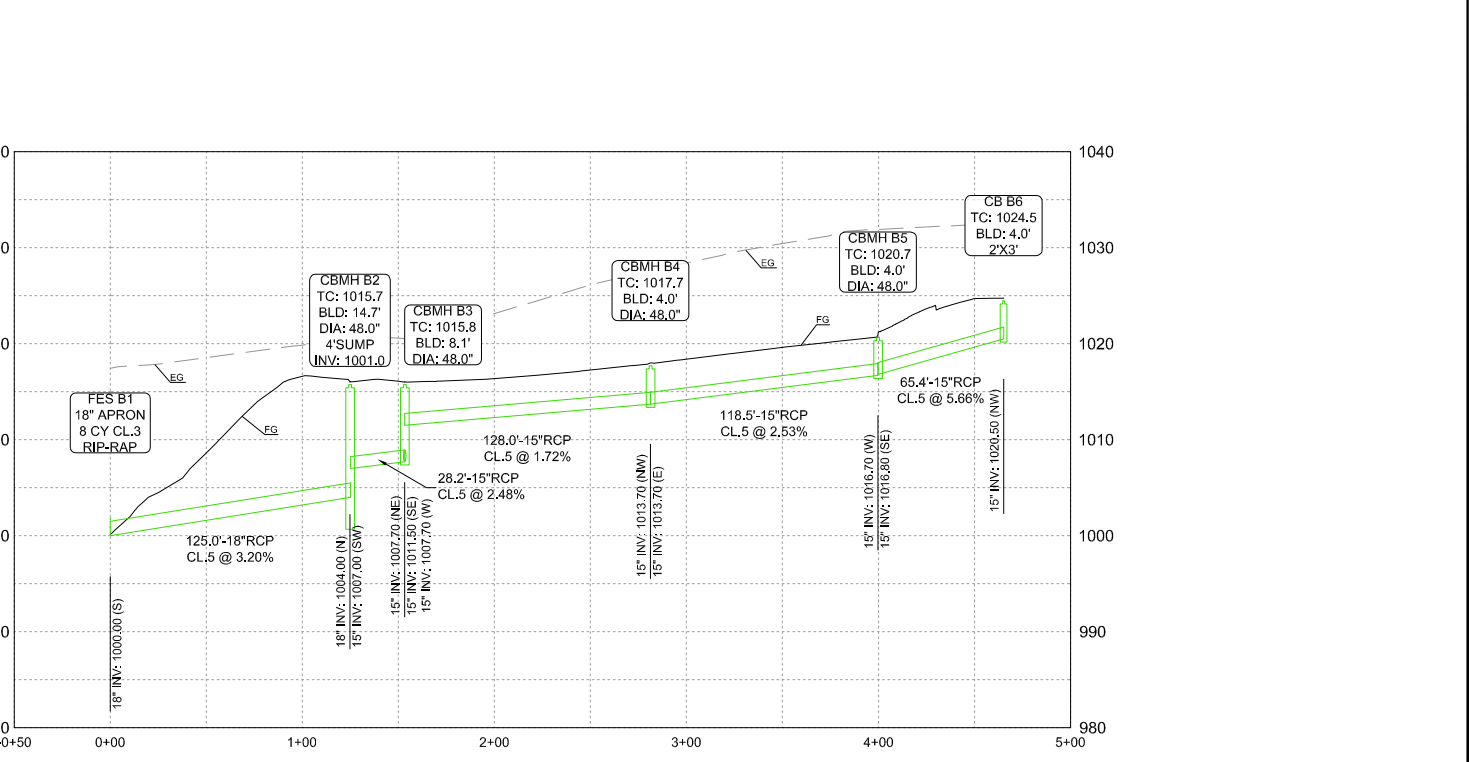
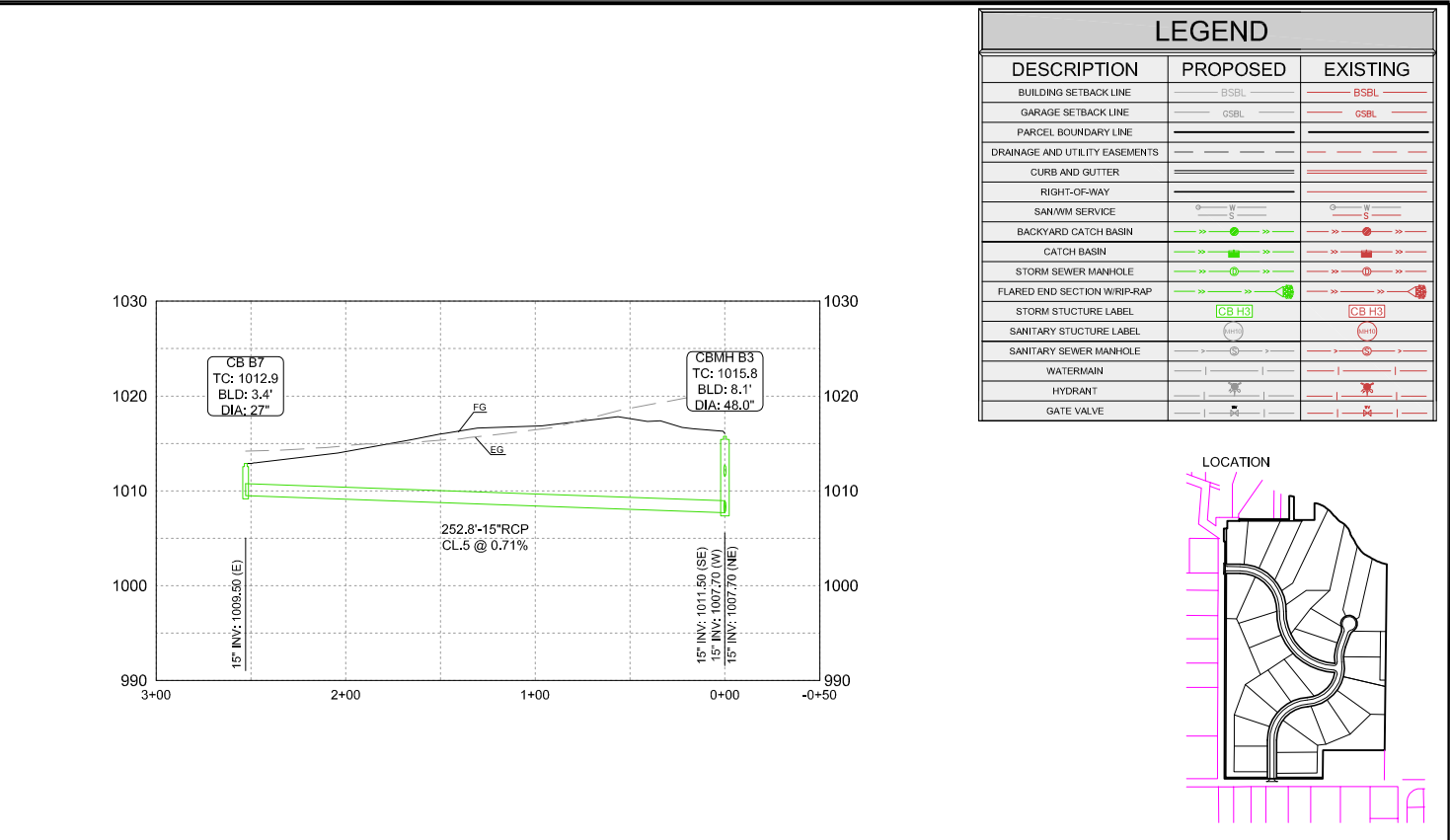
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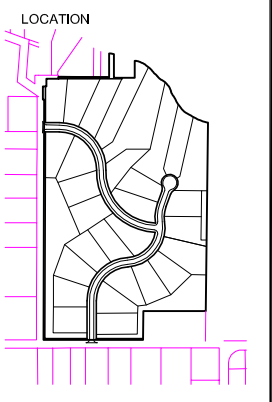
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PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
SAN/WM SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		



ENGINEERS
SURVEYORS
DESIGNERS
PLANNERS

SATHRE-BERGQUIST, INC.

150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.

INDEPENDENCE, MINNESOTA

PRELIMINARY STORM SEWER PLAN

BRIDGEVINE

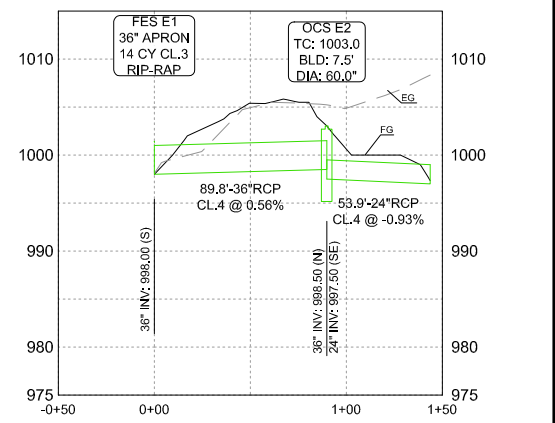
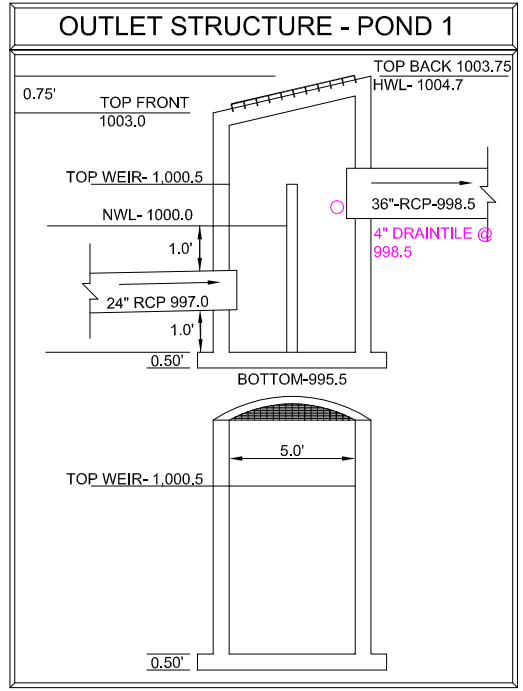
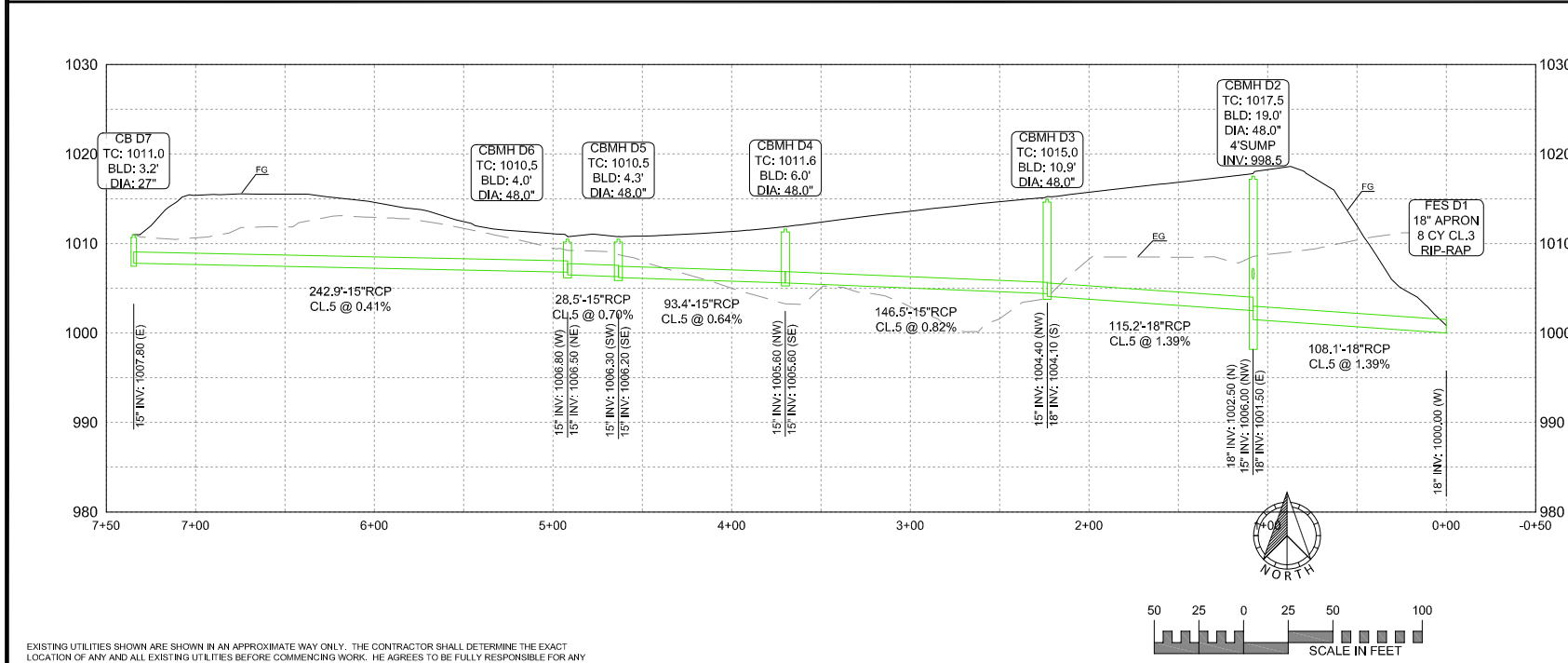
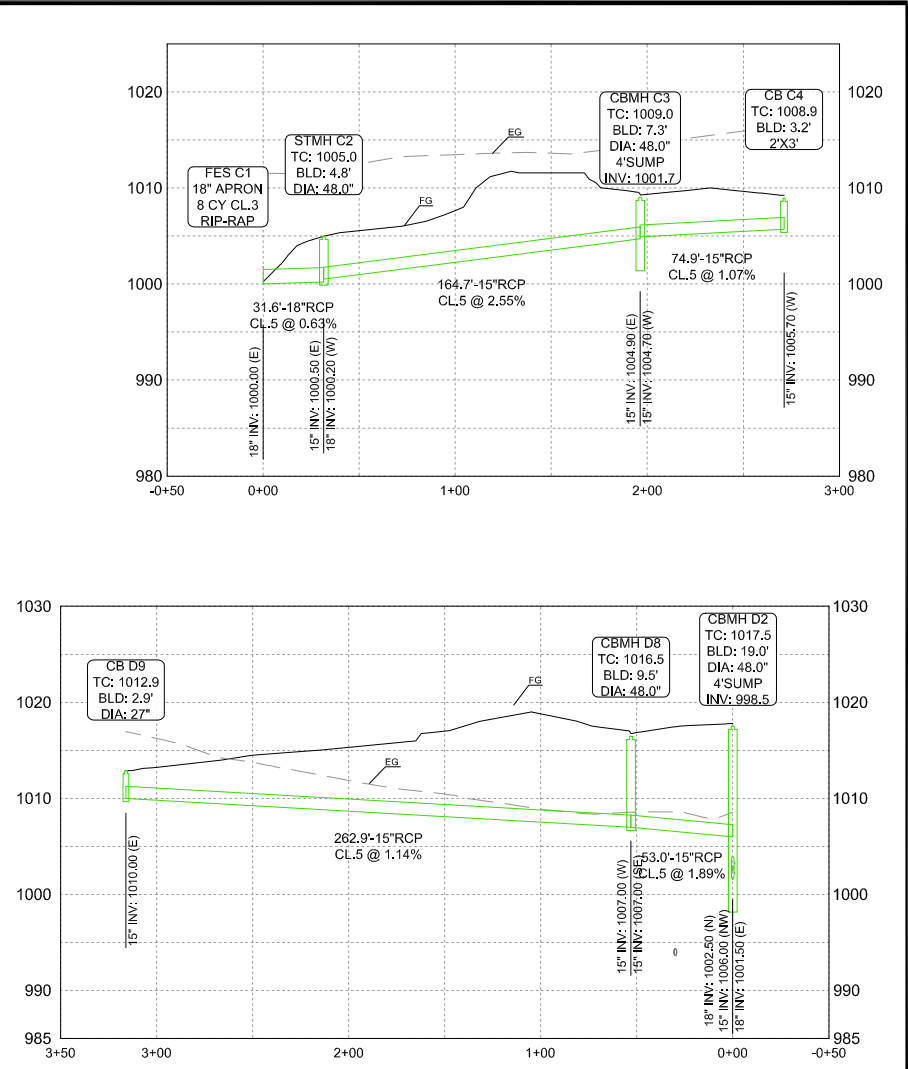
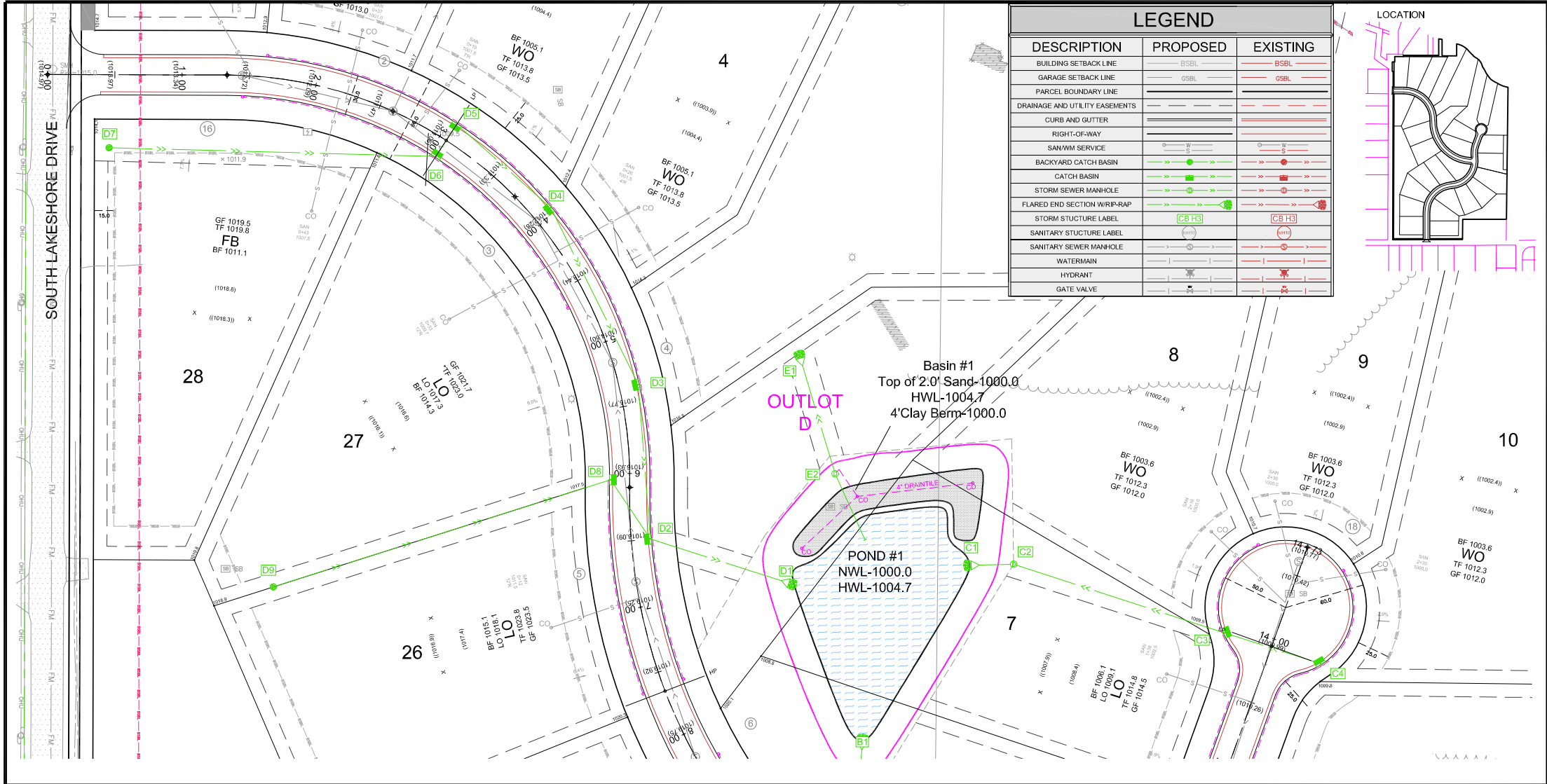
BOHLAND DEVELOPMENT

FILE NO.

3568-034

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ENGINEERS SURVEYORS
DESIGNERS PLANNERS

SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

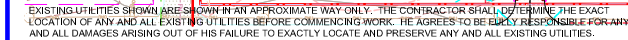
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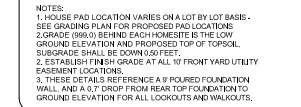
PRELIMINARY STORM SEWER PLAN
BRIDGEVINE
BOHLAND DEVELOPMENT

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17



17. CONTRACTOR MUST COMPLY WITH CITY WETLAND REPLACEMENT REQUIREMENTS.

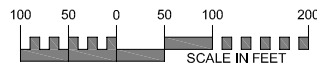


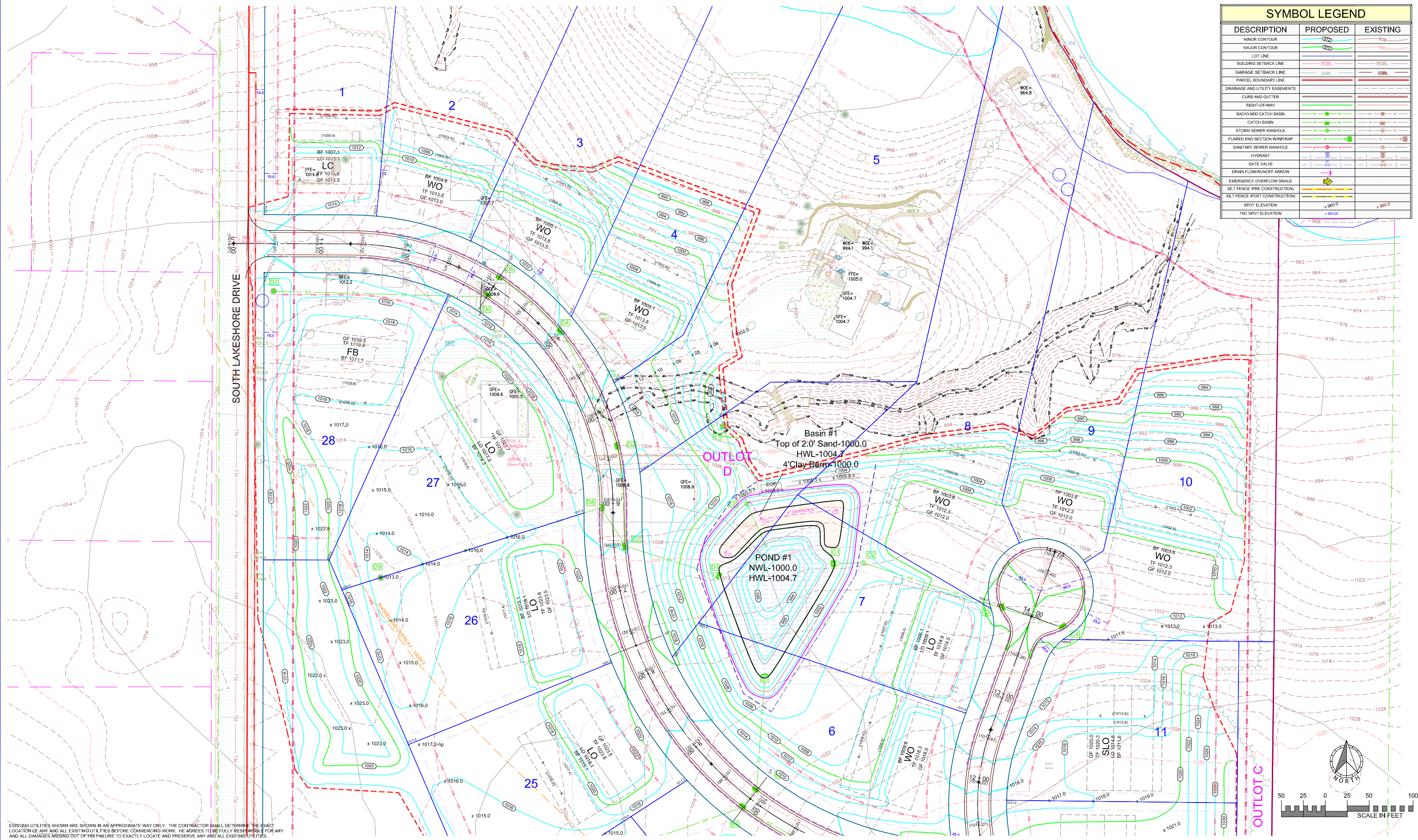
SILT FENCE, BEFORE GRADING - XXX LF
AFTER GRADING - XXX LF
WOODFIBER BLANKET - XXX SY

SPOT ELEVATION	x 960.0	x 960.0
TBC SPOT ELEVATION	x 960.00	

10. PHOSPHOROUS FREE FERTILIZER - PHOSPHOROUS FREE FERTILIZER WILL ALSO BE USED ON SITE.

DENOTES PROPOSED PAD LOCATION

[illegible]



SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
BUILDING SETBACK LINE		
GARAGE SETBACK LINE		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WIRE-RAP		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
DRAIN FLOW/RUNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
SILT FENCE -PRE CONSTRUCTION		
SILT FENCE -POST CONSTRUCTION		
SPOT ELEVATION		
TBC SPOT ELEVATION		

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CITY PROJECT NO.
INDEPENDENCE, MINNESOTA

PRELIMINARY GRADING PLAN

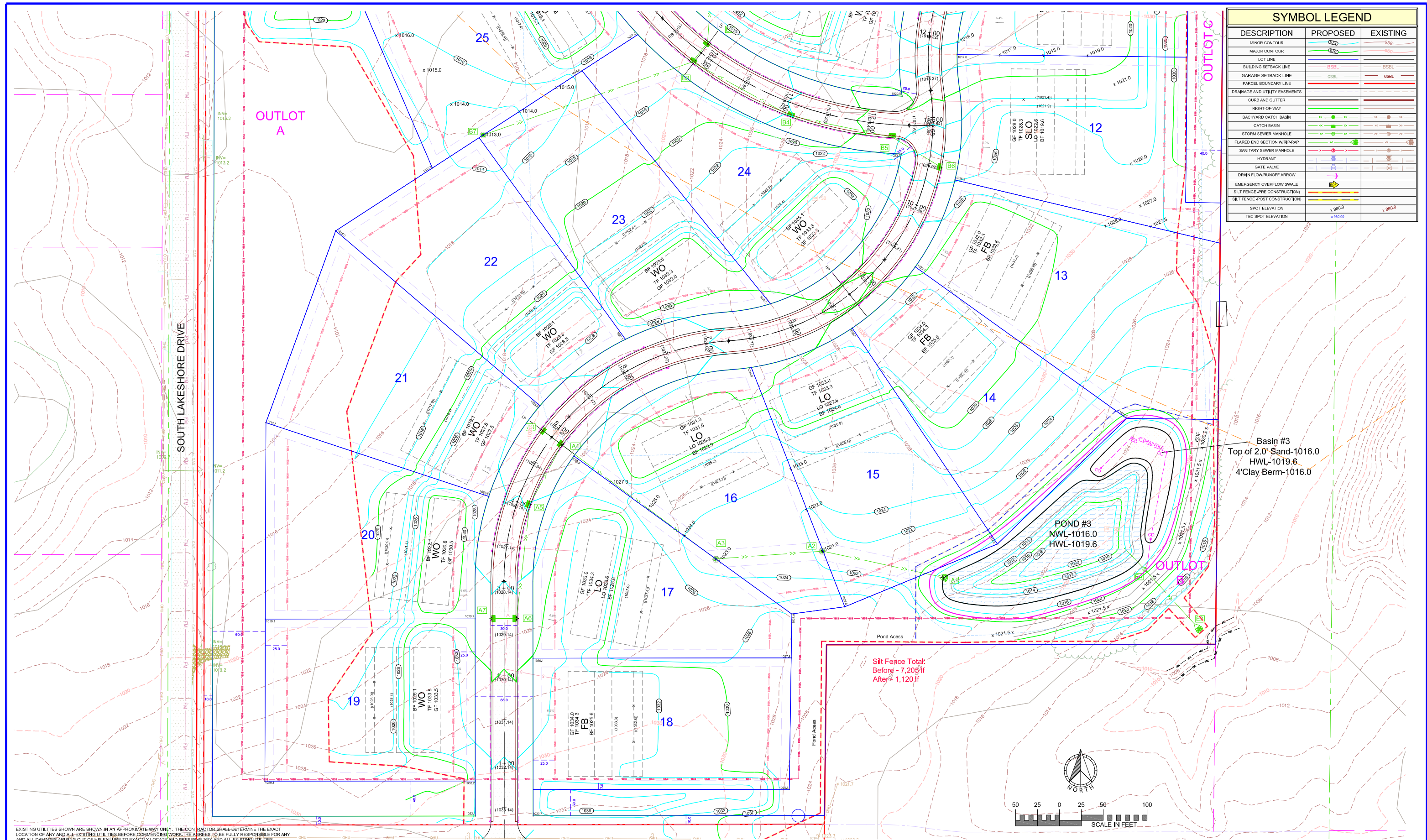
BRIDGEVINE

BOHLAND DEVELOPMENT

FILE NO.
3568-034

14

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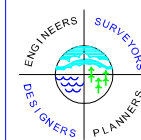
SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
BUILDING SETBACK LINE		
GARAGE SETBACK LINE		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION W/WRAP		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
DRAIN FLOW/UNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
SLT FENCE-PRE CONSTRUCTION)		
SLT FENCE-POST CONSTRUCTION)		
SPOT ELEVATION		
TBC SPOT ELEVATION		

DRAWING NAME	NO.	BY	DATE	REVISIONS
GRADING				
DRAWN BY				
CAW				
CHECKED BY				
RSM				
DATE				
12/29/21				

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ROBERT S. MOLSTAD, P.E.
Date: _____ Lic. No. _____



SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.

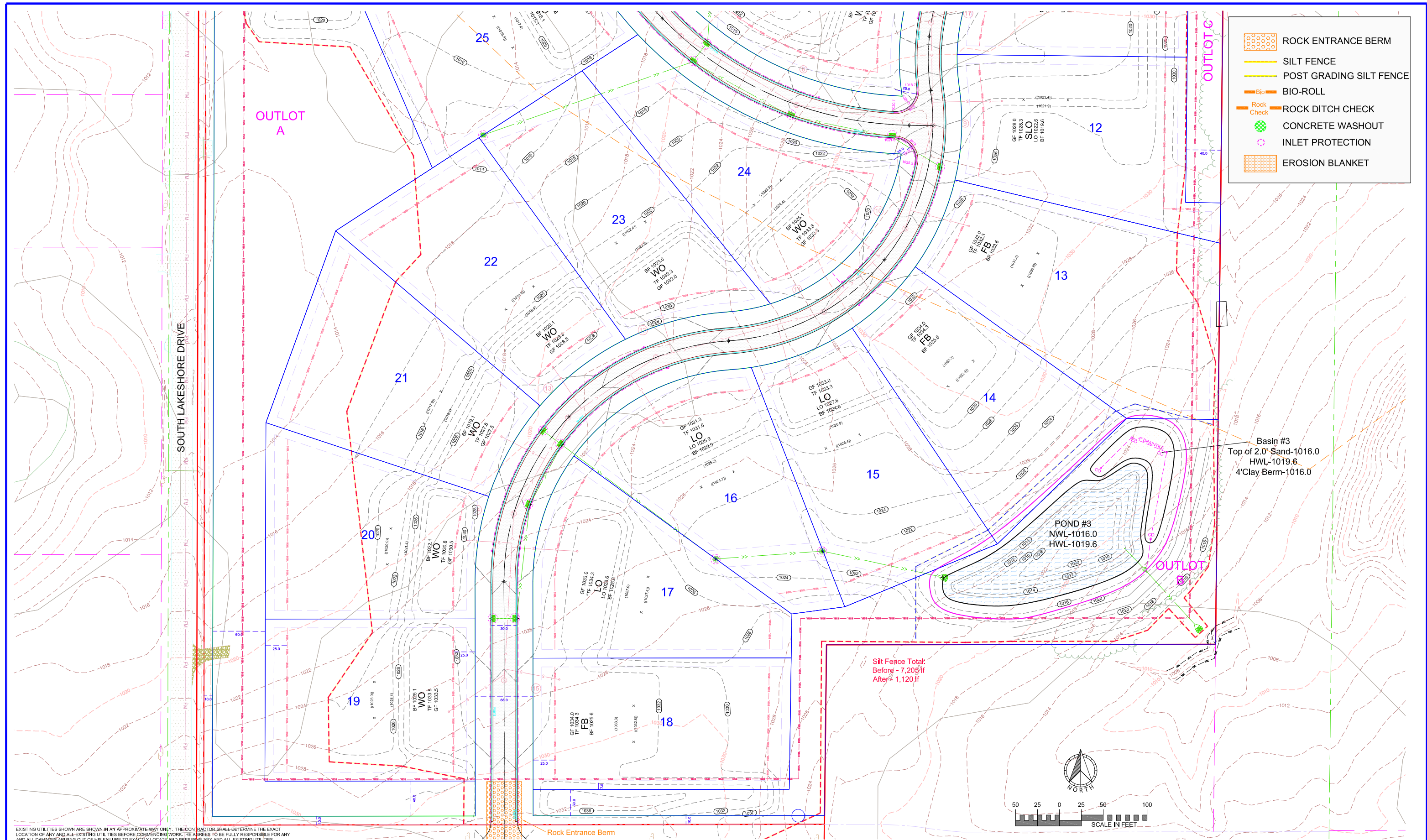
INDEPENDENCE,
MINNESOTA


PRELIMINARY GRADING PLAN
BRIDGEVINE
BOHLAND DEVELOPMENT

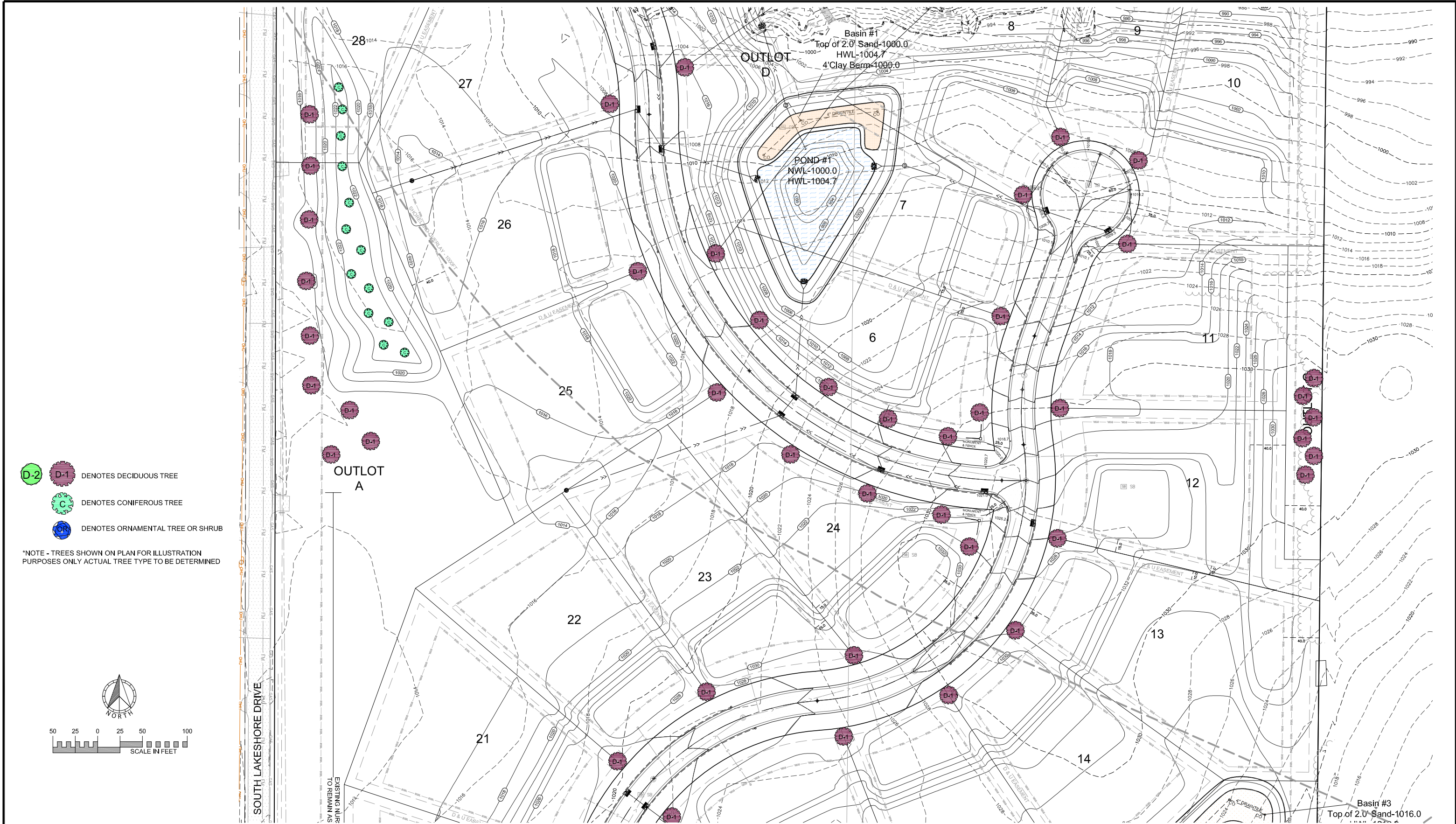
FILE NO.	
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7



AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESENT ANY AND ALL EXISTING UTILITIES.										
DRAWING NAME	NO.	BY	DATE	REVISIONS	USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.	I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. ROBERT S. MOLSTAD, P.E. Date: _____ Lic. No. _____	 <div>SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000</div>	CITY PROJECT NO. -- INDEPENDENCE, MINNESOTA	PRELIMINARY EROSION CONTROL PLAN BRIDGEVINE BOHLAND DEVELOPMENT	FILE NO. 3568-034 17 17
EROSION CONTROL										
DRAWN BY										
CAW										
CHECKED BY										
RSM										
DATE										
12/29/21										



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS
GRADING	01	RSM	05/06/22	REVISE LOT TYPES
DRAWN BY				
CAD				
CHECKED BY				
RSM				
DATE				
12/29/21				

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Robert S. Molstad
ROBERT S. MOLSTAD, P.E.
Date: 12/9/21 Lic. No. 26728

ENGINEERS

SURVEYORS

DESIGNERS

PLANNERS





SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.

INDEPENDENCE, MINNESOTA

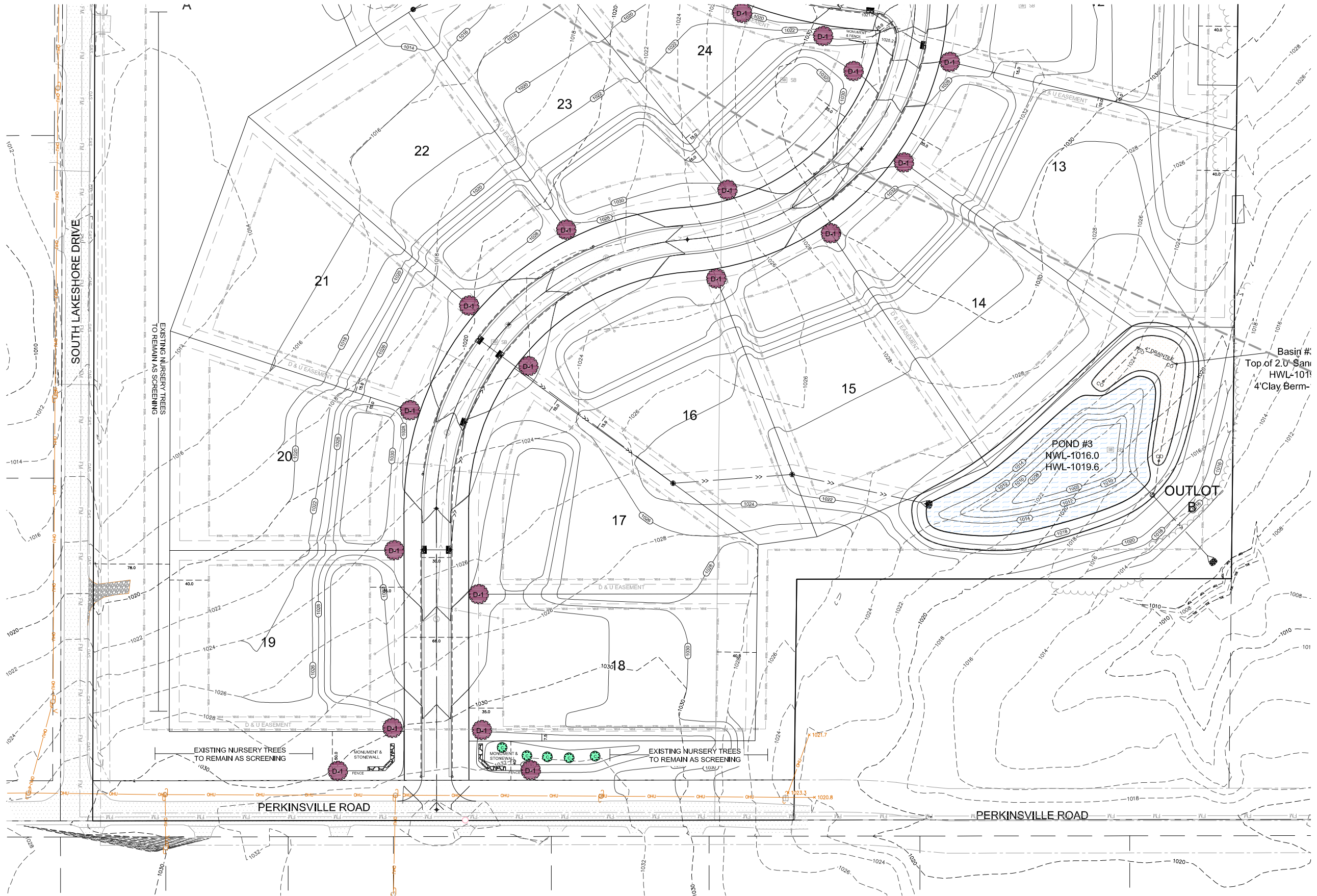
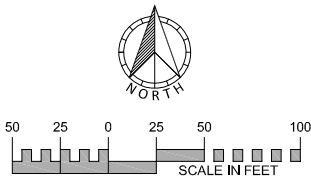
PRELIMINARY LANDSCAPE PLAN
BRIDGEVINE
BOHLAND DEVELOPMENT

FILE NO. 3568-034
LP2
LP3

-   DENOTES DECIDUOUS TREE
-  DENOTES CONIFEROUS TREE
-  DENOTES ORNAMENTAL TREE OR SHRUB

*NOTE - TREES SHOWN ON PLAN FOR ILLUSTRATION PURPOSES ONLY ACTUAL TREE TYPE TO BE DETERMINED

** ONSITE NURSERY TREES TO BE RELOCATED ONSITE AS PART OF LANDSCAPE PLAN

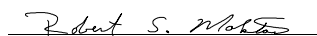


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DRAWING NAME	NO.	BY	DATE	REVISIONS
GRADING	01	RSM	05/06/22	REVISE LOT TYPES
DRAWN BY				
CAD				
CHECKED BY				
RSM				
DATE				
12/29/21				

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ROBERT S. MOLSTAD, P.E.
Date: 12/29/21 Lic. No. 26728



SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.
--
INDEPENDENCE,
MINNESOTA

PRELIMINARY LANDSCAPE PLAN
BRIDGEVINE
BOHLAND DEVELOPMENT

FILE NO.
3568-034
LP3
LP3

DESIGNING Nature

LANDSCAPING SERVICES

3312 RED FOX DRIVE HAMEL, MN 55340

*TREE TRANSPLANTING AND ANY NEW TREES AND SHRUBS WILL BE PLANNED AT COMPLETION OF THE SITE GRADING TO DETERMINE QUANTITY AND BEST LOCATION.

