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CITY COUNCIL MEETING AGENDA  
REGULAR MEETING  
TUESDAY, FEBRUARY 28, 2017

**CITY COUNCIL MEETING TIME: 7:30 PM**

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. \*\*\*\*Consent Agenda\*\*\*\*

All items listed under Consent Agenda are considered to be routine by Council and will be acted on by one motion. There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- a. Approval of City Council minutes from the January 24, 2017 Regular City Council Meeting.
  - b. Approval of City Council minutes from the February 1, 2017 Special City Council Meeting.
  - c. Approval of the City Council minutes from the February 9, 2017 Special City Council Meeting.
  - d. Approval of Accounts Payable; Checks Numbered 16895-16926 and 16943-16989 (Check Numbered 16972 was Voided). For Information Checks Numbered 16879-16894 and 16927-16942 are Payroll Checks.
  - e. Approval of the Non-City Assembly Permit for the Tour de Tonka Bike Ride on August 5, 2017.
  - f. Approval of an Amendment to the LMCC Joint Powers Agreement
5. Set Agenda – Anyone Not on the Agenda can be Placed Under Open/Misc.
  6. Reports of Boards and Committees by Council and Staff.
  7. Joe Baker, Chairman of the Pioneer Sarah Creek Watershed Management Commission – PSCWC Project Updates.

8. Director Gary Kroells, West Hennepin Public Safety - Activity Report for the Month of January, 2017.
9. Corey Oeffling (Applicant/Owner) requests that the City consider the following actions for the property located at 5215 Sunset Lane (PID No. 01-118-24-31-0002) in Independence, MN:
  - a. **RESOLUTION 17-0228-01** Considering a variance to allow a reduced front and side yard setback. The setback reductions would permit the construction of a new attached garage and front porch.
10. Hoikka Construction (Applicant) and Beau'Selle Stable (Owner) request that the City consider the following actions for the property located at 1060 Copeland Road (PID No. 29-118-24-31-0003) in Independence, MN:
  - a. **RESOLUTION 17-0228-02** Considering an interim use permit to allow a temporary building that is greater than 5,000 SF in association with the Commercial Riding Stable permitted as a conditional use permit on the subject property
11. Randall and Margaret Mason (Applicant/Owner) requests that the City consider the following actions for the property located at 3212 Independence Road (PID No.s 13-118-24-22-0008, 13-118-24-22-0009, 12-118-24-33-0004, 12-118-24-33-0004) in Independence, MN:
  - a. **RESOLUTION 17-0228-03** Considering a minor subdivision to combine the two lots into one lot.
12. Consideration of Approval of the 2017 Fee Schedule Relating to Quarterly Sewer Rates:
  - a. **RESOLUTION 17-0228-04** Considering an increase to the quarterly sewer access charge and annual availability charge.
13. Consider Approval to Purchase a New Vehicle and Lawn Mower for the Public Works Department.
14. Discussion of Upcoming City Council Meeting Dates.
15. Open/Misc.
16. Adjourn.

MINUTES OF A REGULAR MEETING OF THE  
INDEPENDENCE CITY COUNCIL  
TUESDAY, JANUARY 24, 2017 –7:30 P.M.

1. CALL TO ORDER.

Pursuant to due call and notice thereof, a regular meeting of the Independence City Council was called to order by Mayor Johnson at 7:30 p.m.

2. PLEDGE OF ALLEGIANCE.

Mayor Johnson led the group in the Pledge of Allegiance.

3. ROLL CALL

PRESENT: Mayor Johnson, Councilors Betts, Spencer and Grotting

ABSENT: McCoy

STAFF: City Planner & City Administrator Mark Kaltsas, City Administrative Assistant Horner, City Attorney Vose

VISITORS: WHPS Director Gary Kroells

4. \*\*\*\*Consent Agenda\*\*\*\*

All items listed under Consent Agenda are considered to be routine by Council and will be acted on by one motion. There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- a. Approval of City Council minutes from the January 10, 2016 Regular City Council Meeting.
- b. Approval of Accounts Payable; Checks Numbered 16838-16873. For Information Checks Numbered 16829-16837 and 16874-16878 are Payroll Checks.
- c. Approve E-Charging Joint Powers Agreement and Court Services Amendment Renewal.
  - a. **RESOLUTION 17-0124-01** Approving the Joint Powers Agreement (JPA) with the State of Minnesota, Department of Public Safety and Bureau of Criminal Apprehension to utilize systems, tools and data made available by the State and BCA.
- d. Approval of Liquor License Renewals for Windsong Golf Club, Pioneer Creek Golf and the Ox Yoke Inn.

**Motion by Betts, second by Spencer to approve the Consent Agenda. Ayes: Johnson, Betts, Spencer and Grotting. Nays: None. Absent: McCoy. MOTION DECLARED CARRIED.**

5. SET AGENDA – ANYONE NOT ON THE AGENDA CAN BE PLACED UNDER OPEN/MISC.

6. REPORTS OF BOARDS AND COMMITTEES BY COUNCIL AND STAFF

**Spencer attended the following meetings:**

- Planning Commission Meeting
- Hennepin County Comprehensive Plan Meeting
- Planning Commission Interviews

**Grotting attended the following meetings:**

- Planning Commission Meeting
- LMCC application from Frontier meeting
- Planning Commission Interviews

**McCoy attended the following meetings:**

**Betts attended the following meetings:**

- Planning Commission Interviews

**Johnson attended the following meetings:**

- Northwest League of Municipalities Meeting
- Orono Healthy Youth Committee Meeting
- Orono School Board Meeting
- Planning Commission Interviews

**Horner attended the following meetings:**

- Planning Commission Interviews

**Kaltsas attended the following meetings:**

7. ANNUAL CITY COUNCIL VISIT BY DISTRICT 33 STATE SENATOR DAVID OSMEK.

\*Senator Osmek was not able to attend\*

8. DIRECTOR GARY KROELLS, WEST HENNEPIN PUBLIC SAFETY - ACTIVITY REPORT FOR THE MONTH OF DECEMBER, 2016.

\*for a complete activity report for the month of December 2016 see the City Council packet\*

Kroells noted that Independence had 5002 incidents as of the year end which is up significantly from 2015. Kroells said the Citizens Academy is open for enrollment now and classes will start in February. He encouraged those interested to apply via Facebook or the WHPS website.

9. DEAN VOSS (APPLICANT) AND LINDA NELSON (OWNER) REQUEST THAT THE CITY CONSIDER THE FOLLOWING ACTIONS FOR THE PROPERTY LOCATED AT 4586 SHADY BEACH CIRCLE, INDEPENDENCE, MN (PID NO. 02-118-24-21-0007):

- a. **RESOLUTION 17-0124-02** Considering a variance to allow a reduced front yard setback for the purpose of constructing a garage addition.

Kaltsas said the subject property is located at 4586 Shady Beach Circle. The property is a legal non-conforming property that does not meet all of the current lot and setback requirements. There is an existing home and two small sheds on the subject property. He noted the applicant is seeking approval to construct an addition onto the existing home. The addition would include living space and a new garage. The applicant is proposing to meet applicable side yard setbacks, but would like to encroach into the required front yard setback. The proposed encroachment would require the City to grant a 17 foot variance to allow a front yard setback of 13 feet rather than the required 30 feet.

The subject property is a legal non-conforming lot of record. The City's current lot standards require a minimum of 1 acre for all properties in the Shore land Overlay zoning district. The subject property is .34 acres in size. The existing home does not have a garage. There are two small sheds located on the property. The City has historically considered variances for properties in the Shore land Overlay district that are substandard lots of record. The City allows already allows a considerable amount of relief from the requisite standards by ordinance. The City allows all requisite setbacks to be reduced by 40% for substandard lots of record. In this particular situation, the existing lot could accommodate an approximately 22 foot wide expansion without a variance. This width would be the minimum width of a typical two car garage. The subject property is considered a substandard lot of record in accordance with the City's Shore land Ordinance Section 505.15.

Setbacks for properties located in the shore land ordinance are as follows:

*505.15. Substandard lots. Lots of record in the office of the county register of deeds or registrar of titles prior to December 1, 1982, which do not meet the requirements of this section 505, may be allowed as building sites provided:*

*(a) such use is permitted in the zoning district;*

*(b) the lot of record is in separate ownership from abutting lands, and can meet or exceed 60% of the lot area and setback requirements of this section; and*

*(c) all requirements of section 705 of this code regarding individual sewage treatment systems are complied with.*

<u>Existing Hardcover</u>	<u>(sq. ft.)</u>	<u>Proposed Hardcover</u>	<u>(sq. ft.)</u>
House	1,352	House	1,352
Deck & Steps	207	Deck & Steps	207
Bituminous Parking	233	Bituminous Parking	233
Concrete	378	Proposed Addition	698
Gravel Driveway	1,843	Proposed Garage	900
Shed	196	Proposed Porches	296
	<u>4,209</u>		<u>3,686</u>
Lot Area	14,812	Lot Area	14,812
Total Hardcover	28.4%	Total Hardcover	24.9%

The applicant is proposing to remove two existing sheds, a concrete patio area and the existing gravel driveway to reduce the impervious surface coverage area of the property (see diagram below).



Subd. 2. Lot standards.

	Unsewered Areas			Sewered Areas		
	NE Waters	RD Waters	Tributary Streams	NE Waters	RD Waters	Tributary Streams
Lot Area	2.5 acres	2.5 acres	2.5 acres	1.0 acre	1.0 acre	1.0 acre
Water frontage and lot width at building line	200 ft	200 ft	200 ft	125 ft	100 ft	100 ft
Structure setback from ordinary high water mark	150 ft	100 ft	100 ft	150 ft	100 ft	100 ft
Structure setback from roads and highways	85 ft from centerline or 50 ft. from right-of-way, whichever is greater					
Structure height limitation	35 ft	35 ft	35 ft	35 ft	35 ft	35 ft
Maximum lot area covered by impervious surface	25%	25%	25%	25%	25%	25%
Sewage system setback from ordinary high water mark	150 ft	75 ft (RR) 150 ft (AG)	75 ft (RR) 150 ft (AG)	125 ft	75 ft	75 ft

Front Yard Setback:

Required: 85 feet from centerline or 50 feet from the ROW (@ 60% = 30 feet from right of way)

Proposed: 13 feet from the right of way

Side Yard Setback (as it relates to proposed addition):

Required: 30 feet (@ 60% = 18 feet)

Provided (West): 18'

In addition to the setback requirements, properties located in the shore land district can have a maximum impervious surface coverage of 25%. This property would be permitted to have a maximum impervious surface coverage of 3,703 square feet. The applicant has prepared an analysis of the impervious surface area for this property. The existing and proposed impervious surface calculations are as follows:

The applicant is also proposing to construct a pervious paver driveway to access the garage addition. The City has not counted pervious pavers towards the total impervious surface area. With the proposed garage/house addition, the property would have a total impervious surface equaling 24.9% of the lot area.

There are several factors to consider relating to granting a variance. The City's ordinance has established criteria for consideration in granting a variance.

*520.21. Standards for granting variances. Subdivision 1. The City Council may grant a variance from the terms of this zoning code, including restrictions placed on nonconformities, in cases where: 1) the variance is in harmony with the general purposes and intent of this zoning code; 2) the variance is consistent with the comprehensive plan; and 3) the applicant establishes that there are practical difficulties in complying with the zoning code (Amended, Ord. 2011-08)*

*Subd. 2. An applicant for a variance must demonstrate that there are practical difficulties in complying with the zoning code. For such purposes, "practical difficulties" means:*

- (a) The property owner proposes to use the property in a reasonable manner not permitted by the zoning code;*

*(b) the plight of the property owner is due to circumstances unique to the property not created by the landowner;*

*(c) the variance, if granted, will not alter the essential character of the locality.*

*Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems. (Amended, Ord. 2011-08)*

*Subd. 3. The City Council shall not grant a variance to permit a use that is not allowed under the zoning code based on the zoning classification of the affected property. (Amended, Ord. 2011-08)*

*520.23. Conditions and restrictions. The board of adjustments may recommend and the City Council may impose conditions on a variance. Conditions must be directly related to and must bear a rough proportionality to the impact created by the variance. (Amended, Ord. 2011-08)*

Consideration of the criteria for granting a variance:

- a. Residential use of the property is consistent with the Rural Residential District. The applicants are seeking a variance that is generally consistent with similar variances granted for properties in this area.
- b. Each property in this area is non-conforming and typically requires relief from certain setbacks. The City will need to determine if the requested variance is unique to this property.
- c. The character of the surrounding area is residential. The proposed single family home is in keeping with the City's comprehensive plan.

There are several additional items that could be considered by the City:

1. Many of the surrounding properties have been granted relief from the requisite setback requirements due to the small size of the properties, unique lot layouts resulting from the historic nature of the structures on the properties and the change in nature of the homes from seasonal to permanent.
2. From the image below it can be seen that several properties in this neighborhood have reduced front yard setbacks. The setbacks range from approximately 10 feet to 20 feet from the right of way/property line. The applicant is seeking a 13 foot setback.
3. The requested variance would allow a standard size two garage to be located on the property. From the plans provided, it appears that the depth of the garage could be reduced to accommodate a greater setback from the right of way.
4. Due to the location of the property at the end of a cul-de-sac and its orientation on the curve of the road, the apparent impact on the "streetscape" will be somewhat minimized.

Ultimately the City will need to find that the aforementioned criteria for granting a variance have been met by the applicant.

The City has not received any comments prior to the writing of this report.

Staff is seeking a recommendation or direction from the Planning Commission pertaining to the request for a variance. Should the Planning Commission consider granting a variance, the following findings and conditions should be considered.

1. The proposed Variance request meets all applicable conditions and restrictions stated in Chapter V, Section 520.19, Procedures on variances, in the City of Independence Zoning Ordinance.
2. The total impervious surface coverage for this property will not exceed 25% of the total lot area. The applicant shall submit a detail of the proposed pervious paver driveway to the City for review and approval at the time an application for a building permit is submitted.
3. The applicant shall submit a drainage plan to the City at the time of building permit application. The drainage plan will be reviewed by the City to ensure that the proposed improvements do not adversely impact any of the surrounding properties relating to grading and drainage.
4. The Applicant shall pay for all costs associated with the City's review of the requested variance.
5. Any future improvements made to this property will need to be in compliance with all applicable standards relating to the Rural Residential and Shore land Overlay zoning districts. No expansion of the home/ garage or impervious areas will be permitted without an additional variance request.

Johnson said he was excited about the permeable paver driveway. Grotting asked if the permeability could be explained as those pavers sit on a bed of gravel. Kaltsas said there a couple layers of sand utilized as well so the driveway stays porous and the water can still infiltrate through it.

Johnson noted it will be a nicer dwelling than the current house. Voss explained the variance and parking logistics.

**Motion by Betts, second by Spencer to approve Resolution 17-0124-02 for a variance to allow a reduced front yard setback for the purpose of constructing a garage addition for the property located at 4586 Shady Beach Circle. Ayes: Johnson, Betts, Spencer and Grotting. Nays: None. Absent: McCoy. MOTION DECLARED CARRIED.**

10. OPEN/MISCELLANEOUS

11. ADJOURN

**Motion by Grotting, second by Betts to adjourn at 8:20 p.m. Ayes: Johnson, Betts, Spencer and Grotting. Nays: None. Absent: McCoy. MOTION DECLARED CARRIED.**

Respectfully Submitted,

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Trish Bemmels/ Recording Secretary



MINUTES OF A SPECIAL MEETING AND WORK SESSION OF THE  
INDEPENDENCE CITY COUNCIL  
WEDNESDAY, FEBRUARY 1, 2017 –7:00 A.M.

1. CALL TO ORDER.

Pursuant to due call and notice thereof, a work session of the Independence City Council was called to order by Mayor Johnson at 7:02 a.m.

2. PLEDGE OF ALLEGIANCE.

Postponed until regular meeting.

3. ROLL CALL

PRESENT: Mayor Johnson, Councilors Betts, Fisher, Grotting and McCoy

ABSENT: None

STAFF: Interim City Administrator Kaltsas, Administrative Assistant Beth Horner, City Attorney Vose, Public Works Director Ende

VISITORS: Gary Kroells

4. COMPREHENSIVE PLANNING PROCESS

a) Overview/ Discussion of Comprehensive Plan Process

Kaltsas stated he could lead the City through the process. He is also doing the same for Watertown and Maple Plain. Kaltsas said the Planning Commission could be the point of contact if the Council would like to go that route. He said the process would involve meetings jointly with the City Council and inviting public participation as well as a community survey. Johnson noted that times have not really changed since ten years ago and asked if there is a lot of pressure to change the plan. Kaltsas said there really has not been any pressure. He said the biggest issue for the City will be to address what to do with the urban development in the area surrounding Maple Plain. Kaltsas said the City may want to look forward to 2040 and plans for commercial/ industrial area and guidance around that plan. He noted Met Council is saying they will not go further west for sewer access.

Spencer asked what the budget looked like as far as development through Met Council. Kaltsas said 15k was set aside to start the process noting it was a two-year window. Kaltsas said the timeline included in the packet addresses the nuts and bolts of what is going to be needed. He said he would also utilize the City engineers and water resource professionals. Grotting asked how we would work with Maple Plain on the plan. Johnson stated all surrounding cities give input. Kaltsas said it was important to have some joint meetings to make sure the plans align. Spencer said they could hold expanded planning commission meetings and invite the community members to get their input. Johnson said a city-wide questionnaire would be useful and would provide a better cross section. Kaltsas and Spencer both agreed it would be good to use the Planning Commission as the core group. Kaltsas said he would refine the process and move forward with planning. Johnson said the original comp plan stated that Independence would not build a downtown area as they did not want to pull from Maple Plain and Delano but rather wanted to keep those areas vibrant.

5) DISCUSSION/ UPDATE ON SEWER RATE STUDY

a) Added an additional scenario to the findings

The two scenarios considered by the City would have the following increases:

### Scenario 1

Connected Properties:

2016 (CURRENT):	\$168 per quarter
2017 (8% INCREASE):	\$181 per quarter

The recommended 2017 rate represents a \$13 quarterly increase.

Stubbed Properties:

2016 (CURRENT):	\$32 per quarter
2017 (285% INCREASE):	\$91 per quarter

### Scenario 2

Connected Properties:

2016 (CURRENT):	\$168 per quarter 2017
2017 (8% INCREASE):	\$181 per quarter

The recommended 2017 rate represents a \$13 increase.

Stubbed Properties:

2016 (CURRENT):	\$32 per quarter 2017
2017(231% INCREASE):	\$74 per quarter

The recommended 2017 rate represents a \$42 quarterly increase.

Kaltsas said there is discussion around having non-connected users pay the full-rate as users. The current rate will also have to be increased as it is not sustainable ongoing without raising the rate. Spencer said the costs are associated with the maintenance of the system not the flow rate which was an argument presented in the past. Johnson asked if Hennepin County could help at all. Kaltsas said he did not find anything other than help for non-affordability and elderly. He said most would not qualify for assistance. Kaltsas noted he received one comment and that was from a user that said they hoped those that have not connected would have to pay as much as the users did.

**Motion by Spencer, second by Betts to approve scenario 2 for sewer rate increase for 2017. Ayes: Johnson, Betts, Spencer, McCoy and Grotting. Nays: None. Absent: None. MOTION DECLARED CARRIED.**

### 6. PLANNING COMMISSIONER APPOINTMENT

Vose said that Betts was not legally compelled to excuse herself due to her son applying for a spot. Spencer said the last two candidates had the most relevant experience and could hit the ground running. Johnson said Simpson would like some training and Spencer said she would be helpful to be involved in the Comp Plan process. Kaltsas noted three more positions would be opening up after terms are completed this year. Grotting

thought Dumas was the well-equipped candidate and has a lot of experience and knowledge that would be an asset.

**Motion by Spencer, second by Grotting to approve the appointment of Dumas as the new Planning Commissioner. Ayes: Johnson, Spencer, McCoy and Grotting. Nays: None. Absent: None. Abstain: Betts. MOTION DECLARED CARRIED.**

7) PUBLIC WORKS ITEMS

- a) Discussion on Public Works Status
  - i. Vehicle for Sewer Department

Kaltsas said the department only has two vehicles for three employees. He said more often than not the third person has no vehicle to use and so he budgeted 35k for a sewer vehicle. He said a ¾ ton single cab pickup would be ideal for a third vehicle. Ende said it would be a basic model and they would be able to put a snowplow on it as well. Kaltsas said it will be brought for a vote before council with formal bids and more information.

- ii. Mower

Kaltsas noted the park mower is five years old and needing work. It will need a complete overhaul this year and the trade-in value right now is so good it may make sense to trade it in for a new one. Kaltsas said they could go with a mower with a bigger deck which would be more efficient. Johnson said it made sense while it still had value to trade it in for a new model if costs stay the same.

- iii. Building Inspector Vehicle

Kaltsas said the current car is a little Chevy Cobalt and it is not an appropriate vehicle for our needs in this rural setting. He said a pickup would be much more appropriate and the trade-in quoted on the car would be fairly decent right now should Council think it is something that could be pursued. Spencer said he would like to see it as a budget discussion item for next year's cycle.

8) GENERAL ADMINISTRATION

- a) Discussion relating to vacation policy

Kaltsas said there is a max of 4 weeks' vacation after 15 years and after that there was no increase. Kaltsas looked at other cities for comparison and noted Medina is reviewing their policy. He said Rockford has a sliding scale and Orono also had a sliding scale based on yearly service. Kroells noted 5 weeks was the max at WHPS and that was after 20 years of service. Spencer said he would be interested in extending the level to match that of the police department. Johnson said Orono's system was unique. Kaltsas said he thought the Orono model was interesting as well. He said he could look at different proposals and present them back to Council for incorporating into the employee handbook.

- b) Discussion on possible ordinance updates

Kaltsas said Maple Plain has a massage parlor ordinance as there used to be an issue with a business in their City. Their ordinance requires background checks and licensing which Kaltsas and Kroells feel it is important to incorporate a like ordinance for Independence. Kroells noted there are zero state requirements to be a

masseuse. Vose said there are ways for cities to distinguish legitimate massage businesses. Johnson said the City also needs to look at instituting a sexual predator ordinance.

c) Discussion regarding city paid maintenance for horse trails

Kaltsas said the City pays to maintain the City owned horse trail by the Polo Club. Johnson said it runs through the Henning property to County Road 6. Betts said she thought she remembered public works employees mowing it in the past. Ende said he was not aware of this being a public works function and was surprised to receive a bill from a third party recently. Ende said he would research it further and see who authorized this in the past and what was actually mowed for 2016. He said he would report back to Council with his findings.

d) Discussion regarding snow fences in right of way

Kaltsas said a complaint was received from a resident saying that another resident had blocked the right of way. Ende noted the ordinance does not allow these fences and snowmobilers do have the right to utilize the ditches. Kaltsas said it is a public safety issue and fences are not allowed in the right of away. Spencer said that the state law actually does not apply to the City roads so the snowmobilers are actually not entitled to automatically use the city ditches. Vose said the City could be liable should someone get hurt and they did not enforce the ordinance.

9. ADJOURN

**Motion by McCoy, second by Betts to adjourn the meeting at 8:40 a.m. Ayes: Johnson, Spencer, McCoy, Betts and Grotting. Nays: None. Absent: None. Abstain: None. MOTION DECLARED CARRIED.**

Respectfully submitted,

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Trish Bemmels, Recording Secretary

MINUTES OF A SPECIAL MEETING OF THE  
INDEPENDENCE CITY COUNCIL  
THURSDAY, FEBRUARY 9, 2017 –7:00 A.M.

1. CALL TO ORDER.

Pursuant to due call and notice thereof, a Special Meeting of the Independence City Council was called to order by Mayor Johnson at 7:00 a.m.

2. PLEDGE OF ALLEGIANCE.

Postponed until regular meeting.

3. ROLL CALL

PRESENT: Mayor Johnson, Councilors Betts, Grotting, Spencer and McCoy  
ABSENT: None  
STAFF: Interim City Administrator Kaltsas, Administrative Assistant Beth Horner  
VISITORS: None

4. EMPLOYEE RESIGNATION

a) Accept resignation of Public Works Employee

Kaltsas stated the City received a resignation letter from Public Works employee Terry Reid, effective Friday, February 3, 2017. He said Council is being asked to formally accept the resignation of Terry Reid.

**Motion by Betts, second by Spencer to accept the resignation of Terry Reid. Ayes: Johnson, Betts, Spencer, McCoy and Grotting. Nays: None. Absent: None. MOTION DECLARED CARRIED.**

Kaltsas said Council is being asked to authorize the advertisement of the vacant public works position. The position that was vacated is for a Public Works Worker/ Wastewater Operator. McCoy asked how steps are achieved. Kaltsas said by taking and passing classes and also pay grades due to performance. Kaltsas noted that due to the current level of pay for existing employees and the starting pay advertised for similar jobs in the area, the City could advertise the starting just above \$20 per hour (\$20.42-Step 2). He said the Class D license is very obtainable and that Trudeau offered to get it if the City wanted him to. Johnson said it would be smart to have another person licensed. McCoy said a resume should be required and it would be nice to have someone that could eventually move into Ende's position when he retires. Grotting said it would be nice to get someone qualified who looks at this as a career. Spencer noted they needed to consider Trudeau if he has the qualifications as he has expressed in Ende's position down the road. McCoy asked if they go through a physical test as part of the interview. Kaltsas said at this time they do not but that could be considered. Kaltsas said it would be important to do a physical drive test. He said the City will post the job description on the City's website, advertise in the three local newspapers and post the job on the League of Minnesota Cities website. He anticipates the City will close the application process on March 3, 2017 and will assemble and interview team made up of several staff members and several City Council members.

**Motion by McCoy, second by Spencer to advertise and accept applications for the position of Public Works Worker/ Wastewater Operator. Ayes: Johnson, Betts, Spencer, McCoy and Grotting. Nays: None. Absent: None. MOTION DECLARED CARRIED.**

9. ADJOURN

**Motion by McCoy, second by Betts to adjourn the meeting at 7:25 a.m. Ayes: Johnson, Spencer, McCoy, Betts and Grotting. Nays: None. Absent: None. MOTION DECLARED CARRIED.**

Respectfully submitted,

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Trish Bemmels, Recording Secretary

DRAFT

# City of Independence

## Approval of Non-City Assembly Permit for the Annual Tour de Tonka Bike Race

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*To:* City Council  
*From:* Mark Kaltsas, City Administrator  
*Meeting Date:* February 28, 2017

***Discussion:***

Minnetonka Community Education holds an annual bike ride around the lakes area of the metro. A portion of the ride has historically occurred through the City of Independence. West Hennepin Public Safety has worked with the ride coordinators to utilize an acceptable route through the City. The primary route uses CSAH 6 and CSAH 92. The ride is planned for August 5, 2017. Approximately 2,300 riders participate in various aspects of the bicycle ride.

***Recommendation:***

The City Council is being asked to approve the non-city assembly permit to allow the ride to go through the City of Independence. West Hennepin Public Safety has approved the permit subject to the agreements with the ride coordinator.

**Attachments:** Non-City Assembly Permit Application

PERMIT # \_\_\_\_\_



## NON-CITY ASSEMBLY PERMIT APPLICATION

### Fees & Definitions:

• 200+ Attendees (Large Assembly) = \$250	• 50+ Attendees (Small Assembly) = \$50
• 100+ Attendees (Medium Assembly) = \$100	• Non-profit Organizations = \$25

(Double fee for application received less than 10 business days prior to event).

**Event Location:** Watertown Rd/CR-6 to CR-17 (toward Delano), CR-92 (Main street) from CR-6 to CR-15  
**Type of event:** Tour de Tonka (Bike Ride) **Number of people attending:** 2300+ **Date:** August 5, 2017  
 Residential     Corporate     Partnership     Group or Association     Other

**Event Holder's Name:** Minnetonka Community Education **Address:** 4584 Vine Hill Road  
**Contact Person:** Tim Litfin **Home Phone:** (952)401-5043 **Cell Phone:** (612) 910-6200  
**2<sup>nd</sup> Contact Person:** Alexis Beckman **Home Phone:** (952)401-6842 **Cell Phone:** \_\_\_\_\_

**Security Plans:** We work directly with West Hennepin Public Safety  
**Date West Hennepin Public Safety was notified of the event:** 2/1/2017

**Severe Weather Plans (in the event of):** Event staff and public safety staff will monitor the weather conditions and advise event staff to locate to shelter areas if needed.

**Sound Plans - amplification and sound control:** none in Independence Area  
**Outdoor Music**  Yes  No - **Starting Time** \_\_\_\_\_ **AM/PM**, **Ending Time** \_\_\_\_\_ **AM/PM**

**Food and Concessions Plans:** none in Independence Area  
**Vendor's name, address, and license number** *(copies of vendor license, insurance and permits must be provided)*

**Vendor Work #:** \_\_\_\_\_ **Vendor Cell #** \_\_\_\_\_



Serving Alcohol: Yes: \_\_\_\_\_ No:    
 Selling Alcohol: Yes: \_\_\_\_\_ No:  (If selling alcohol contact the City for a Permit)

Restroom Provisions: How many? 0 Location: \_\_\_\_\_

Lighting - Type: n/a How many? \_\_\_\_\_   
 Location of lights: \_\_\_\_\_

\$1,000,000 Certificate of Liability Insurance-provide a copy: \_\_\_\_\_ A copy will be sent to you when we receive them July 1, 2017.

**Parking Plan:** Please provide a site plan showing 1 parking space for each vehicle per 4 guests. If using adjacent property, written permission from property owners must be obtained.

02/01/2017   
 Date

[Signature]   
 Signature of applicant   
 *Tour de Tonka*

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of applicant

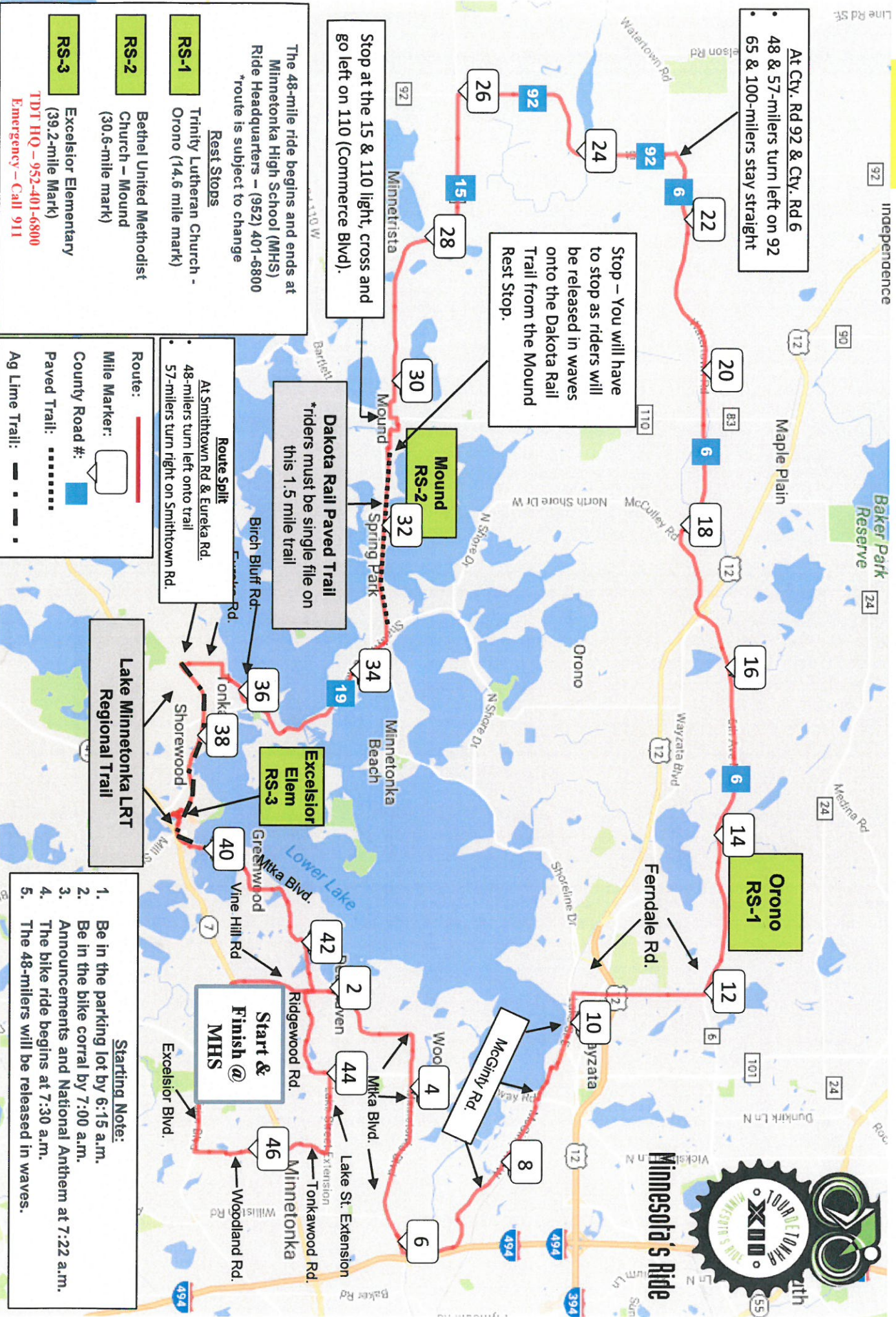
Office Use Only		
Application Received: _____	Application Fee: _____	Date Fee Paid: _____
Date \$1,000,000 certificate of liability insurance received: _____		
Signature of City Official	_____	Date
<u>[Signature]</u>	_____	<u>2-3-17</u>
Signature of West Hennepin Public Safety	_____	Date

*Approved per arrangements with WHPB/Revere/MP Fire.   
 C. Mills*

**Draft**

# 2017 Tour de Tonka 48-Mile Route

Ag Lime Trail = 2.8 miles



At Cty. Rd 92 & Cty. Rd 6  
 • 48 & 57-milers turn left on 92  
 • 65 & 100-milers stay straight

Stop – You will have to stop as riders will be released in waves onto the Dakota Rail Trail from the Mound Rest Stop.

Stop at the 15 & 110 light, cross and go left on 110 (Commerce Blvd).

Dakota Rail Paved Trail  
 \*riders must be single file on this 1.5 mile trail

Route Split  
 At Smithtown Rd & Eureka Rd.  
 • 48-milers turn left onto trail  
 • 57-milers turn right on Smithtown Rd.

The 48-mile ride begins and ends at Minnetonka High School (MHS) Ride Headquarters – (952) 401-6800  
 \*route is subject to change

**Rest Stops**

**RS-1** Trinity Lutheran Church - Orono (14.6 mile mark)

**RS-2** Bethel United Methodist Church – Mound (30.6-mile mark)

**RS-3** Excelsior Elementary (39.2-mile Mark)

TDT HQ – 952-401-6800  
 Emergency – Call 911

Route: ———

Mile Marker:

County Road #:

Paved Trail:

Ag Lime Trail:

**Starting Note:**

1. Be in the parking lot by 6:15 a.m.
2. Be in the bike corral by 7:00 a.m.
3. Announcements and National Anthem at 7:22 a.m.
4. The bike ride begins at 7:30 a.m.
5. The 48-milers will be released in waves.



**Draft**

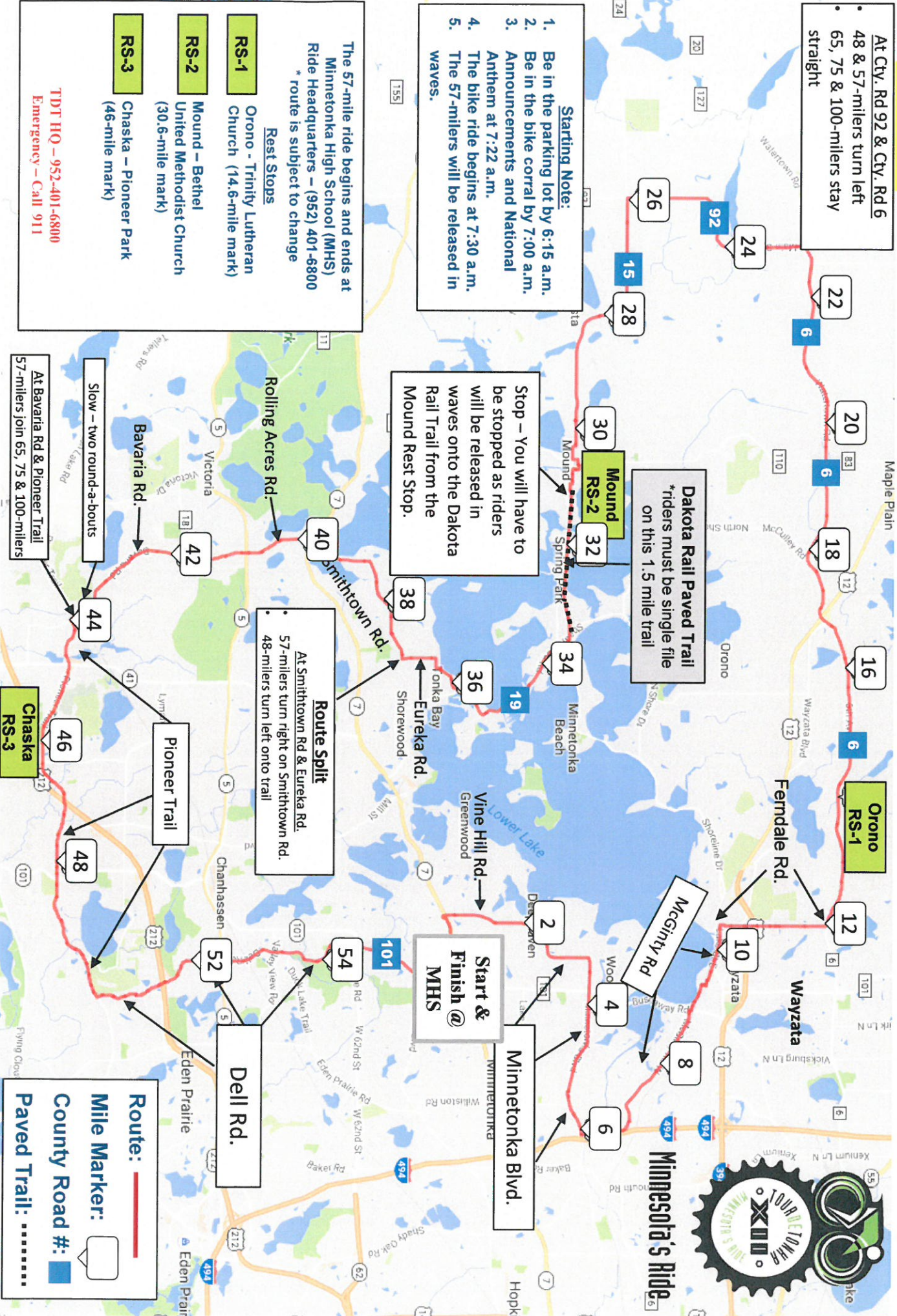
# 2017 Tour de Tonka 57-Mile Route

At Cty. Rd 92 & Cty. Rd 6  
 • 48 & 57-milers turn left  
 • 65, 75 & 100-milers stay straight

- Starting Note:**
1. Be in the parking lot by 6:15 a.m.
  2. Be in the bike corral by 7:00 a.m.
  3. Announcements and National Anthem at 7:22 a.m.
  4. The bike ride begins at 7:30 a.m.
  5. The 57-milers will be released in waves.

The 57-mile ride begins and ends at Minnetonka High School (MHS) Ride Headquarters – (952) 401-6800  
 \* route is subject to change

- Rest Stops**
- RS-1** Orono - Trinity Lutheran Church (14.6-mile mark)
  - RS-2** Mound – Bethel United Methodist Church (30.6-mile mark)
  - RS-3** Chaska – Pioneer Park (46-mile mark)
- TDT HQ – 952-401-6800  
 Emergency – Call 911



**Route:** — (Red line)

**Mile Marker:** □ (White box with black border)

**County Road #:** ■ (Blue box)

**Paved Trail:** ..... (Dotted line)



**Draft**

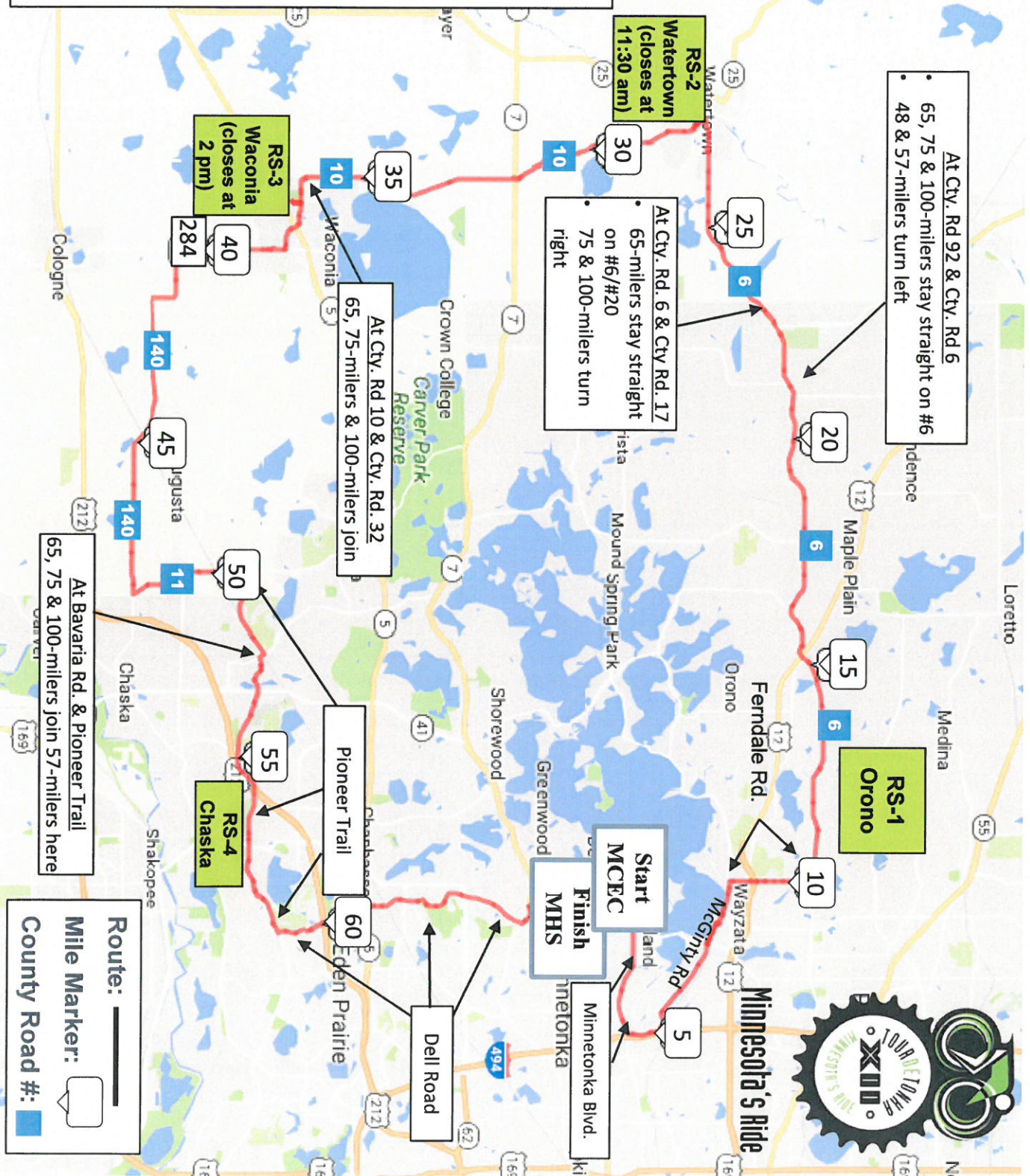
# 2017 Tour de Tonka 65-Mile Route

- Starting Note:**
1. Be in the parking lot by 6:15 a.m.
  2. Be in the bike corral by 7:00 a.m.
  3. Announcements and National Anthem at 6:50 a.m.
  4. The bike ride begins at 7:30 a.m.



**65-mile Tour de Tonka ride begins at Minnetonka Community Education Center (MCEC) and ends at Minnetonka High School (MHS)**

Ride Headquarters – (952) 401-6800  
\* route is subject to change

- Rest Stops**
- RS-1** Orono - Trinity Church (13.0-mile mark)
  - RS-2** Watertown Trinity Church (27.5-mile mark)  
Closes at 11:30 am
  - RS-3** Waconia - Brook Peterson Park Ice Arena (36.9 mile mark)  
Closes at 2 pm
  - RS-4** Chaska - Pioneer Park (54.8-mile mark)
- TDT HQ – 952-401-6800**  
**Emergency – Call 911**



# Draft 2017 Tour de Tonka 75-Mile Route

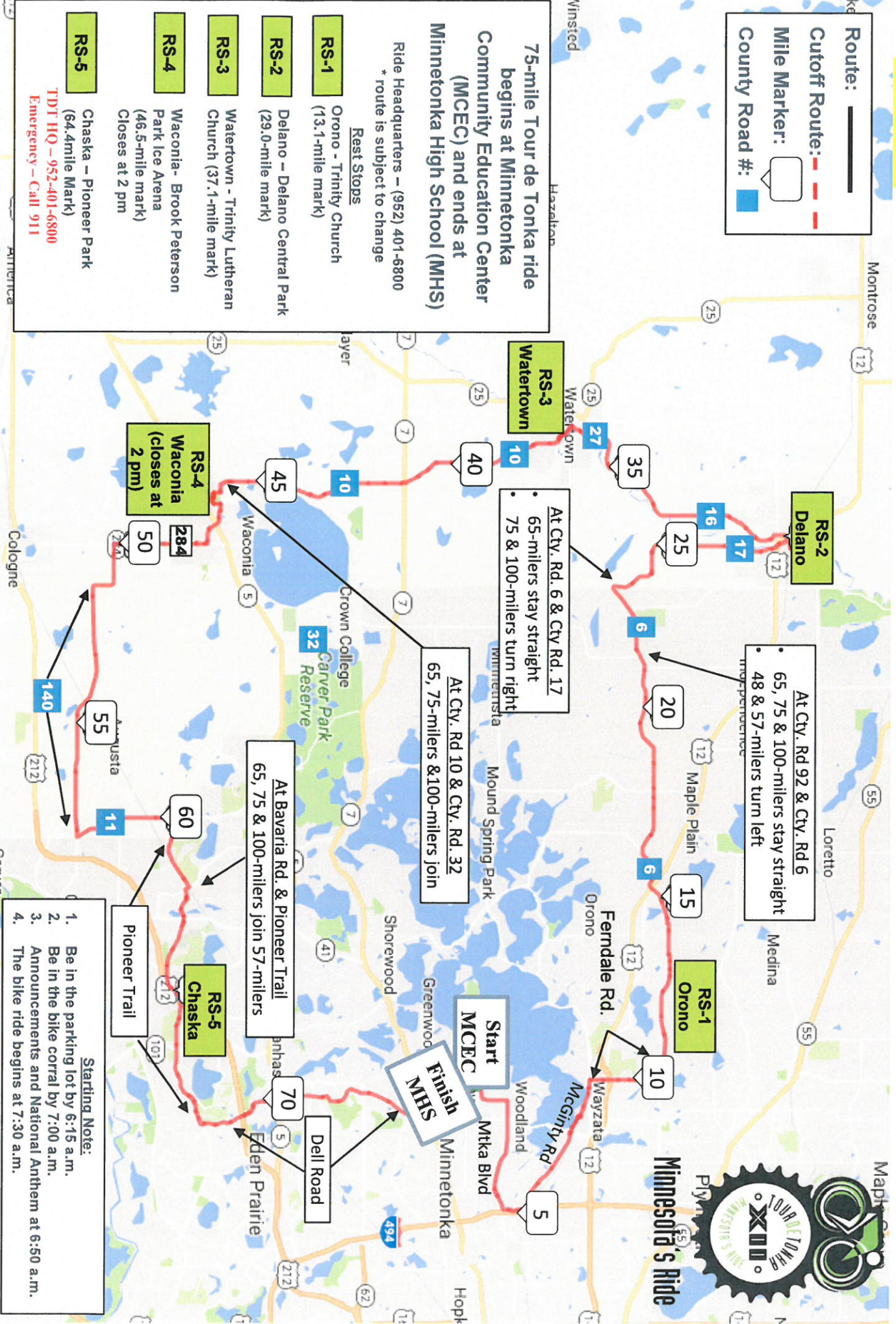
Route: ———  
 Cutoff Route: - - -  
 Mile Marker:   
 County Road #: 

**75-mile Tour de Tonka ride begins at Minnetonka Community Education Center (MCEC) and ends at Minnetonka High School (MHS)**

Ride Headquarters – (952) 401-6800  
 \* route is subject to change

**Rest Stops**

- RS-1** Orono - Trinity Church (13.1-mile mark)
- RS-2** Delano – Delano Central Park (29.0-mile mark)
- RS-3** Watertown - Trinity Lutheran Church (37.1-mile mark)
- RS-4** Waconia- Brook Peterson Park Ice Arena (46.5-mile mark) Closes at 2 pm
- RS-5** Chaska – Pioneer Park (64.4mile Mark)  
 TDT HQ – 952-401-6800  
 Emergency – Call 911



At Cty. Rd. 6 & Cty. Rd. 17  
 • 65-milers stay straight  
 • 75 & 100-milers turn right

At Cty. Rd 92 & Cty. Rd 6  
 • 65, 75 & 100-milers stay straight  
 • 48 & 57-milers turn left

At Cty. Rd 10 & Cty. Rd. 32  
 65, 75-milers & 100-milers join

At Bavaria Rd. & Pioneer Trail  
 65, 75 & 100-milers join 57-milers

- Starting Note:**
1. Be in the parking lot by 6:15 a.m.
  2. Be in the bike corral by 7:00 a.m.
  3. Announcements and National Anthem at 6:50 a.m.
  4. The bike ride begins at 7:30 a.m.

**Draft**

# 2016 Tour de Tonka 100-Mile Route

**Route:**

**Cutoff Route:**

**Mile Marker:**

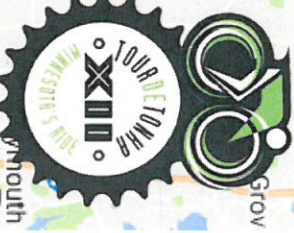
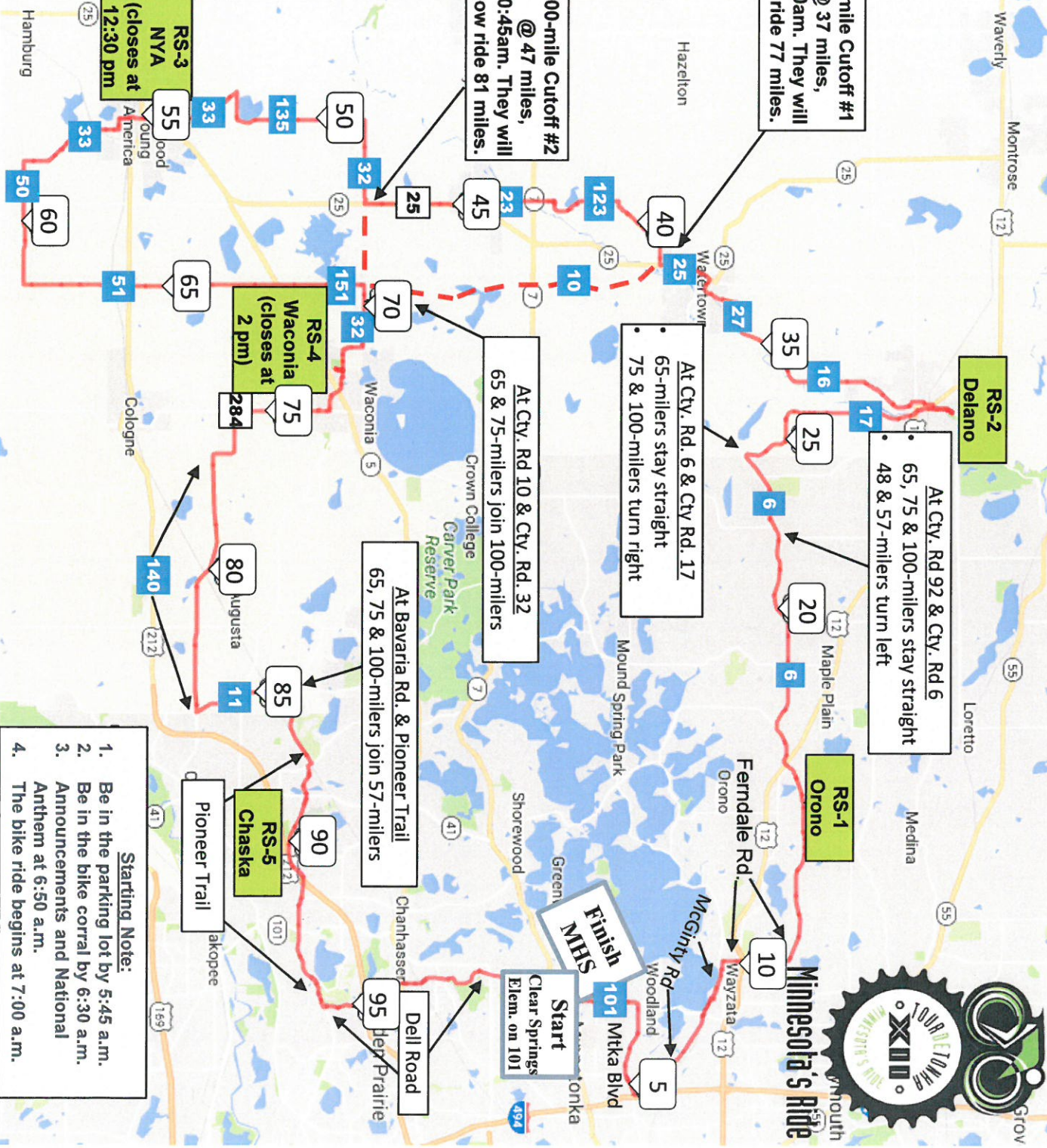
**County Road #:**

**100-mile Tour de Tonka ride begins at Clear Springs Elementary (CS) and ends at Minnetonka High School (MHS)**

Ride Headquarters – (952) 401-6800  
\* route is subject to change

**Rest Stops**

- RS-1** Orono - Trinity Church (13.7-mile mark)
- RS-2** Delano – Delano Central Park (29.6-mile mark)
- RS-3** Norwood Young America- Legion Park (55.8-mile mark) Closes at 12:30 pm
- RS-4** Waconia- Brook Peterson Park Ice Arena (72.2 mile mark) Closes at 2 pm
- RS-5** Chaska – Pioneer Park (90.1-mile Mark) TDT HQ – 952-401-6800 Emergency – Call 911





# LMCC

LAKE MINNETONKA COMMUNICATIONS COMMISSION

4071 SUNSET DRIVE ■ BOX 385 ■ SPRING PARK, MN 55384-0385 ■ 952.471.7125 ■ FAX 952.471.9151 ■ [lmcc@lmcc-tv.org](mailto:lmcc@lmcc-tv.org)

To: All LMCC Member Cities  
From: Jim Lundberg, Operations Manager LMCC  
Date: 2/14/17  
Reason: Amendment to the LMCC Joint Powers Agreement

DEEPHAVEN

At last week's 2/9/17 LMCC Commission meeting the group unanimously approved an amendment to our current JPA. The amendment updates Section X regarding withdrawing member cities.

EXCELSIOR

GREENWOOD

The amendment, which is attached, is designed to protect LMCC Member Cities and their subscribers should an existing Member chose to the leave the Commission. Basically, it says that if a City chooses to leave, that the City would be responsible for any costs incurred by the LMCC when they leave.

INDEPENDENCE

LONG LAKE

The main concern currently, is the costs associated with rebuilding Mediacom's cable plant to allow our channels to only be viewed by residents of Member Cities, due to the fact that existing cabling is not bound by each City's boarders.

LORETTO

MAPLE PLAIN

I ask that you add this amendment to your agenda of an upcoming City Council meeting for action. Please get back to me with your Cities approval or disapproval by March 15<sup>th</sup>, 2017.

MINNETONKA  
BEACH

Of course, please feel free to contact me if you have any questions regarding this amendment.

ST. BONIFACIUS

Thank you and have a great day!

SHOREWOOD

SPRING PARK

Jim Lundberg  
Operations Manager  
LMCC  
(952) 471-7125 x104

WOODLAND

**Section X:**

**4A: Withdrawing Member Responsibilities:**

A Member withdrawing from the Commission shall be responsible for any costs incurred as a result of such Member's withdrawal. . This includes, but is not limited to, any costs incurred by a franchised cable operator for reconfiguration of its cable system in order to keep airing the LMCC's community programming channels as required by the franchise.





Date: February 1, 2017

To: Public Safety Commissioners  
City of Independence Council Members  
City of Maple Plain Council Members

From: Director Gary Kroells *G. Kroells*

SUBJECT: JANUARY 2017 ACTIVITY REPORT

The purpose of this report is to give the reader a quick overview of the activities of the Public Safety Department each month. It also compares monthly and year-to-date information to the reader.

The report is broken down into five categories, as defined by the Criminal Justice Reporting System.

CRIMINAL-- Criminal is broken down into Part I and Part II crimes.

Part I includes crimes against persons versus crimes against property; criminal homicide, forcible rape, robbery assault, aggravated assault, burglary -breaking or entering, larceny-theft, larceny analysis, motor vehicle theft and arson.

Part II includes other assaults, forgery and counterfeiting, fraud, embezzlement, stolen property, buying, receiving, possession; vandalism, weapons, carrying, possessing, etc.; prostitution and commercialized vice, sex offenses; drug abuse violations, gambling, offenses against the family and children, driving under the influence, liquor laws, drunkenness, disorderly conduct, vagrancy, all other offenses, suspicion, curfew and loitering laws - persons under 18; and runaways - persons under 18.

TRAFFIC-- Includes violations of the road and driving laws.

PART III-- Lost and Found: Includes lost and found persons, animals, and property, and stalled and abandoned vehicles.

PART IV-- Casualties: Includes all motor vehicle accidents, boating, and snowmobile; public home occupational accidents, fires, suicides, sudden deaths, burning permits, and burning violations.

PART V-- Miscellaneous Public: Includes open doors, gun permit applications, suspicious activities, animal complaints, motorist assists, alarm calls, parking complaints, house checks, driving complaints, civil matters, family disputes, department assists.

The balance of the report shows the total number of incidents handled, miles driven and how the Public Safety Department received calls. If anyone should desire more detailed statistical data, please contact my office.

\\WHPS#0\share\monthlyactivityreport\2017\lettertocouncilmonthlyreport.docx

*West Hennepin Public Safety Department*  
1918 County Road 90 / Maple Plain, Minnesota 55359  
Phone: (763) 479-0500 / Fax: (763) 479-0504  
Web Address: <http://www.westhennepin.com> E-mail: [westhennepin@westhennepin.com](mailto:westhennepin@westhennepin.com)

## Monthly Activity Report January 2017

Offense	This Month	Same Month Last Year	This Year To Date	Last Year To Date
<b>City Of Independence</b>				
Criminal	5	6	5	6
Traffic	172	185	172	185
Part III	7	15	7	15
Part IV	43	40	43	40
Part V	110	136	110	136
<b>Total City of Independence</b>	<b>337</b>	<b>382</b>	<b>337</b>	<b>382</b>
<b>City Of Maple Plain</b>				
Criminal	4	3	4	3
Traffic	107	63	107	63
Part III	1	2	1	2
Part IV	15	22	15	22
Part V	124	115	124	115
<b>Total City Of Maple Plain</b>	<b>251</b>	<b>205</b>	<b>251</b>	<b>205</b>
<b>Grand Total Both Cities</b>	<b>588</b>	<b>587</b>	<b>588</b>	<b>587</b>
TZD	1	0	1	0
Agency Assists	51	10	51	10
<b>Total ICR Reports</b>	<b>639</b>	<b>597</b>	<b>639</b>	<b>597</b>
Mileage	11,301	13,577	11,301	13,577
<b>How Received</b>				
Fax	8	13	8	13
In Person	18	51	18	51
Mail	3	1	3	1
Other	3	13	3	13
Phone	18	34	18	34
Radio	166	170	166	170
Visual	396	275	396	275
Email	3	4	3	3
Lobby Walk In	24	36	24	24
<b>Total</b>	<b>639</b>	<b>597</b>	<b>639</b>	<b>584</b>

**January 2017 Criminal Part I & II  
City of Independence Grid #'s 3-5**

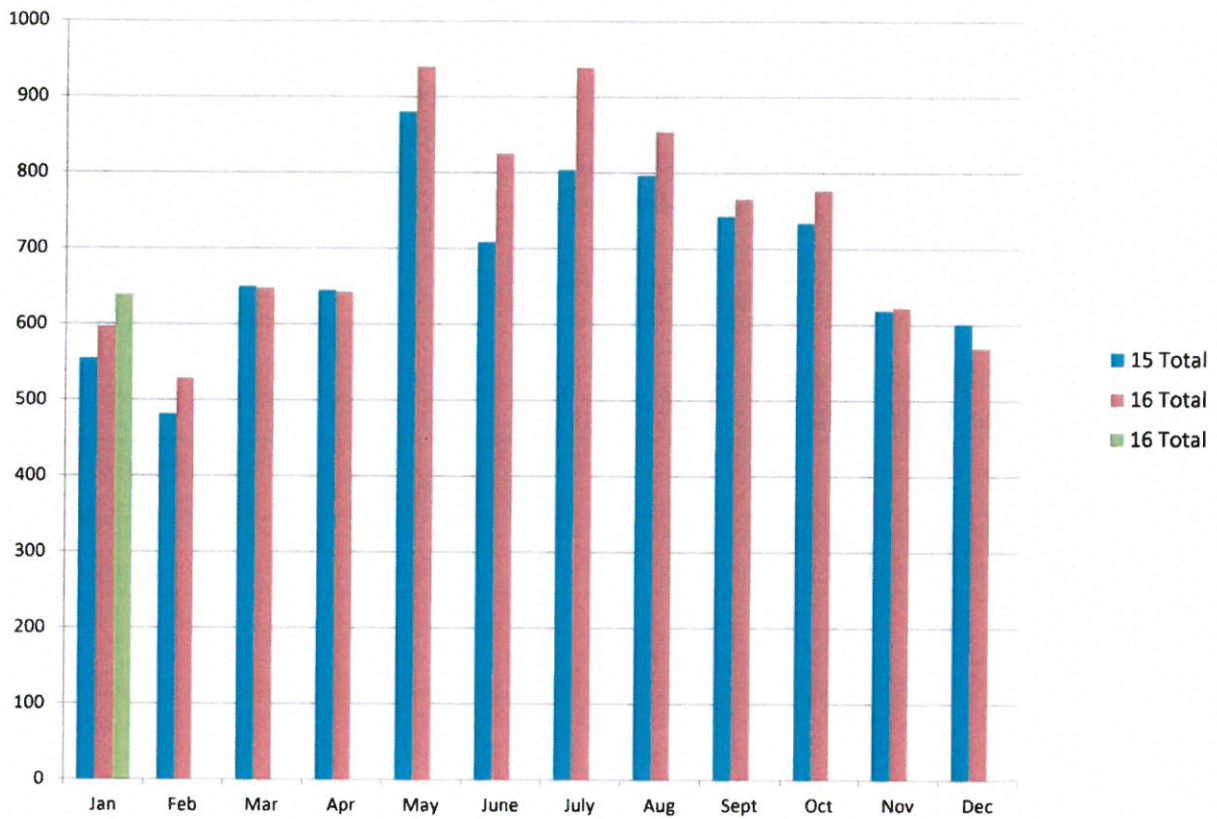
<a href="#">AGN</a>	<a href="#">ICR</a>	<a href="#">Title</a>	<a href="#">Create Date</a>	<a href="#">Grid #</a>	<a href="#">Reported Date</a>	<a href="#">MOC range</a>
WHPS	17000032	Damage to Property - Hit and Run	1/2/2017	5	1/2/2017	P3119
WHPS	17000038	Theft from Vehicle	1/3/2017	5	1/3/2017	TR159
WHPS	17000040	Property Damage	1/3/2017	4	1/3/2017	P3129
WHPS	17000226	Drugs - Possess Small Amount of Marijuana / Drugs - Paraphernalia Possession	1/12/2017	3	1/12/2017	DC500
WHPS	17000323	Theft of Street Signs	1/17/2017	3	1/17/2017	TQ229

**January 2017 Criminal Part I & II  
City of Maple Plain Grid # 1-2**

<a href="#">AGN</a>	<a href="#">ICR</a>	<a href="#">Title</a>	<a href="#">Create Date</a>	<a href="#">Grid #</a>	<a href="#">Reported Date</a>	<a href="#">MOC range</a>
WHPS	17000055	Theft of Medicine	1/4/2017	2	1/4/2017	TR010
WHPS	17000497	3rd Degree DWI Refusal	1/25/2017	2	1/25/2017	JFR01
WHPS	17000621	Damage to Property - Vehicle	1/30/2017	1	1/21/2017	P3119
WHPS	17000632	Burglary /Theft from Storage Unit	1/31/2017	1	1/31/2017	B0794

**January 20174 Criminal Part I & II  
Towards Zero Death Grant Shift**

<a href="#">AGN</a>	<a href="#">ICR</a>	<a href="#">Title</a>	<a href="#">Create Date</a>	<a href="#">Grid #</a>	<a href="#">Reported Date</a>	<a href="#">MOC range</a>
WHPS	17000568	Driving after Revocation /Drug - Paraphernalia Possession	42762	31	42762	DC500



# DIRECTOR'S NEWS & NOTES

## WEST HENNEPIN PUBLIC SAFETY

January 2017 Activity Report

### Year to Date Activity Report

At the end of January 31<sup>st</sup>, 2017 West Hennepin Public Safety (WHPS) handled a total of 639 incident complaints, 251 incidents in Maple Plain and 337 in Independence. This is an increase of 42 incidents compared to the same time frame last year.

The Criminal Part I and Part II cases for both cities have been highlighted for your review on the attached documents.

### **Recent Highlighted Cases:**

#### Suspicious Act

Jan 1 2:00 a.m. A vehicle pulled into a dealership after hours at Delano Avenue and Highway 12, Maple Plain. The driver stated he was tired and was switching with his friend to drive as they were headed to Willmar.

#### Crash

Jan 2 Co Rd 92 / Maple Ponds, Independence. Report of a crash and unknown injuries. Officer found a vehicle in the ditch next to a tree on west side of the roadway. The female driver stated the road was icy and she lost control and slid into the ditch. No injuries and no air bag deployment. A tow had already been requested by the driver through AAA.

#### Hit and Run

Jan 2 9300 Co Rd 11, Independence. Homeowner reported a white truck possibly a Chevrolet truck had gone down in the ditch, striking their fence causing extensive damage. The driver was able to drive out of the ditch, fled in the truck and had left the scene before Officer arrival. Case under investigation.

#### Theft from Vehicle

Jan 3 8900 Dean Lane, Independence. Reported someone went into a garage and stole custom car mats from a vehicle. Case under investigation.

#### Property Damage

Jan 3 Reported property damage in an area that is a City Park on Lindgren Lane and motorized vehicles are not allowed. Officer observed 4 wheelers had been using the area and found ATV tracks in the yard of 2800 Lindgren Ln. Homeowner advised her husband and a neighbor have pulled their kids around in their sleds behind their ATV's and were unaware that it was a park and of the no motorized vehicles.

#### Theft

Jan 4 1500 Wyman Ave, Maple Plain. Reported medicine was stolen out of an employee's purse. Case is under investigation.

#### Suspicious Act

Jan 5 2:05 a.m. Officer observed a vehicle pull out from behind the business strip mall at 4900 Highway 12. All businesses had been closed for several hours. Vehicle was stopped and the driver stated she was on her way home and had to go to the bathroom very bad and had to stop. She was very apologetic.

### Personal Injury Crash

Jan 5 8:45 a.m. Officer responded to a two car crash in front of the address, 281 County Road 92, Independence. Male driver was looking for an address for a service call for heating. He had stopped in the lane of traffic, put his vehicle in reverse, and backed up striking the vehicle behind him. The female driver of the struck vehicle had some neck pain. Ridgeview Ambulance responded and checked the female who refused transport and was going to follow up with her doctor.

### Police Assist-Fake ID

Jan 6 Business at 5000 Highway 12, Maple Plain requested assistance how to handle persons suspected of trying to use fake ID's to purchase alcohol. Three different persons tried to use fake ID's from Ohio, Illinois and ND and all were denied their purchases. Owner was provided with information regarding fake ID's.

### Snowmobile Violation

Jan 6 Budd Ave / Bryantwood Dr / Clayton Dr, Maple Plain. Officer observed a snowmobile being ridden on private and railroad property. The rider, 16 year old male from Maple Plain did not have a snowmobile endorsement. He was advised of proper riding etiquette, needs to ride on marked trails and abide by Maple Plain City Ordinances. He was followed to his home on Clayton Drive where he parked his snowmobile and was told he cannot ride until he obtains a snowmobile endorsement.

### Noise Complaint

Jan 7 5200 Manchester Drive, Maple Plain. Officer received a complaint of kids running in their apartment on the third floor. Officer arrival, did not hear children running or their voices. Officer found the complainant had talked to the apartment occupants. No further action was needed.

### Crash

Jan 9 20 year old Motorist from Brooklyn Park was eastbound on Highway 12 waiting in the left turn lane to turn left onto Co Rd 92, Independence when he was struck from behind by a 17 year old male driver from Loretto who was also going to turn left. The Driver admitted he was probably going too fast for the conditions. No injuries.

### Crash

Jan 10 9:28 p.m. Budd Street / Perkinsville, Independence Officer received a call of a single vehicle crash into a utility pole. Officer arrival found the 16 year old female driver from Mound and 17 year old passenger from Independence out of the vehicle and walking around. The driver stated they were northbound on Budd and going to turn eastbound on Perkinsville. The road was extremely icy and the vehicle slid off the corner, striking a utility pole head on. Independence City Public Works were contacted for sanding the intersection. Xcel Energy was contacted for repair / replacement of the pole as it was broken. Frontier phone box was also damaged.

### Car seat Check

Jan 11 Officer assisted a resident from Maple Plain checking the 5 Point Harness on a child car seat that was switched from one vehicle to another. Officer found the booster seat was very loose and tightened it so the child could use the booster seat straps vs the lap shoulder belt.

## Medical

Jan 11 800 Copeland Rd, Independence Reported possible broken leg. The female was standing behind a horse that all of a sudden kicked her in the leg / knee cap and her arm. North Memorial Ambulance and MPFD arrived and assisted.

## Accident / Crash

Jan 12 Motorist was southbound on Budd Ave at Highway 12, stopped, waiting to continue south through the intersection. He thought it was clear, pulled out into the intersection and struck an eastbound vehicle on Highway 12. No injuries. The motorist was issued a citation for 'Failure to Yield at an Intersection'. Both vehicles were driven from the scene; only the motorist vehicle stalled further down the road and had to be towed.

## School Bus Stop Arm Violation

Jan 13 988 County Road 19, Independence. First Student Bus Driver reported the bus was stopped in southbound lane with the stop arm out. The kids had already crossed the northbound lane and were walking directly in front of the bus when a small, dark SUV in the northbound lane drove through the bus extended stop arm. The case is under investigation.

## Crash

Jan 13 2:52 p.m. Highway 12 / County Line Rd, Independence. A vehicle that was stopped in the turn lane was rear-ended. Witness stated the motorist was using a mobile device and was distracted. The Driver was found to have a revoked driver status. Citation was issued for Driving after Revocation and Fail to Drive with Due Care.

## Hit and Run Crash

Jan 13 4:55 p.m. 1500 Wyman Ave, Maple Plain. Owner of vehicle reported while at work her vehicle had been struck damaging the rear driver's side tail-light and bumper. Unknown who had struck it.

## Crash

Jan 13 5:03 p.m. Highway 12 / Boundary Ave., Maple Plain. 29 year old female motorist from Cokato stated she did not see the vehicle in front of her slowing down for traffic, admitted to being distracted and didn't see the car until her airbag deployed. No injuries to the drivers. Citation issued for Failure to Drive with Due Care.

## Vehicle in Ditch

Jan 14 Highway 12 / Co Rd 90, Independence. A Driver passed two westbound vehicles waiting on Highway 12 to turn left, south on Co Rd 90. The Driver passed them in the left lane, in the east oncoming traffic lane; then left the roadway and went into the ditch of the intersection. The Driver stated it was slippery however the road surface was dry and clear of ice. The Driver was issued a citation for Failure to Drive with Due Care.

## Traffic Complaint

Jan 15 Complaint of a vehicle all over the road, nearly went off the road, suddenly started swerving; then the vehicle almost struck the pedestrian crosswalk sign and almost left the road. The complainant honked her horn at the driver and called 911. The driver was located at his residence who stated he figured WHPS would stop by, as he knew he jumped the curb and another driver honked at him. He stated he got a terrible Charlie horse and was rubbing his leg trying to get it to release. No impairment was detected. The complainant was called and advised of the Officer findings.

### Stove Fire

Jan 16 6200 Wood Hill Lane, Independence. Homeowner reported bacon in the oven caught it on fire and she put it out with the fire extinguisher. Officer assisted in pulling the range out and shutting the gas off. Maple Plain Fire response was canceled.

### Fall

Jan 17 10:37 p.m. Male was playing hockey with friends at Maple Plain Rainbow Park skating rink when he fell and hurt his right side. He could not get up due to the pain and was transported to the hospital by ambulance.

### Horses Corralled

Jan 20 Several persons were trying to corral horses out on Turner Road, Independence and successfully put them in a neighbor's paddock. The owner of the horses was determined and contacted that her horses were out and where she could find them.

### Suspicious Activity

Jan 20 10:20 p.m. Several kids found at the Discovery Center on a picnic table. 15 years old boy stated he and his friends were out for a walk, had thrown something up on the roof and had to get it down. His parent was contacted and she and another parent came to the scene and picked up all the kids. No damage found or done.

### Utility Problem

Jan 23 City of Maple Plain reported a water main break at Joyce Street and Wyman Ave, Maple Plain. The city shut down the water main for approximately four hours to fix the break. The residents were notified by CODE Red advising their water access was shut down. To sign up for CODE Red notifications, contact your Maple Plain city administrator.

### 3<sup>rd</sup> Degree DWI – Refusal

Jan 25 At 2:23 a.m. WHPS Officer observed a vehicle that was weaving badly on the roadway at Baker Park Rd / Highway 12, Maple Plain. The driver stated she had no reason for weaving and admitted being on her phone. The driver was found under the influence of alcohol. Alexandra Ashley Criego, 22 from Carver refused to do the test; was arrested and transported to Hennepin County Jail and booked for 3<sup>rd</sup> Degree DWI – Refusal.

### Threat

Jan 25 Male at Vinland Center overheard a client talking to himself saying that he wanted to "blow this place up". The comment was not directed towards the male but he thought it was a threat and that he needed to call the police. The client apologized and stated he did not actually mean what he said. It was determined no crime and he would talk with his counselor in the morning.

### Stolen Vehicle / Recovered

Jan 26 Reported a vehicle in the ditch at 2800 Valley Road, Independence. Officer found the car was unoccupied and it was reported stolen from the city of Brooklyn Park and involved in a Home Invasion. The area houses were checked for open doors or signs of forced entry. A 2600 Valley Road residence had two open doors and the resident gave permission for their house to be searched to make sure no suspects were in the home. None were found. Hennepin County Crime Lab responded to the scene for crime processing. The case was forwarded to Brooklyn Park Police on WHPS findings.



### Chimney Fire

Jan 29

9:30 p.m. Received a call of a chimney fire in the 2800 Lake Sarah Rd, Independence. Police arrival found smoke in the area, smoke had been coming out of the house eaves and the homeowners were out of the house. Maple Plain Fire extinguished the fire and opened up parts of the house. The homeowners stayed with neighbors for the night.

### Burglary

Jan 31

5300 Pioneer Creek Dr, Maple Plain. Theft of a Kawasaki Motocross Motorcycle from a storage unit. Security cameras are being reviewed for suspects and or vehicles. The case is under investigation.

### Domestic

Jan 31

1500 Wyman Ave, Maple Plain. 77 year old female reported she had been assaulted by her father. There were no physical signs that an assault occurred. Family advised the father is deceased and the female has some dementia and is not clear thinking. No evidence that an assault occurred.



## City of Independence

### ***Request for a Variance to Allow a Reduced Front and Side Yard Setback for the Property Located at 5215 Sunset Lane***

---

*To:* City Council  
*From:* Mark Kaltsas, City Planner  
*Meeting Date:* February 28, 2017  
*Applicant:* Corey Oeffling  
*Owner:* Corey Oeffling  
*Location:* 5215 Sunset Lane

#### ***Request:***

Corey Oeffling (Applicant/Owner) requests that the City consider the following actions for the property located at 5215 Sunset Lane (PID No. 01-118-24-31-0002):

- a. A variance to allow a reduced front and side yard setback. The setback reductions would permit the construction of a new attached garage and front porch.

#### ***Property/Site Information:***

The subject property is located at 5215 Sunset Lane which is on the south side of the road before it curves north along Lake Sarah. The property is comprised of approximately .84 acres. The property has a significant grade change and a mix of upland wooded areas.

Property Information: **5215 Sunset Lane**  
Zoning: *Rural Residential (Shoreland Overlay)*  
Comprehensive Plan: *Rural Residential*  
Acreage: 2.87 acres  
Impervious Surface Maximum: 25%

5215 Sunset Lane (blue outline)



**Discussion:**

The Planning Commission initially reviewed this request in November of 2016. At that time the applicant did not have an official survey of the property and was asking the Planning Commission to consider a variance for a reduced front and side yard setback. The initial request made to the City included the following proposed setbacks from the front and side yards:

Front Yard Required: 85 feet from centerline of road.  
Front Yard Proposed: 45 feet from centerline of road  
**Variance: 40 feet**

Side Yard Required: 30 feet (existing home is located 19.7 feet from side property line)  
Side Yard Proposed: 16 feet  
**Variance: 14 feet**

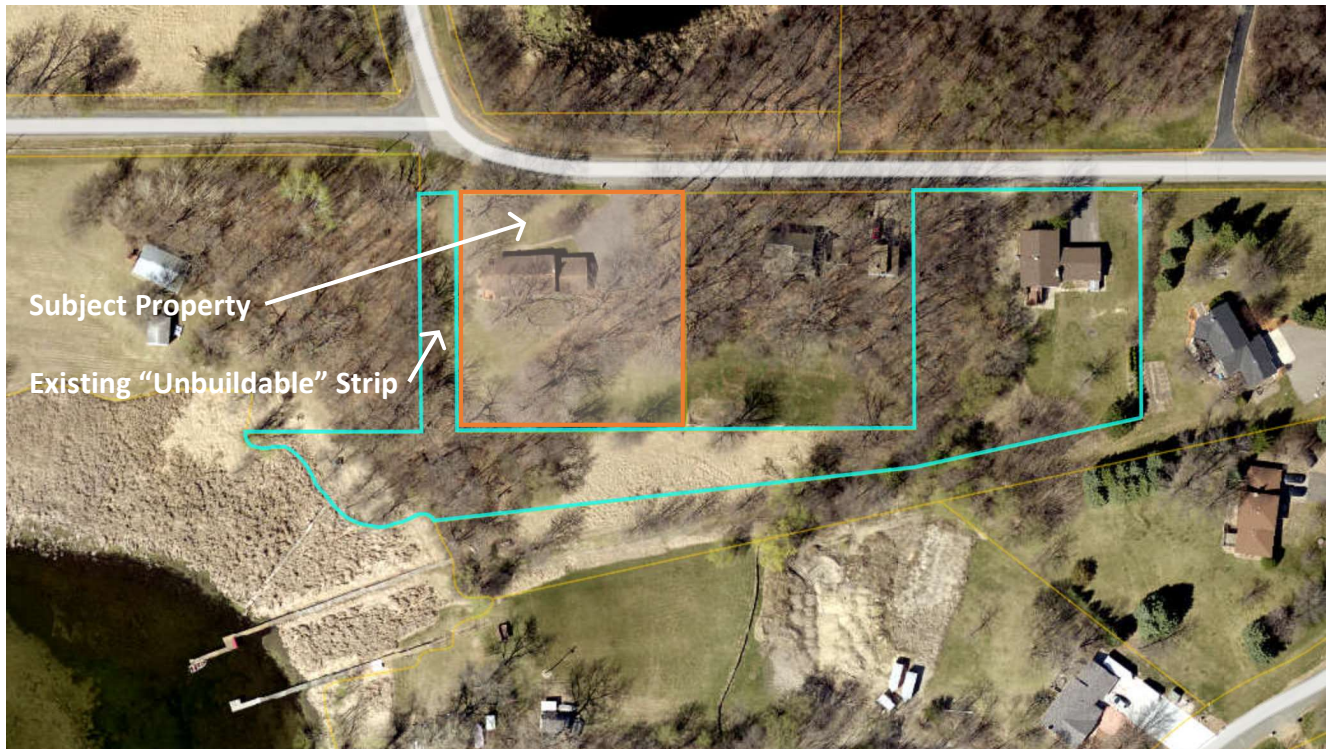
The Planning Commission reviewed the request and recommended approval subject to the applicant obtaining a certified survey for the property to verify the proposed setbacks. The applicant commissioned the survey and upon review of the proposed setbacks in relation to the property lines determined that the garage would be considerably closer to the side lot line. In light of the survey findings, the applicant is now proposing the following setbacks for the garage addition:

Front Yard Required: 85 feet from centerline of road.  
Front Yard Proposed: 42.1 feet from centerline of road  
**Variance: 42.9 feet**

Side Yard Required: 30 feet (existing home is located 19.7 feet from side property line)  
Side Yard Proposed: 8.7 feet  
**Variance: 21.3 feet**

Due to the discrepancy between the setbacks initially considered by the Planning Commission and the newly proposed setbacks, it was necessary for the variance to be reconsidered by the City. The applicant is proposing a side yard setback of 8.7 feet from the west property line versus the originally proposed 16 feet. The applicant is proposing a front yard setback of 42.1 feet from the centerline of the road versus the originally proposed 45 feet. There are several additional considerations that should be noted by the City when reviewing this request:

1. There is a narrow strip (30-foot-wide drainage and utility easement) of “unbuildable” land directly adjacent to the side property line that would be closest to the proposed structure (see depiction below). This land is part of a larger parcel owned by a neighboring property to the east of the subject property. The owner of the strip of land has provided a letter to the City stating that they do not object to the requested variances. The 30 foot wide parcel provides access to the lakeshore for the property that owns the strip. That properties access to the lake is otherwise limited due to an existing wetland.



2. The existing home will maintain an approximate 83-foot setback from the east property line. The City has historically considered the combined side yard setback of a parcel as one metric to ensure adequate access around the property.

The applicant would like to construct a new front porch and attached garage on the property. There is currently an existing home located on the property. The existing home has an attached garage that is located below the living area and accessed through the lower level. The applicant recently acquired the home from his father and would like to construct a new attached garage in a location and at an elevation that would allow access into the home at the main living level. The lot slopes from west to east in a manner that would make it difficult to construct an addition that could be accessed at the main living level grade.

There are several factors to consider relating to granting a variance. The City's ordinance has established criteria for consideration in granting a variance.

*520.21. Standards for granting variances, Subdivision 1. The City Council may grant a variance from the terms of this zoning code, including restrictions placed on nonconformities, in cases where: 1) the variance is in harmony with the general purposes and intent of this zoning code; 2) the variance is consistent with the comprehensive plan; and 3) the applicant establishes that there are practical difficulties in complying with the zoning code (Amended, Ord. 2011-08)*

*Subd. 2. An applicant for a variance must demonstrate that there are practical difficulties in complying with the zoning code. For such purposes, "practical difficulties" means:*

- (a) The property owner proposes to use the property in a reasonable manner not permitted by the zoning code;*
- (b) the plight of the property owner is due to circumstances unique to the property not created by the landowner;*
- (c) the variance, if granted, will not alter the essential character of the locality.*

*Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems. (Amended, Ord. 2011-08)*

*Subd. 3. The City Council shall not grant a variance to permit a use that is not allowed under the zoning code based on the zoning classification of the affected property. (Amended, Ord. 2011-08)*

*520.23. Conditions and restrictions. The board of adjustments may recommend and the City Council may impose conditions on a variance. Conditions must be directly related to and must bear a rough proportionality to the impact created by the variance. (Amended, Ord. 2011-08)*

Consideration of the criteria for granting a variance:

- a. The applicant is proposing to use the property in a manner consistent with the Rural Residential District. The property is wooded and positioned in a way that would reduce the impact of the proposed garage addition. The neighborhood surrounding this property has a wide array of property types with varying setbacks from the front and side yard setbacks. The applicants have attempted to locate the building in a manner that they feel would reduce or mitigate impacts to the surrounding properties.

- b. The character of the surrounding area is residential. The applicant is proposing to update the existing home with a new front porch. The applicant is also trying to construct a new garage that is at the same level as the main living area of the home. Currently the only access to the home from the garage is through the basement.
- c. The proposed variance would allow the expansion of a residential structure which is in keeping with the City's comprehensive plan.
- d. The existing home is located approximately 19 feet from the side property line and would be considered a non-conforming structure. The applicant could construct a detached garage that would be permitted to be located within 15 feet of the side property line.
- e. The elevation of the house and overall lot makes it difficult to locate a garage to the east of the existing home without significant changes being made to the grade. The applicant believes that the impact from those changes would be more significant to the surrounding properties than the plan which is proposed.
- f. The applicant is proposing to construct a new front porch on the existing home. The front porch would encroach into the required setback approximately 10 feet. The City could grant a variance for the porch separately if the proposed garage is not recommended for approval.

The City will need to determine if the requested variances for a reduced front and side yard setback meet the requirements for granting a variance.

***Neighbor Comments:***

The applicant has spoken with the surrounding property owners and stated that he generally received support of the requested variance. The City received a letter from the property owner of 5175 Sunset Lane (owner of the adjacent strip of land to the west) stating that they support the requested variances.

***Planning Commission Discussion:***

Commissioners discussed the proposed variances and asked questions of staff and the applicant. Commissioners confirmed the width of the adjacent strip of land and it was noted that it is 30 feet in width. Commissioners asked if the proximity of the proposed garage to the road would cause any issues with maintenance and plowing of the road. Staff confirmed that the City had reviewed the proposed garage and believes that the setback allows for adequate maintenance of the City's right of way and infrastructure. Commissioners asked if any additional screening of the proposed garage should be required by the City. The applicant noted that he is planning on maintaining the majority of the existing trees located near the property line. In addition, the applicant stated that he would like to plant additional screening to block headlights from getting to the home. Commissioners were satisfied that the City did not need to require additional screening for the proposed garage. Commissioners found that the criteria for granting a variance had been met and

recommended approval of the variances to the City Council subject to the findings and conditions noted in this report.

**Recommendation:**

The Planning Commission recommended approval of the requested Variances with the following findings and conditions:

1. The requested variances meet all applicable conditions and restrictions stated in Chapter V, Section 520.19, Procedures on variances, in the City of Independence Zoning Ordinance.
2. The requested variances were found to meet the criteria for granting a variance due to the following conclusions:
  - a. The proposed garage and front porch improvements are in keeping with the character of the surrounding neighborhood
  - b. The proposed property improvements will allow the property to continue to be used in a manner consistent with the comprehensive plan.
  - c. The grade of the property and the proximity of the home to the property lines is a unique condition to this property.
3. The requested variances will allow the construction of the proposed garage, mud room and porch in accordance with the approved site plan only (the site plan will become an exhibit of the resolution).

The approved setback variances shall be as follows:

- a. Front Yard: 42.9 feet
  - b. Side Yard: 21.3 feet
4. The Applicant shall pay for all costs associated with the City's review of the requested variances.
  5. Any future improvements or expansion of the structure will need to be in compliance with all applicable standards relating to the Rural Residential zoning districts.

**Attachments:**

1. Application
2. Site Plan/Survey



**Attachment #1**

*5215 Sunset Lane (looking south)*



*5215 Sunset Lane (topography)*





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RESOLUTION NO. 17-0228-01

A RESOLUTION GRANTING APPROVAL OF A VARIANCE TO ALLOW A 42.9 FOOT REDUCTION IN THE PERMITTED FRONT YARD SETBACK AND A 21.3 FOOT REDUCTION IN THE PERMITTED SIDE YARD SETBACK FOR THE PROPERTY LOCATED AT 5215 SUNSET LANE

WHEREAS, the City of Independence (the “City”) is a municipal corporation under the laws of Minnesota; and

WHEREAS, the City adopted a comprehensive plan in 2010 to guide the development of the community; and

WHEREAS, the City has adopted a zoning ordinance and other official controls to assist in implementing the comprehensive plan; and

WHEREAS, Corey Oeffling (the “Owner”) submitted a request for a variance to allow a reduced front yard and side yard setback which would permit a garage and front porch addition for the property located at 5125 Sunset Lane (PID No. 01-118-24-31-0002) (the “Property”); and

WHEREAS, the Property is zoned Rural Residential; and

WHEREAS, the Property is legally described as shown and depicted on Exhibit A attached hereto.

WHEREAS the requested Variance meets all requirements, standards and specifications of the City of Independence zoning ordinance for Rural Residential lots; and

WHEREAS the Planning Commission held a public hearing on November 15, 2016 and February 21, 2017 to review the application for a Variance, following mailed and published noticed as required by law; and

WHEREAS, the City Council has reviewed all materials submitted by the Applicant; considered the oral and written testimony offered by the applicant and all interested parties; and has now concluded that the application is in compliance with all applicable standards and can be considered for approval.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF INDEPENDENCE, MINNESOTA, that it should and hereby does approve the application by Corey Oeffling and grants a Variance for the property in accordance with the City's zoning regulations with the following findings and conditions:

1. The requested variances meet all applicable conditions and restrictions stated in Chapter V, Section 520.19, Procedures on variances, in the City of Independence Zoning Ordinance.
2. The requested variances were found to meet the criteria for granting a variance due to the following conclusions:
  - a. The proposed garage and front porch improvements are in keeping with the character of the surrounding neighborhood
  - b. The proposed property improvements will allow the property to continue to be used in a manner consistent with the comprehensive plan.
  - c. The grade of the property and the proximity of the home to the property lines is a unique condition to this property.
3. The requested variances will allow the construction of the proposed garage, mud room and porch in accordance with the approved site plan only (the site plan will become an exhibit of the resolution). The approved setback variances shall be as follows:
  - a. Front Yard: 42.9 feet
  - b. Side Yard: 21.3 feet
4. The total impervious surface coverage for this property will not exceed 25% of the total lot area.
5. The applicant shall submit a drainage plan to the City at the time of building permit application. The drainage plan will be reviewed by the City to ensure that the proposed improvements do not adversely impact any of the surrounding properties relating to grading and drainage.
6. The Applicant shall pay for all costs associated with the City's review of the requested variance.
7. Any future improvements made to this property will need to be in compliance with all applicable standards relating to the Rural Residential and Shoreland Overlay zoning districts. No expansion of the home/garage will be permitted without an additional variance request.

This resolution was adopted by the city council of the City of Independence on this 28<sup>th</sup> day of February, 2017, by a vote of \_\_\_ ayes and \_\_\_ nays.

\_\_\_\_\_  
Marvin Johnson, Mayor

ATTEST:

\_\_\_\_\_  
Mark Kaltsas, City Administrator

(SEAL)



**RECEIVED**  
10-14-16

**City of Independence**

The Independence City Code was established to protect both current and future residents from the negative impacts of improper development and to ensure a positive future for the city. The land use application review is the mechanism that allows the city to examine proposed uses to ensure compatibility with the surrounding environment, natural or otherwise. It is important to understand that a proposed use may be acceptable in some circumstances, but unacceptable in others—all applications are viewed on a case-by-case basis.

- Appeal
- Comprehensive Plan Amendment
- Concept Plan
- Conditional Use Permit
  - \_\_\_ Residential
  - \_\_\_ Commercial/Light Industrial
  - \_\_\_ Telecommunications
  - \_\_\_ Agriculture
  - \_\_\_ Home Occupation
  - \_\_\_ Non-Conforming Use
  - \_\_\_ Guest/Bunk House
  - \_\_\_ Institutional
  - \_\_\_ CUP Amendment
- Extension Request
- Final Plat
- Interim Use Permit
- Lot Consolidation
- Minor Subdivision (Survey)
  - \_\_\_ Lot Subdivision
  - \_\_\_ Lot Combination
  - \_\_\_ Lot Line Rearrangement
- Moving Buildings
- Preliminary Plat
- Rezoning
- Site Plan Review (Commercial)
- Vacation
- Variance
  - \_\_\_ Subdivision Regulations
  - \_\_\_ Zoning
  - \_\_\_ Road Frontage
- Zoning Text Amendment

**Request:** Variance for new  
front steps and  
Adding new garage  
on the existing house  
west side

**Site Address or Property Identification Number(s):**

5215 Sunset Lane Loretto  
MN 55357

NOTE: Minnesota State Statute 15.99 requires local governments to review an application within 15 days of its submission to determine if an application is complete and/or if additional information is needed to adequately review the subject request. **To ensure an expedited review, applicants shall schedule a pre-application meeting with the City Planner/Administrator at least one week prior to submittal.** Most applications have a review period of 60 days, with the City's ability to extend an additional 60 days if necessary due to insufficient information or schedule.

**Office Use Only**

	<u>10/14/16</u>
	Date
<u>500</u>	<u>2069</u>
Application Amount	Application Check #
<u>1,000</u>	<u>2068</u>
Escrow Paid	Escrow Check #
_____	_____
Date Accepted by Planner	Accepted By
_____	_____
City Planner	

\*Please check all that apply

**\*\*\*Note: All parties with a fee interest in the real estate must sign this application before the City will review for consideration!**

**Applicant Information:**

**Owner Information (if different than applicant)**

Name: Corey Oeffling

Name: \_\_\_\_\_

Address: 5215 Sunset Lane

Address: \_\_\_\_\_

City, State, Zip: Loretto MN 55357

City, State, Zip: \_\_\_\_\_

Phone: 651-248-2707

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Email: \_\_\_\_\_

Signature: Corey Oeffling

Signature: \_\_\_\_\_

**Checklist:** Please review the checklist that goes with the request(s) as all materials in the checklist unless waived by the City.

**Review Deadline and Timeline:** All applications must be received by the deadline according to the schedule attached hereto. Failure to submit by the date shown will result in a delay in the scheduling of the application review by Planning Commission and City Council.

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***Application for Planning Consideration Fee Statement***

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The City of Independence has set forth a fee schedule for the year 2014 by City Ordinance. However, projects of large scope that include two or more requests will be required to provide a larger deposit than the resolution sets forth as set by the City Administrator. The fees collected for land use projects are collected as deposits. All invoices associated with each land employ application will be billed to the applicant within 30 days upon receipt by the City for each project. The City of Independence often utilizes consulting firms to assist in the review of projects. The consultant and City rates are shown at the bottom of this form. By signing this form, the applicant recognizes that he/she is solely responsible for any and all fees associated with the land use application from the plan review stage to the construction monitoring stage through to the release of any financial guarantee for an approved project. If a project is denied by the City Council or withdrawn by the applicant, the fees associated for the project until such denial or withdrawal, remain the applicant's responsibility.

I UNDERSTAND THE FEE STATEMENT AND RESPONSIBILITIES ASSOCIATED WITH THIS LAND USE APPLICATION:

**Applicant Signature:** Corey Oeffling  
**Date:** 10-14-16

**Owner Signature (if different):** \_\_\_\_\_  
**Date:** \_\_\_\_\_

COREY  
OFFLING

PROPOSED (PRELIM.)

SITE PLAN



46'-0"

26'-0"

EXIST. HOUSE

EXIST. GARAGE

24'-0"

12'-0"

15'

NEW MUD

NEW ENTRY

7'-6"

8'-0"

NEW GARAGE

30'-0"

28'-0"

?

49'

49'-0"

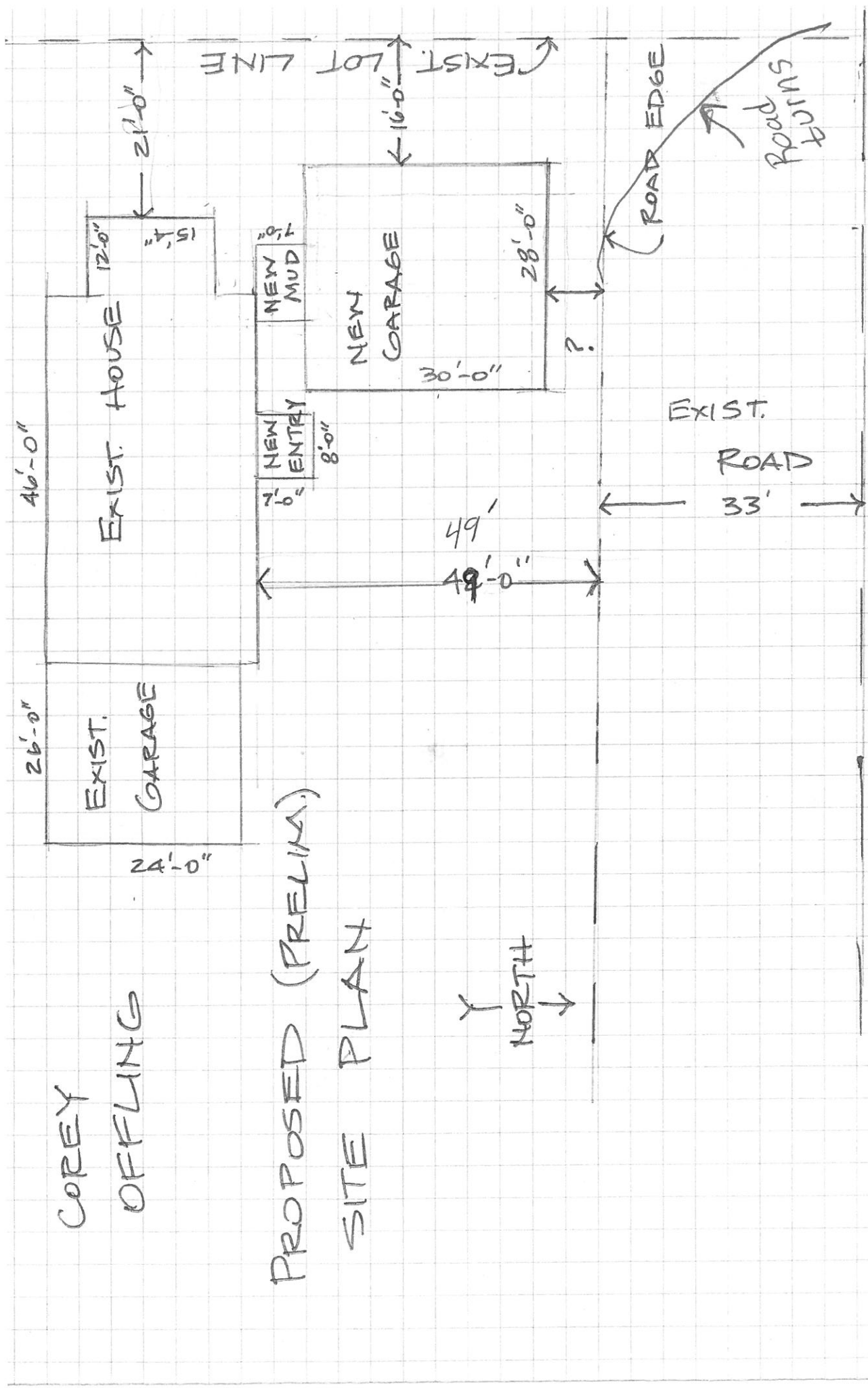
EXIST. ROAD  
33'

EXIST. LOT LINE

16'-0"

ROAD EDGE

ROAD PAVEMENT

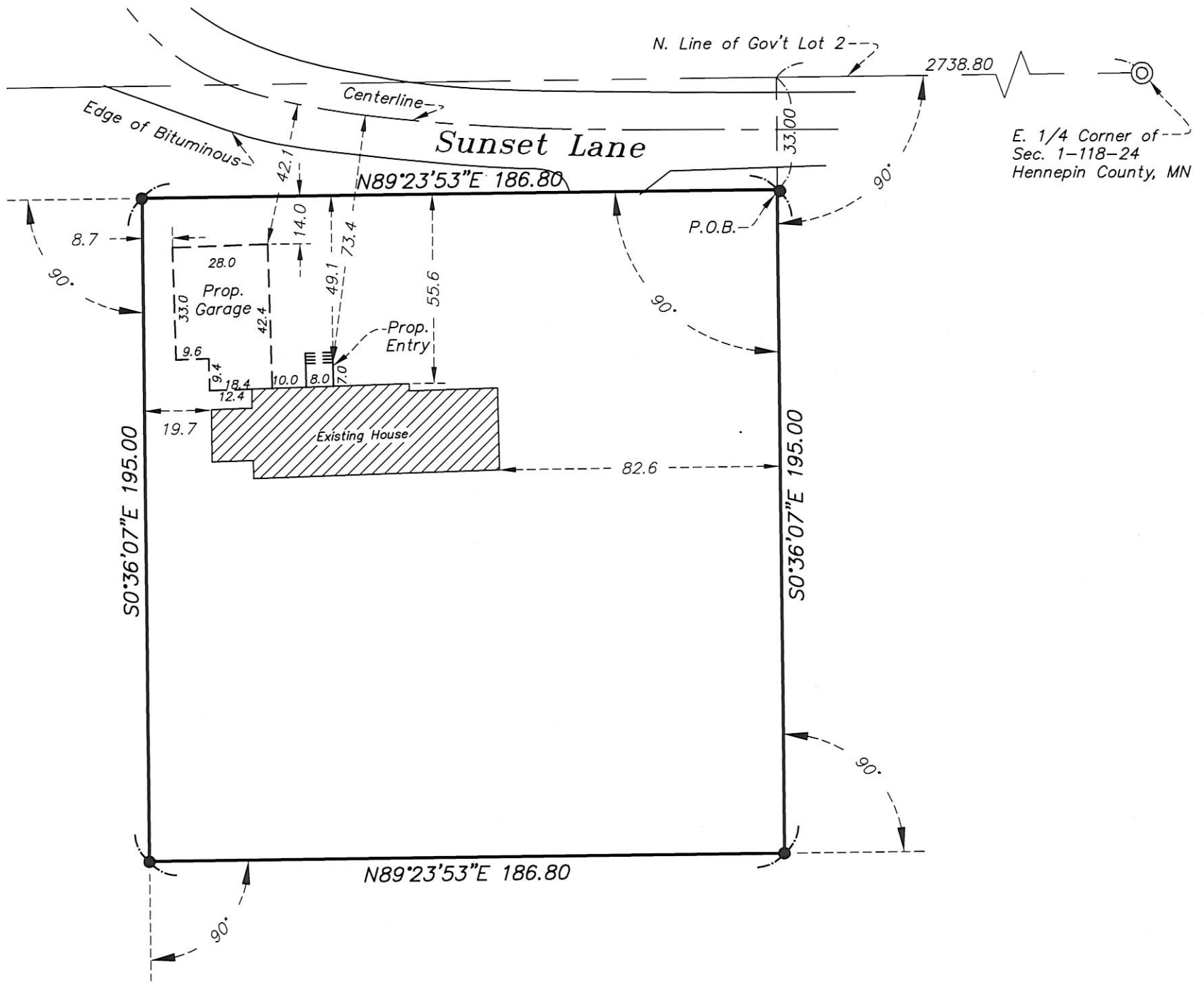


# Building Permit Survey

Prepared for:  
Corey Oeffling

**Legend**

- Found Iron Monument
- ⊙ Cast Iron Monument

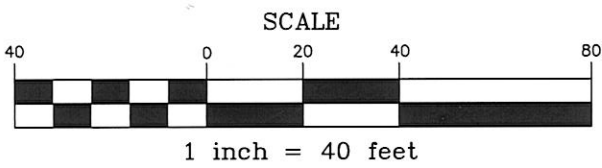


Site Address:  
5215 Sunset Lane  
Independence, MN 55357

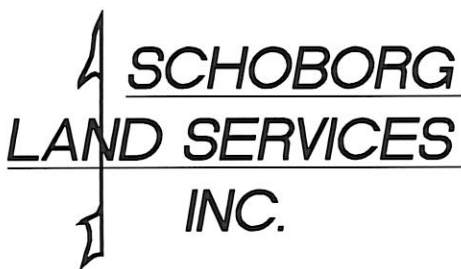
Boundary Description (supplied by client)

That part of Government Lot 2, Section 1, Township 118, Range 24, described as follows:

Commencing at a point on the north line of said Government Lot 2, a distance of 2738.8 feet West of the East Quarter corner of said Section 1; thence South at right angles with said north line 33 feet to the point of beginning of the property being described; thence West parallel with said north line 186.8 feet; thence deflecting left 90 degrees a distance of 195 feet; thence deflecting left 90 degrees a distance 186.8 feet; thence North to the point of beginning, Hennepin County, Minnesota.



Bearings based on assumed datum.



763-972-3221 8997 Co. Rd. 13 SE  
www.SchoborgLand.com Delano, MN 55328

I hereby certify that this certificate of survey was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Paul B. Schoborg*  
Paul B. Schoborg

Date: FEB. 3, 2017 Registration No. 14700

Job Number:	8345
Book/Page:	LL
Survey Date:	12/7/16
Drawing Name:	oeffling.dwg
Drawn by:	KLB, DMS
Revisions:	2/2/17 (addition)



## City of Independence

### ***Request for an Interim Use Permit to Allow a Temporary Accessory Structure Larger than 5,000 SF on the Property located at 1060 Copeland Road***

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*To:* City Council  
*From:* Mark Kaltsas, City Planner  
*Meeting Date:* February 28, 2017  
*Applicant:* Beau'Selle Stable  
*Property Owner:* Beau'Selle Stable  
*Location:* 1060 Copeland Road

#### ***Request:***

Hoikka Construction (Applicant) and Beau'Selle Stable (Owner) request that the City consider the following actions for the property located at 1060 Copeland Road (PID No. 29-118-24-31-0001) in Independence, MN:

- a. An interim use permit to allow a temporary accessory structure that is greater than 5,000 SF in association with the Commercial Riding Stable permitted as a conditional use permit on the subject property.

#### ***Property/Site Information:***

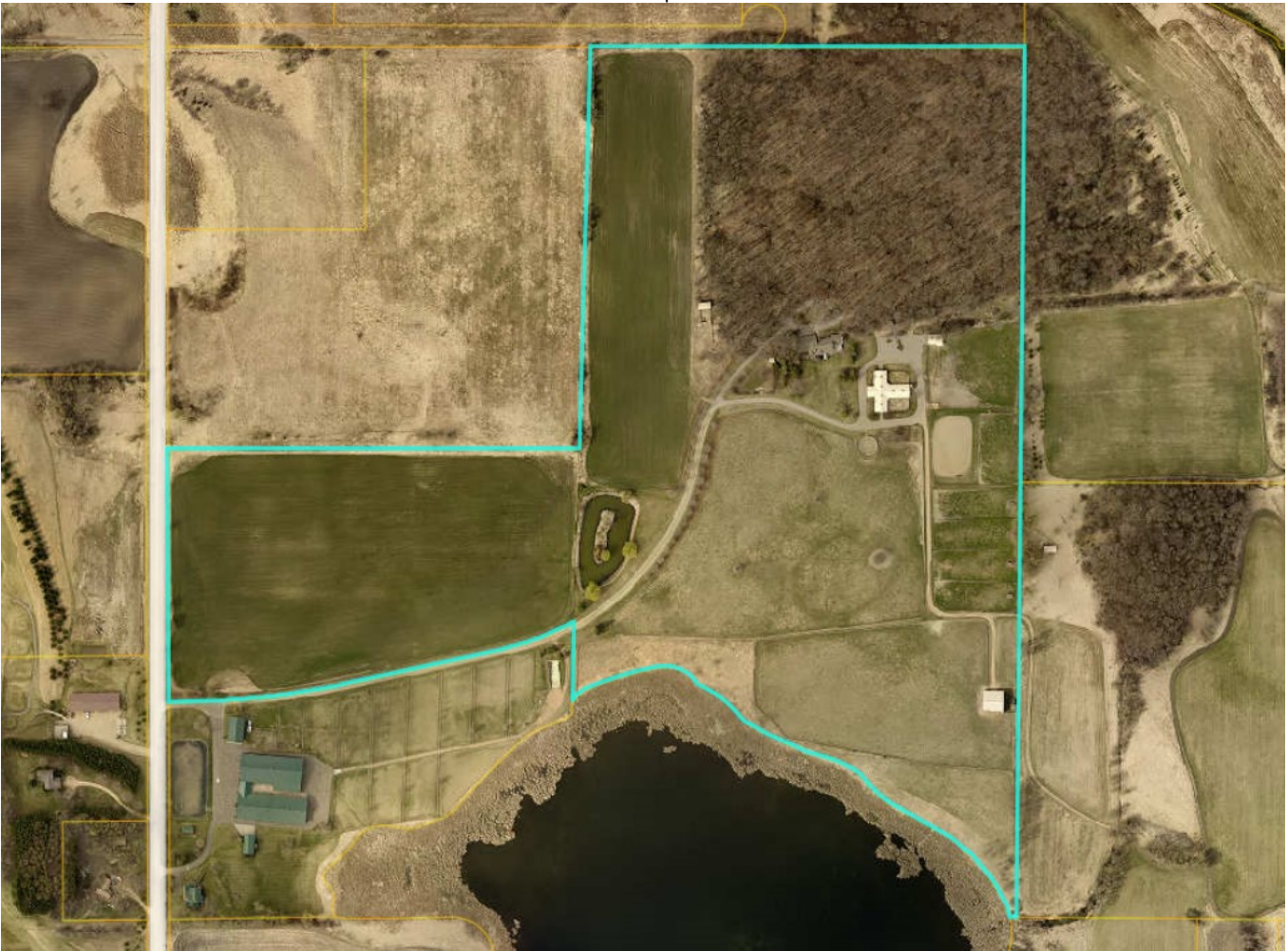
The property is located on the east side of Copeland Road, north of CSAH 6. The property has an existing home, large barn, and several smaller barns and accessory structures. There are several large pasture areas and a large area with existing tree coverage. The property has the following characteristics:

**Property Information: 1060 Copeland Road**

Zoning: *Agriculture*

Comprehensive Plan: *Agriculture*

Acreage: *85.11 acres*

**Discussion:**

In the Fall of 2016, the City considered and granted a conditional use permit to allow the expansion of the existing detached accessory building (barn) to be greater than 5,000 square feet and a commercial riding stable on the subject property. At that time the owner anticipated commencing construction of the barn expansion in the fall and winter of 2016/2017. The construction of the barn expansion has not occurred and in January of 2017 the owner approached the City about constructing a temporary indoor riding arena on the property. The City noted that the applicant could construct a temporary or permanent building on the property as long as it was less than 5,000 square feet in overall size. The applicant recently acquired a steel frame “dome” style building that is approximately 12,000 square feet in overall size. The applicant inquired about erecting the building as a temporary structure until the permanent barn expansion is completed. The City noted that the applicant could construct a portion of the accessory structure (up to 4,999 square feet) without needing a conditional or interim use permit.

The applicant has already constructed a portion of the proposed temporary building. The portion of the building that has been constructed is less than 5,000 square feet in overall area. Properties greater than 10 acres in overall size do not have a limitation on the total square footage permitted for accessory

buildings. The applicant is seeking approval to construct and utilize a temporary 12,000 square foot building for a period of one year from the date of approval or six months following the completion of the permanent indoor riding arena. This would allow the applicant time to complete the construction of the permanent barn expansion on the property. The interim use permit would expire six months following the completion (issuance of an occupancy permit) of the barn expansion or one year from the City Council date of approval, whichever occurs first.

The City has two ways that it could consider allowing the temporary building to be constructed. The City could amend the existing conditional use permit or grant a new interim use permit. In this situation, the City recommended that the applicant apply for an interim use permit. Interim use permits are limited to an event or date certain and allow the City to specify a clear date or event that will cause the interim use permit to end.

The City has the following criteria for granting an Interim Use Permit:

1. The use is deemed temporary and the use conforms to the development and performance standards of the zoning regulations.
2. The date or event that will terminate the use can be identified with certainty.
3. Allowing the use will not impose additional costs on the public if it is necessary for the public to take the property in the future.
4. The user agrees to any conditions that the city council deems appropriate for allowing the use.
5. The use meets the standards set forth in subsection 520.11 governing conditional use permits.

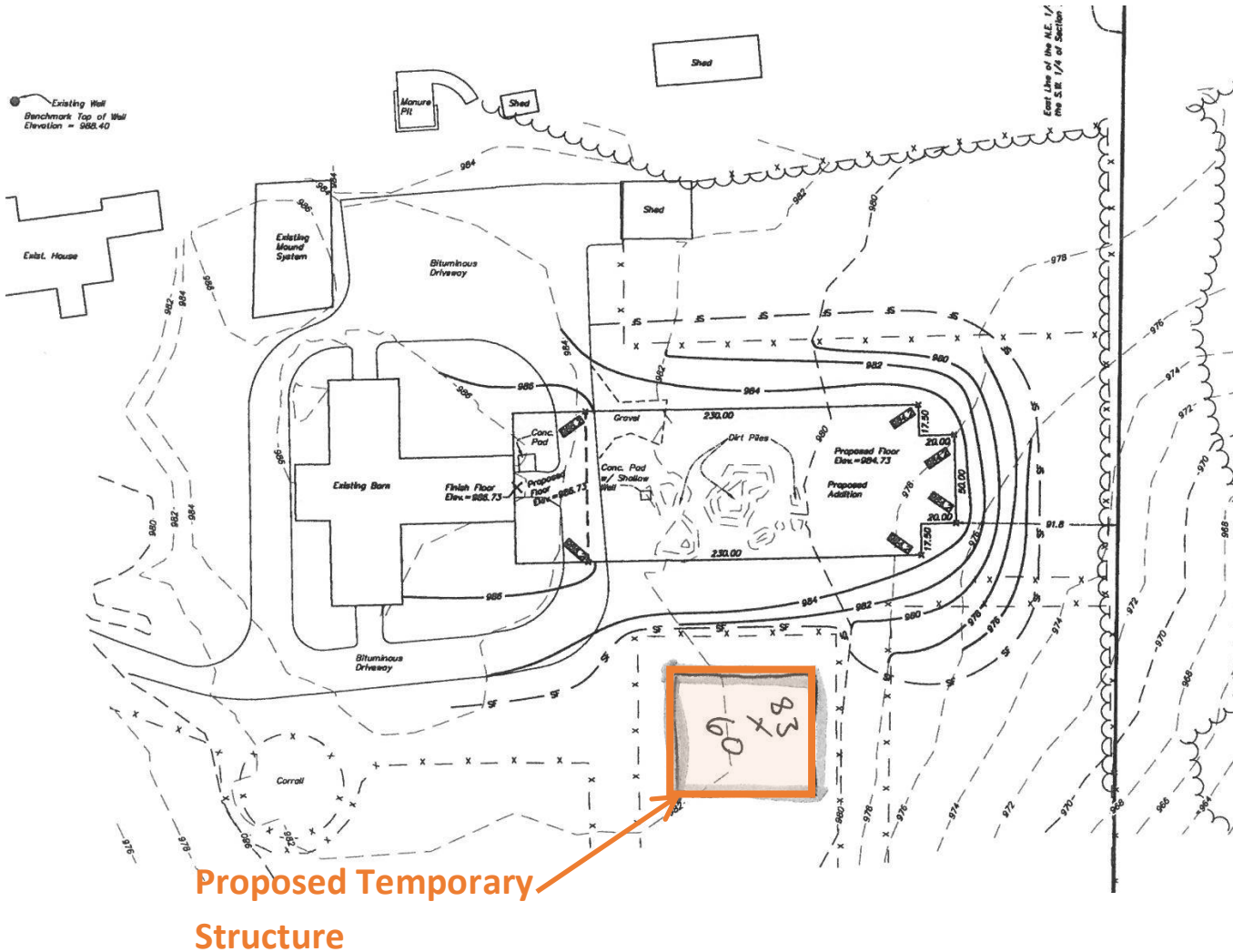
The City will need to determine if the requested interim use permit (IUP) meets all of the aforementioned conditions and restrictions. The temporary nature of the proposed detached accessory structure will mitigate long term impacts of the use. The proposed location of the structure on the property appears to reduce the adverse effects on this property or the surrounding properties.

The City has visited the site and discussed the operation of the proposed temporary detached accessory structure with the applicant. Given the location of the property on Copeland Road, the adjacent commercial riding stable (810 Copeland Road to the south), the orientation of the buildings and their relationship to the surrounding properties, it appears that the proposed application can be found to meet the requirements for granting an interim use permit to allow an accessory structure larger than 5,000 square feet on the property.

Should the City consider granting approval of the IUP, the following conditions should be considered:

1. The interim use permit shall expire six months following the completion (issuance of an occupancy permit) of the barn expansion or one year from the City Council date of approval, whichever occurs first.
2. All conditions of the conditional use permit for a commercial riding stable shall apply to the temporary use of the proposed accessory structure.

## Proposed Temporary Structure Site Plan



### **Neighbor Comments:**

The City has not received any written or oral comments regarding the proposed interim use permit.

### **Planning Commission Discussion:**

Commissioners discussed the requested interim use permit to allow a temporary accessory structure that is larger than 5,000 square feet. Commissioners asked staff if the proposed temporary building met the building code life safety requirements of a permanent building. Staff noted that the temporary building would be required to meet all applicable building code requirements for the proposed occupancy. Commissioners discussed the end date or event of the interim use permit and wanted to make sure that

there was a clear date that the permit would terminate. Commissioners discussed and clarified that the applicant could construct multiple smaller accessory structures on the property as long as they were individually less than 5,000 square feet. Commissioners asked the applicant how long the construction of the permanent building would take and when they intended to commence construction. The applicant noted that they intended to commence construction when road restrictions are lifted in the spring of this year and that the expected construction time is 6-9 months. Commissioners confirmed that all conditions stated in the conditional use permit for this property would apply to this use of the temporary accessory structure. Commissioners found that the requested IUP met the criteria established in the ordinance and recommended approval to the City Council.

***Recommendation:***

The Planning Commission recommended approval of the request for an interim use permit with the following findings and conditions:

1. The proposed interim use permit request meets all applicable conditions and restrictions stated in Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. The interim use permit will include the following conditions:
  - a. The interim use permit shall expire six months following the completion (issuance of an occupancy permit) of the permanent barn expansion or one year from the City Council date of approval, whichever occurs first.
  - b. All conditions of the conditional use permit, regulating the use for a commercial riding stable, shall apply to the temporary use of the proposed accessory structure.
    - i. No expansion of the temporary detached accessory structure shall be permitted on the property without the further review and approval by the City.
3. The applicant shall pay for all costs associated with reviewing the application and recording the resolution.

***Attachments:***

1. Property Pictures
2. Survey/Site Plan
3. Temporary Building Elevations

## Attachments

1060 Copeland Road (Looking north)



1060 Copeland Road (Looking west)





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RESOLUTION NO. 17-0228-02

A RESOLUTION GRANTING APPROVAL OF AN INTERIM USE PERMIT AS REQUESTED  
BY BEAU’SELLE STABLE FOR THE PROPERTY  
LOCATED AT 1060 COPELAND ROAD

WHEREAS, the City of Independence (the “City”) is a municipal corporation under the laws of Minnesota; and

WHEREAS, the City adopted a comprehensive plan in 2010 to guide the development of the community; and

WHEREAS, the City has adopted a zoning ordinance and other official controls to assist in implementing the comprehensive plan; and

WHEREAS, Beau’Selle Stable, (the “Applicant”) submitted a request for an Interim Use Permit to allow a temporary accessory structure larger than 5,000 square feet on the property located at 1060 Copeland Road (PID No. 29-118-24-31-0001) (the “Property”); and

WHEREAS, the Property is zoned Agriculture; and

WHEREAS, the Property is legally described as shown and depicted on Exhibit A attached hereto.

WHEREAS the requested Interim Use Permit meets all requirements, standards and specifications of the City of Independence zoning ordinance for Agriculture lots; and

WHEREAS the Planning Commission held a public hearing on February 21, 2017 to review the application for an Interim Use Permit, following mailed and published noticed as required by law; and

WHEREAS, the City Council has review all materials submitted by the Applicant; considered the oral and written testimony offered by the applicant and all interested parties; and has now concluded that the application is in compliance with all applicable standards and can be considered for approval; and

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF INDEPENDENCE, MINNESOTA, that it should and hereby does approve the application by Beau'Selle Stable for an Interim Use Permit to allow a temporary accessory structure larger than 5,000 square feet per the City's zoning regulations with the following conditions:

1. The proposed interim use permit request meets all applicable conditions and restrictions stated in Chapter V, Section 510, Zoning, in the City of Independence Zoning Ordinance.
2. The interim use permit will include the following conditions:
  - a. The interim use permit shall expire six months following the completion (issuance of an occupancy permit) of the permanent barn expansion or one year from the City Council date of approval, whichever occurs first.
  - b. All conditions of the existing conditional use permit on this property, regulating the use for a commercial riding stable, shall apply to the temporary use of the proposed accessory structure.
    - i. No expansion of the temporary detached accessory structure shall be permitted on the property without the further review and approval by the City.
3. The applicant shall pay for all costs associated with reviewing the application and recording the resolution.

This resolution was adopted by the City Council of the City of Independence on this 28<sup>th</sup> day of February, 2017, by a vote of \_\_\_ ayes and \_\_\_ nays.

\_\_\_\_\_  
Marvin Johnson, Mayor

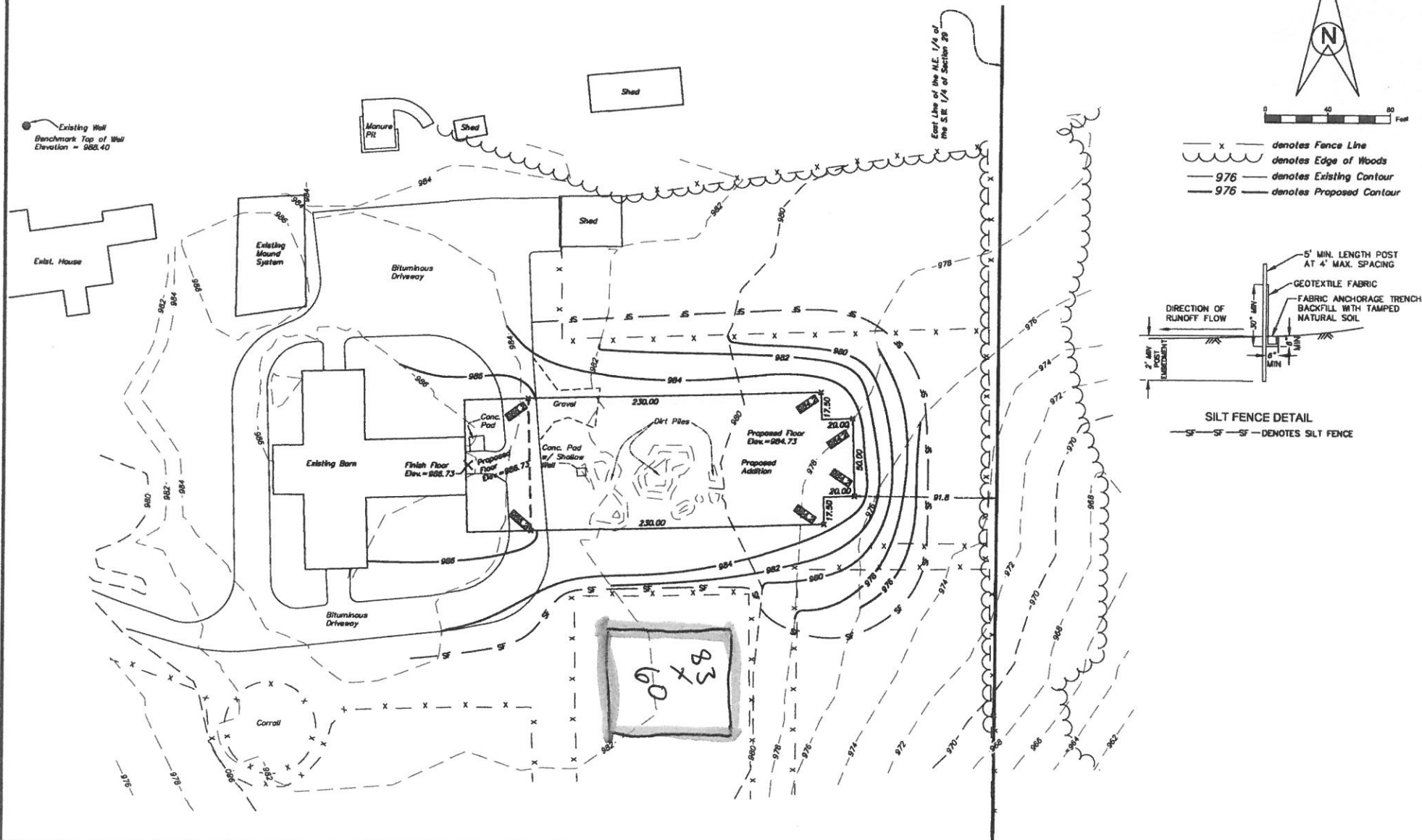
ATTEST:

\_\_\_\_\_  
Mark Kaltsas, City Administrator

(SEAL)



# Site Plan



Site Plan on the N.E. 1/4 of the S.W. 1/4 of Section 29, Township 118, Range 24, Hennepin County, Minnesota

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Requested By:

**ESE Riders**



www.ottoassociates.com  
9 West Division Street  
Buffalo, MN 55313  
(763)682-4727  
Fax: (763)682-3522

● denotes iron monument found  
○ denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062

Revised: 9-23-2016 Proposed Building

Paul E. Otto  
License #40062 Date: 09-23-2016

Date: 8-24-16

Drawn By: S.O.S.

Scale: 1"=40'

Checked By: P.E.O.

Project No. 16-0400

**City of Independence**

The Independence City Code was established to protect both current and future residents from the negative impacts of improper development and to ensure a positive future for the city. The land use application review is the mechanism that allows the city to examine proposed uses to ensure compatibility with the surrounding environment, natural or otherwise. It is important to understand that a proposed use may be acceptable in some circumstances, but unacceptable in others—all applications are viewed on a case-by-case basis.

- Appeal
- Comprehensive Plan Amendment
- Concept Plan
- Conditional Use Permit
  - Residential
  - Commercial/Light Industrial
  - Telecommunications
  - Agriculture
  - Home Occupation
  - Non-Conforming Use
  - Guest/Bunk House
  - Institutional
  - CUP Amendment
- Extension Request
- Final Plat
- Interim Use Permit
- Lot Consolidation
- Minor Subdivision (Survey)
  - Lot Subdivision
  - Lot Combination
  - Lot Line Rearrangement
- Moving Buildings
- Preliminary Plat
- Rezoning
- Site Plan Review (Commercial)
- Vacation
- Variance
  - Subdivision Regulations
  - Zoning
  - Road Frontage
- Zoning Text Amendment

*\*Please check all that apply*

Request: put up Temp.

Building 83x 140

Site Address or Property Identification Number(s):

1060 Copeland Rd

NOTE: Minnesota State Statute 15.99 requires local governments to review an application within 15 days of its submission to determine if an application is complete and/or if additional information is needed to adequately review the subject request. **To ensure an expedited review, applicants shall schedule a pre-application meeting with the City Planner/Administrator at least one week prior to submittal.** Most applications have a review period of 60 days, with the City's ability to extend an additional 60 days if necessary due to insufficient information or schedule.

**Office Use Only**

1/13/17  
Date

1,250  
Application Amount

Application Check #

750  
Escrow Paid

Escrow Check #

Date Accepted by Planner

Accepted By

City Planner

\*\*\*Note: All parties with a fee interest in the real estate must sign this application before the City will review for consideration!

**Applicant Information:**

Name: Hoikka Construction  
Address: 13628 10<sup>th</sup> St NW  
City, State, Zip: Cokato MN 55321  
Phone: 612 221 8038  
Email: DHoik@hotmail.com  
Signature: [Signature]

**Owner Information (if different than applicant)**

Name: Richard Gage  
Address: 2180 Abingdon way  
City, State, Zip: Orono MN 55356  
Phone: 612 916 1272  
Email: \_\_\_\_\_  
Signature: [Signature]

**Checklist:** Please review the checklist that goes with the request(s) as all materials in the checklist unless waived by the City.

**Review Deadline and Timeline:** All applications must be received by the deadline according to the schedule attached hereto. Failure to submit by the date shown will result in a delay in the scheduling of the application review by Planning Commission and City Council.

***Application for Planning Consideration Fee Statement***

The City of Independence has set forth a fee schedule for the year 2014 by City Ordinance. However, projects of large scope that include two or more requests will be required to provide a larger deposit than the resolution sets forth as set by the City Administrator. The fees collected for land use projects are collected as deposits. All invoices associated with each land employ application will be billed to the applicant within 30 days upon receipt by the City for each project. The City of Independence often utilizes consulting firms to assist in the review of projects. The consultant and City rates are shown at the bottom of this form. By signing this form, the applicant recognizes that he/she is solely responsible for any and all fees associated with the land use application from the plan review stage to the construction monitoring stage through to the release of any financial guarantee for an approved project. If a project is denied by the City Council or withdrawn by the applicant, the fees associated for the project until such denial or withdrawal, remain the applicant's responsibility.

I UNDERSTAND THE FEE STATEMENT AND RESPONSIBILITIES ASSOCIATED WITH THIS LAND USE APPLICATION:

Applicant Signature: [Signature]  
Date: 1/13/17

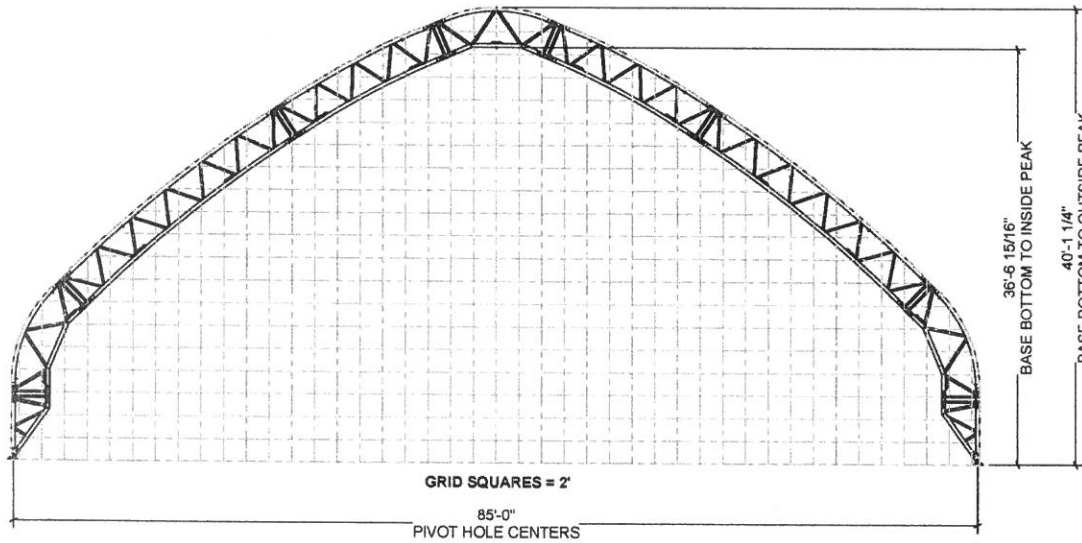
Owner Signature (if different): [Signature]  
Date: 1/13/17

**ADDITIONAL INFORMATION**

THESE PRINTS IDENTIFY AND SHOW THE MAIN COMPONENTS AND CONNECTIONS FOR THIS BUILDING. LENGTH, WIDTH, AND OTHER IMPORTANT DIMENSIONS ARE ALSO PRESENT.

TO BEST UNDERSTAND HOW TO CONSTRUCT THIS BUILDING, THE INFORMATION CONTAINED WITHIN THESE SHEETS SHALL BE USED WITH THE INSTRUCTION MANUAL SHIPPED WITH THE BUILDING.

THE INSTRUCTIONS INCLUDE DETAILS NEEDED DURING CONSTRUCTION.



- T08506020F** 85'W X 060'L GB HD FREESTANDING
- T08508020F** 85'W X 080'L GB HD FREESTANDING
- T08510020F** 85'W X 100'L GB HD FREESTANDING
- T08512020F** 85'W X 120'L GB HD FREESTANDING
- T08514020F** 85'W X 140'L GB HD FREESTANDING
- T08516020F** 85'W X 160'L GB HD FREESTANDING
- T08518020F** 85'W X 180'L GB HD FREESTANDING
- T08520020F** 85'W X 200'L GB HD FREESTANDING

**BUILDING CONTENT GUIDE:**

- [A1] .....COVER SHEET
- [B1] .....GENERAL NOTES
- [C1] .....BUILDING PLAN VIEW
- [D1] .....MATERIAL SPECIFICATIONS
- [E1] .....RAFTER PROFILES
- [F1] .....OMITTED
- [G1] .....DETAIL LOCATIONS & BASE DETAILS
- [G2] .....GENERAL CONNECTION DETAILS
- [G3] .....CABLE LAYOUT & DETAILS
- [G4] .....SIDE DOOR DETAILS
- [H1] .....BASE PLATE LAYOUT & DETAILS
- [I] .....OMITTED
- [J1] .....BUILDING REACTION DATA

DEVELOPED BY  
  
 ENGINEERING SERVICES & PRODUCTS CO.  
 1440 87TH AVENUE SW  
 DUBLUVE, ALASKA 99562  
 P 907.437.3173  
 WWW.NEWSPAN.CO.COM

ORDER # \_\_\_\_\_  
 CUSTOMER # \_\_\_\_\_

STRUCTURE SKU # 1	STRUCTURE SIZE 1	STRUCTURE DESCRIPTION 1
CUSTOMER INFORMATION 1	CONTACT PHONE 1	SHEET TITLE <b>COVER SHEET</b>

**DRAWING DETAILS**

DRAWN BY: **BHW**      CREATION DATE: **2/14/2018**

REVISIONS	
NO.	REVISION DATE:
1	
2	
3	
4	

NOT TO SCALE      SHEET SIZE: 11x17

**SHEET: A1**

**GENERAL NOTES:**

**FOUNDATION:**

- FOUNDATION AND ANCHORING ARE NOT ADDRESSED BY THESE DRAWINGS.

**GENERAL ABBREVIATIONS:**

TOS TOP OF STEEL / TSL TOP OF SLAB / GALV. GALVANIZED / FND FOUNDATION / EL ELEVATION / RND. ROUND / GA GAUGE / DIA. DIAMETER / TYP. TYPICAL / LBS. POUNDS / CL CENTERLINE

**SITE CONDITIONS:**

- NEITHER CLEARSPAN NOR THE BUILDING DESIGNER HAVE VISITED THIS JOBSITE. INFORMATION CONTAINED HEREIN IS BASED ON CLIENT SUPPLIED DATA AND MEASUREMENTS.

**STEEL:**

- UNLESS OTHERWISE NOTED, ALL STRUCTURAL STEEL TUBING SHALL BE GALVANIZED, MIN. YIELD STRENGTH 50 KSI, AND SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A500.
- UNLESS OTHERWISE NOTED, STEEL PLATES SHALL COMPLY WITH ASTM A572 GRADE 50 OR EQUAL FOR 3/16" OR GREATER THICKNESS AND ASTM A1011 GRADE 50 OR ASTM A653 GRADE 50 OR EQUAL FOR LESS THAN 3/16" THICKNESS.
- UNLESS OTHERWISE NOTED, ALL BOLTED CONNECTIONS SHALL USE GRADE 2 OR A307 OR BETTER BOLTS WITH COMPATIBLE WASHERS AND NUTS OF DIAMETERS INDICATED ON PLANS. BOLTS NEED ONLY BE TIGHTENED TO THE SNUG-TIGHT CONDITION. THE SNUG-TIGHT CONDITION IS DEFINED AS THE TIGHTNESS ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH, OR THE FULL EFFORT OF A MAN USING AN ORDINARY SPUD WRENCH.
- ALL STRUCTURAL STEEL IS TO BE FABRICATED IN ACCORDANCE WITH THE LATEST EDITION OF AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS."

**CABLES AND HARDWARE:**

- ALL CABLE SHALL BE GALVANIZED STEEL, MULTIPURPOSE, 7X19 (UP TO 3/8" DIA.) OR 6X26 (1/2" DIA.) CLASS STRAND CORE COMMERCIAL GRADE, OF DIAMETER INDICATED.
- CABLE SLEEVES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- USE THIMBLES WITH CABLE SLEEVES IN ALL LOOP-END APPLICATIONS.
- TENSION CABLES AT TURNBUCKLE TO TAUT CONDITION (STRAIGHT AND NOT SLACK OR LOOSE).
- TIGHTEN CABLES SEQUENTIALLY TO AVOID TWISTING OR DEFORMING STRUCTURAL ELEMENTS DURING ERECTION. RECHECK PREVIOUSLY TIGHTENED CABLES UNTIL ALL CABLES ACHIEVE TAUT CONDITION.

**WELDING:**

- ALL WELDING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWS D1.1 AND D1.3.
- REFER TO AWS PUBLICATION D19.0-72: WELDING ZINC-COATED STEEL AND "WELDING GUIDELINES" PUBLISHED BY ALLIED TUBE AND CONDUIT, HARVEY ILLINOIS, FOR RECOMMENDED PROCESSES AND PRACTICES FOR WELDING GALVANIZED STEEL.
- ALL SHOP WELDING IS TO BE PERFORMED BY CERTIFIED WELDERS.

**PAINTING AND TOUCH-UP:**

- AFTER SHOP FABRICATION, PAINT ALL BARE STEEL, WELDS, AND ABRADED AREAS WITH COLD GALVANIZING COMPOUND CONSISTENT WITH GALVANIZED TUBE MANUFACTURER'S RECOMMENDATIONS FOR COLOR AND COMPOSITION. PRIOR TO TOUCH-UP, CLEAN WELDED AND ABRADED AREAS WITH A WIRE BRUSH. SURFACES MUST BE CLEAN AND OIL FREE.
- AFTER FIELD INSTALLATION, TOUCH-UP ANY FIELD WELDS AND DAMAGED AREAS WITH COLD GALVANIZING COMPOUND.

**ERECTION AND FIELD QUALITY CONTROL:**

- THE ERECTOR IS RESPONSIBLE FOR DESIGNING AND FURNISHING ALL TEMPORARY BRACING, SHORING, AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF ERECTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES. THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE STRUCTURAL ENGINEER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING ERECTION.
- NO MODIFICATIONS OR ALTERATIONS (OTHER THAN THOSE SHOWN ON THE DRAWINGS) SHALL BE MADE IN ANY STRUCTURAL MEMBER OR CONNECTION WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER.

BOX BOLT HOLE SIZES & INSTALLATION TORQUE:		
BOX BOLT DIA.	HOLE DIA.	INSTALLATION TORQUE
1/4"	1/2"	14 FT-LB
5/16"	5/8"	18 FT-LB
3/8"	3/4"	33 FT-LB
1/2"	13/16"	59 FT-LB
5/8"	1-1/8"	140 FT-LB
3/4"	1-3/8"	221 FT-LB

1. REFER TO BOX BOLT TECHNICAL DATA FOR MORE INFORMATION IF USING BOX BOLTS

DEVELOPED BY



ENGINEERING SERVICES & PRODUCTS CO.  
1400 90TH AVENUE SW  
LYNDSVILLE, IA 52246  
P: 563.274.8113  
F: 563.274.8117  
WWW.E-MAPCO.COM

ORDER # \_\_\_\_\_

CUSTOMER # \_\_\_\_\_

CUSTOMER INFORMATION	STRUCTURE SKU #	CONTACT PHONE	STRUCTURE DESCRIPTION
	STRUCTURE SIZE		
CUSTOMER CONTACT	GENERAL NOTES		

DRAWING DETAILS

DRAWN BY: BHW      CREATION DATE: 11/20/18

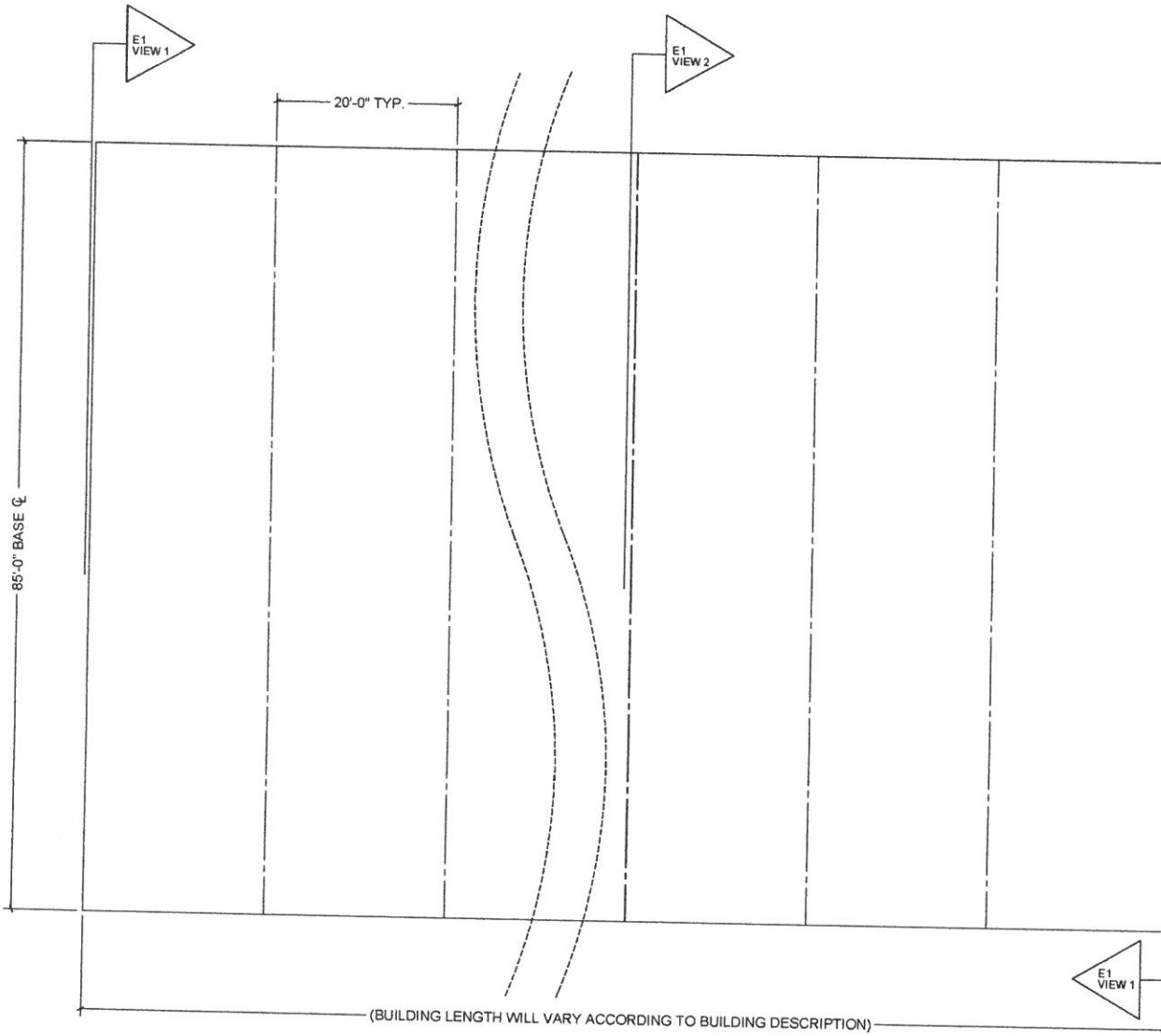
REVISIONS:	
NO.	REVISION DATE
1	
2	
3	
4	

NOT TO SCALE      SHEET SIZE: 11x17

SHEET: **B1**

LEFT SIDE - SEE SHEET [F1] FOR ELEVATION VIEW

BAY NUMBERS:



\*NOTE: BAY NUMBERING IS AS FOLLOWS. BAY 1 IS AT THE FRONT OF THE BUILDING AND INCREASES 1 FOR EVERY 20' OF LENGTH.

RIGHT SIDE - SEE SHEET [F1] FOR ELEVATION VIEW

DEVELOPED BY  
  
 CLEARSPAN  
 ENGINEERING SERVICES & PRODUCTS CO.  
 1448 W. TRAVELER SW  
 OVERBROOK, IN 46060  
 P: 302.875.2113  
 F: 302.875.2117  
 WWW.CLEARSPAN.COM

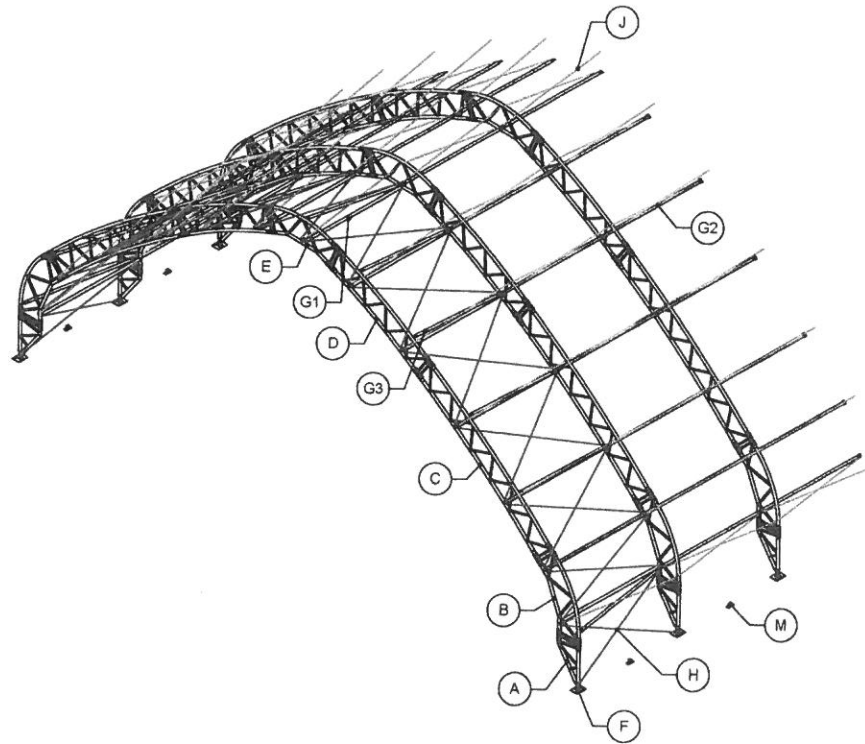
ORDER # \_\_\_\_\_  
 CUSTOMER # \_\_\_\_\_

CUSTOMER INFORMATION	STRUCTURE SKU #	_____
	CONTACT PHONE	_____
	CUSTOMER CONTACT	_____
STRUCTURE SIZE	_____	STRUCTURE DESCRIPTION
SHEET TITLE	BUILDING PLAN VIEW	

DRAWING DETAILS		
DRAWN BY: BHB	CREATION DATE: 3/10/2015	
REVISIONS		
NO.	BY	REVISION DATE
1		
2		
3		
4		
NOT TO SCALE		SHEET SIZE: 11X17

SHEET: **C1**

ITEM	DESCRIPTION	MATERIAL
A	SUPPORT BASE	
	OUTER CHORD	GALV. RND. STEEL TUBE - $\phi$ 4.0" - 7 GA
	INNER CHORD	GALV. RND. STEEL TUBE - $\phi$ 4.0" - 7 GA
	WEB (STRAIGHT)	GALV. RND. STEEL TUBE - $\phi$ 1.90" - 14 GA
	WEB (ANGLED)	GALV. RND. STEEL TUBE - $\phi$ 1.9", 2.375" - 14 GA
	PIVOT PLATE (CHORD)	STEEL PLATE, 1/2" THICK
	PIVOT PLATE (ROUND)	STEEL PLATE, 1/2" THICK
B&E	SEGMENT	
	OUTER CHORD	GALV. RND. STEEL TUBE - $\phi$ 4.0" - 7 GA
	INNER CHORD	GALV. RND. STEEL TUBE - $\phi$ 4.0" - 7 GA
	WEB (STRAIGHT)	GALV. RND. STEEL TUBE - $\phi$ 1.90" - 14 GA
	WEB (ANGLED)	GALV. RND. STEEL TUBE - $\phi$ 2.375" - 14 GA
C&D	SEGMENT	
	OUTER CHORD	GALV. RND. STEEL TUBE - $\phi$ 4.0" - 10 GA
	INNER CHORD	GALV. RND. STEEL TUBE - $\phi$ 4.0" - 10 GA
	WEB (STRAIGHT)	GALV. RND. STEEL TUBE - $\phi$ 1.90" - 14 GA
	WEB (ANGLED)	GALV. RND. STEEL TUBE - $\phi$ 1.90" - 14 GA
F	BASES	
	HORIZONTAL	STEEL PLATE, 1/2" THICK
	VERTICAL (ROUNDED)	STEEL PLATE, 3/8" THICK
	THREADED STUD	CFL FULLY THREADED STUD - 1/2"-13 x 1"
	GUSSETS	STEEL PLATE, 3/8" THICK
G	BRACING	
G1	LATERAL BRACING (END)	GALV. RND. STEEL TUBE - $\phi$ 3.5" - 14 GA
G2	LATERAL BRACING (MID)	GALV. RND. STEEL TUBE - $\phi$ 3.5" - 14 GA
G3	ANGLED BRACE	GALV. RND. STEEL TUBE - $\phi$ 3.5" - 14 GA
	THREADED STUD PLATE	1/4" PLATE W/ 1/2" X 2" STUDS
	AB CONNECTION PLATE	STEEL PLATE, 1/4" THICK
H	CABLE ASSEMBLY	SEE SHEET G3
	CABLE CONNECTION PLATE	STEEL PLATE, 5/16" THICK
J	SWAY CABLE ASSEMBLY	SEE SHEET G3
	CABLE CONNECTION PLATE	STEEL PLATE, 1/8" THICK
K	SPLICE	
	SPLICE OUTSERTS	FORMED STEEL BAR, 5/16" THICK
L	WINCH ASSEMBLY	
	WINCH	2" LASHING WINCH (10,000 LBS. STRENGTH)
	STRAP	2" STRAP (10,000 LBS. STRENGTH)
M	WINCH PLATE (OPTIONAL)	
	HORIZONTAL	STEEL PLATE, 1/2" THICK
	THREADED STUDS	CFL FULLY THREADED STUD - 1/2"-13 x 1"



**NOTE:** THIS VIEW IS GENERIC TO ILLUSTRATE LOCATIONS OF ITEMS IN THE TABLE ONLY. CABLE PATTERN AND/OR OTHER DETAILS MAY NOT FULLY MATCH THE SPECIFICS FOR THIS ORDER. SEE OTHER SHEETS FOR ORDER-SPECIFIC DETAILS.

DEVELOPED BY  
  
 STRUCTURING SERVICES & PRODUCTS CO.  
 140 8TH AVENUE SW  
 P.O. BOX 111,000  
 F. 953 875 2317  
 WWW.EBAPCO.COM

ORDER # \_\_\_\_\_  
 CUSTOMER # \_\_\_\_\_

CUSTOMER INFORMATION	STRUCTURE SKU #	STRUCTURE SIZE	STRUCTURE DESCRIPTION
	CUSTOMER CONTACT	CONTACT PHONE	SHEET TITLE
<b>MATERIAL SPECIFICATIONS</b>			

**DRAWING DETAILS**

DRAWN BY: BHB      CREATION DATE: 3/10/2013

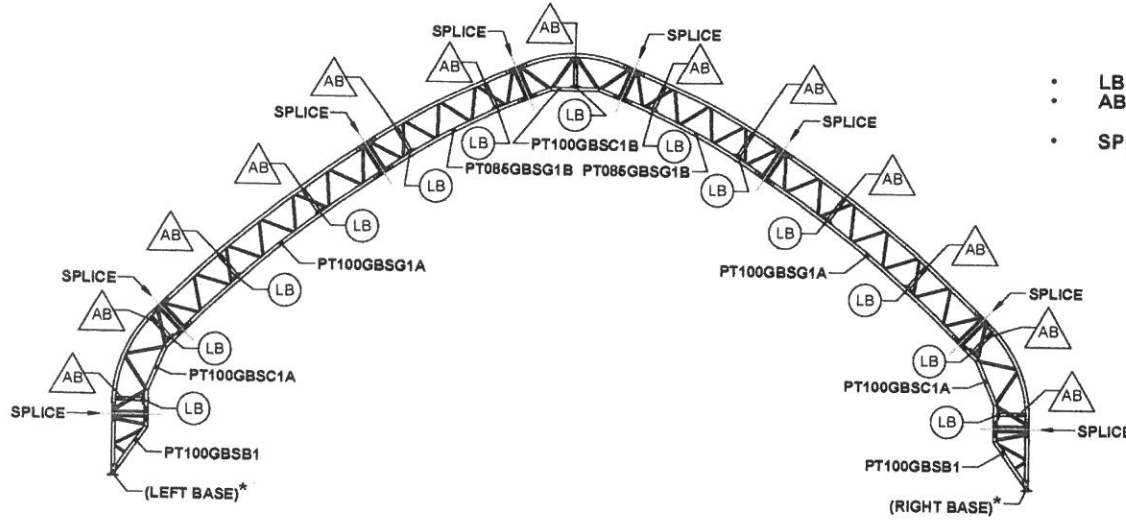
**REVISIONS:**

NO.	BY:	REVISION DATE:
1		
2		
3		
4		

NOT TO SCALE      SHEET SIZE: 11x17

SHEET: **D1**

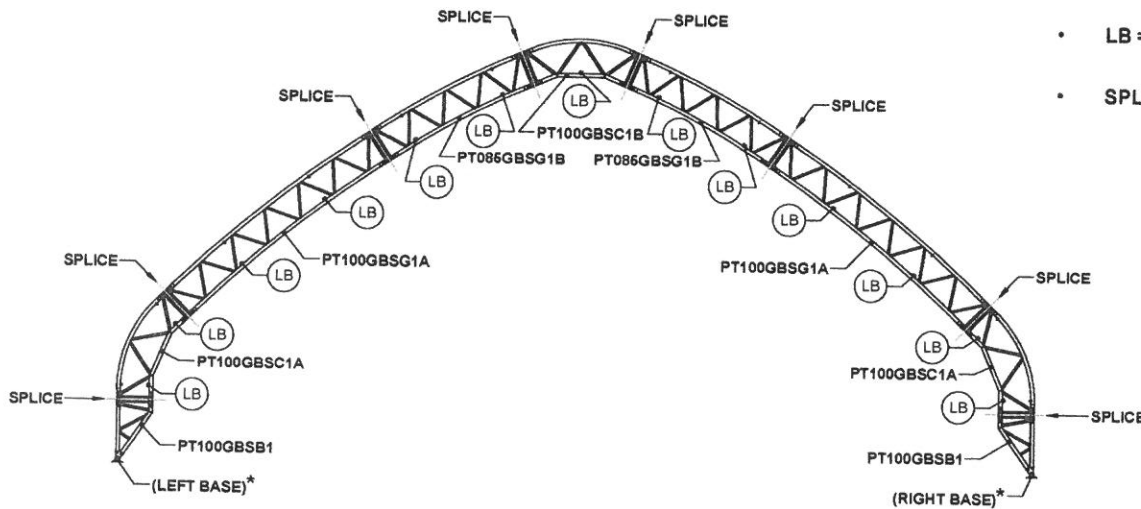
\*NOTE: REFER TO SHEET [H1] FOR END RAFTER BASE SKU.



[E1] VIEW 1 - FRONT PROFILE (END RAFTER)

- LB = LATERAL BRACE (SKU: LBC35G14UBL240)
- AB = ANGLED BRACE (SKU: LB35G14SL23287)
- SPLICE: SEE DETAIL SHEET [G2]

\*NOTE: REFER TO SHEET [H1] FOR MID RAFTER BASE SKU.



[E1] VIEW 2 - FRONT PROFILE (MID RAFTER)

- LB = LATERAL BRACE @ 20'-0" BAYS (SKU: LB35G14STL240)
- SPLICE: SEE DETAIL SHEET [G2]

DEVELOPED BY  
  
 CLEARSPAN  
 ENGINEERING SERVICES & PRODUCTS CO.  
 1540 40TH AVENUE SW  
 SUITE 3000  
 FREDERICK, MD 21704  
 F: 301.975.2317  
 WWW.CLEARSPAN.COM

ORDER # \_\_\_\_\_  
 CUSTOMER # \_\_\_\_\_

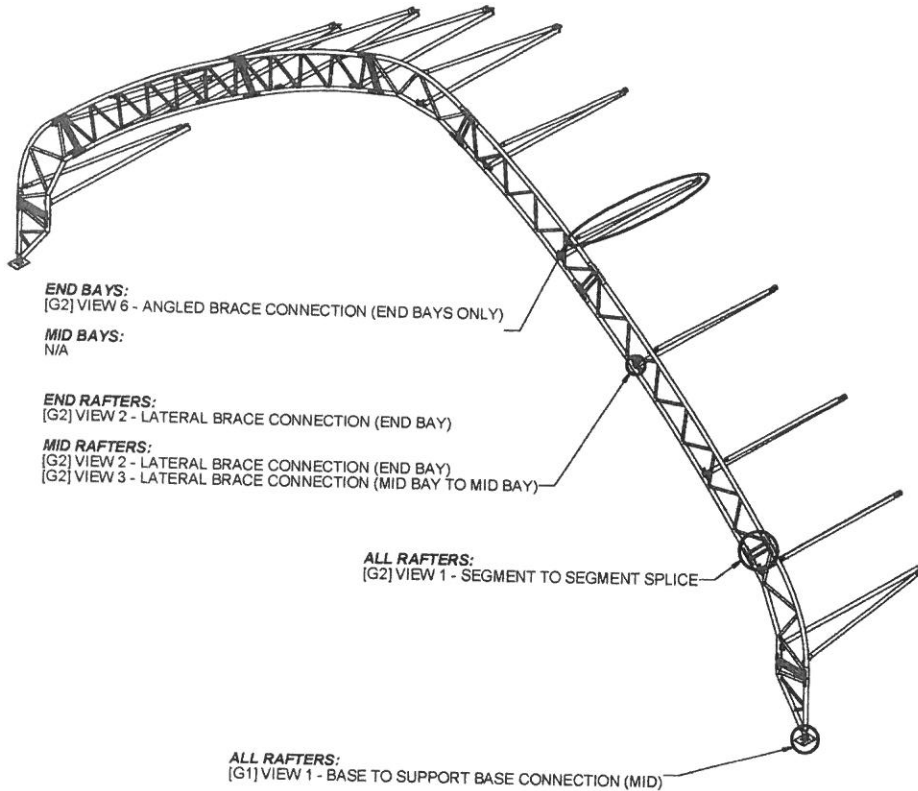
CUSTOMER INFORMATION	STRUCTURE SKU #	STRUCTURE SIZE	STRUCTURE DESCRIPTION
	CONTACT PHONE		
CUSTOMER CONTACT		SHEET TITLE: RAFTER PROFILES	

DRAWING DETAILS		
DRAWN BY: BMB	CREATION DATE: 3/10/2015	
REVISIONS		
NO.	BY	REVISION DATE
1		
2		
3		
4		
NOT TO SCALE		
SHEET SIZE: 11X17		

SHEET: **E1**



**DETAIL LOCATION CALL-OUTS**



**END BAYS:**  
[G2] VIEW 6 - ANGLED BRACE CONNECTION (END BAYS ONLY)

**MID BAYS:**  
N/A

**END RAFTERS:**  
[G2] VIEW 2 - LATERAL BRACE CONNECTION (END BAY)

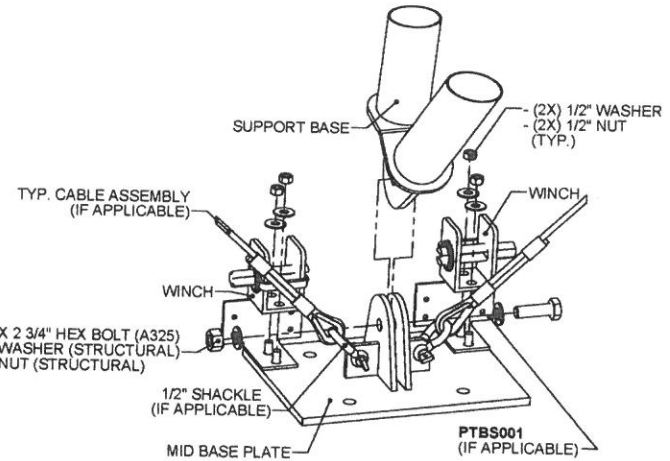
**MID RAFTERS:**  
[G2] VIEW 2 - LATERAL BRACE CONNECTION (END BAY)  
[G2] VIEW 3 - LATERAL BRACE CONNECTION (MID BAY TO MID BAY)

**ALL RAFTERS:**  
[G2] VIEW 1 - SEGMENT TO SEGMENT SPLICE

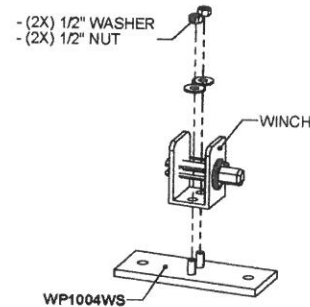
**ALL RAFTERS:**  
[G1] VIEW 1 - BASE TO SUPPORT BASE CONNECTION (MID)

**DETAILS WITH LOCATION CALL-OUTS NOT SHOWN ON THIS SHEET:**

- [G1] VIEW 2 - WINCH PLATE CONNECTION (IF APPLICABLE)
- [G2] VIEW 4 - SIDE DOOR DETAIL (IF APPLICABLE)
- [G2] VIEW 5 - U-BOLT BRACE CONNECTION (IF APPLICABLE)
- [G3] VIEW 1 - CABLE SKU PER SPAN
- [G3] VIEW 2 - TYPICAL CABLE CONNECTION DETAIL
- [G3] VIEW 3 - TYPICAL CABLE ASSEMBLY
- [G3] VIEW 4 - SWAY CABLE LOCATIONS
- [G3] VIEW 5 - SWAY CABLE CONNECTION (END BAY)
- [G3] VIEW 6 - SWAY CABLE CONNECTION (MID BAY TO MID BAY)
- [G3] VIEW 7 - TYPICAL SWAY CABLE ASSEMBLY
- [G4] VIEW 1 - SIDE DOOR DETAILS



**[G1] VIEW 1 - BASE TO SUPPORT BASE CONNECTION (MID)**



**[G1] VIEW 2 - WINCH PLATE CONNECTION (IF APPLICABLE)**

DEVELOPED BY  
**TRAMP**  
TRAMP  
ENGINEERING SERVICES & PRODUCTS CO.  
1400 16TH AVENUE SW  
STEENSKULE, ND 5806  
P: 702.276.2113  
F: 702.276.2917  
WWW.TRAPCO.COM

ORDER # \_\_\_\_\_  
CUSTOMER # \_\_\_\_\_

CUSTOMER INFORMATION	STRUCTURE SKU #	STRUCTURE SIZE	STRUCTURE DESCRIPTION
	CUSTOMER CONTACT	CONTACT PHONE	
SHEET TITLE <b>DETAIL LOCATIONS &amp; BASE DETAILS</b>			

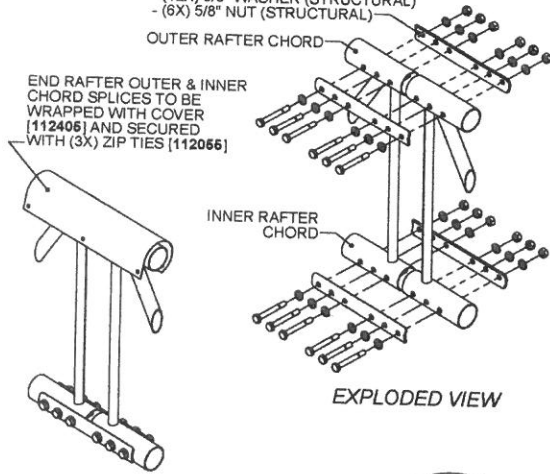
DRAWING DETAILS			
DRAWN BY:		CREATION DATE:	
BMB		5/19/2019	
REVISIONS			
NO.	BY	REVISION DATE	
1			
2			
3			
4			
NOT TO SCALE		SHEET SIZE: 11x17	
SHEET:			

**NOTES:**

END RAFTER BOLT HEADS TO BE LOCATED AT EXTERIOR OF STRUCTURE REFER TO SHEET [E1] FOR SPLICE LOCATIONS.

- (2X) SPLICE OUTSERT [SPLOUT40S001]
- (6X) 5/8" X 6" HEX BOLT (A325)
- (12X) 5/8" WASHER (STRUCTURAL)
- (6X) 5/8" NUT (STRUCTURAL)

END RAFTER OUTER & INNER CHORD SPLICES TO BE WRAPPED WITH COVER [112405] AND SECURED WITH (3X) ZIP TIES [112066]



EXPLODED VIEW

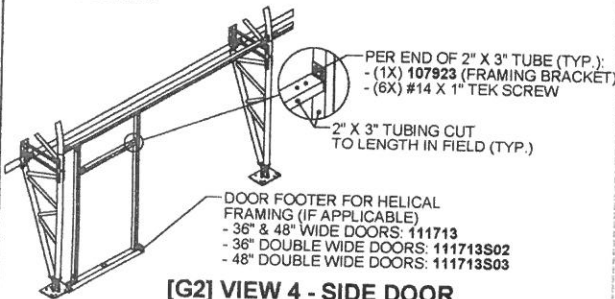
ASSEMBLED VIEW

SEGMENT CHORDS TO BE MANUFACTURED WITH SLEEVES AT EACH SPLICE BOLT LOCATION.

INTERNAL CHORD VIEW

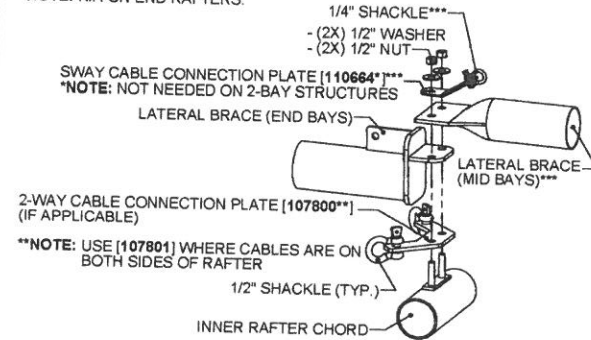
[G2] VIEW 1 - SEGMENT TO SEGMENT SPLICE

NOTE: VERIFY ROUGH OPENING PRIOR TO CUTTING TUBE.  
NOTE: THIS VIEW IS GENERIC TO ILLUSTRATE MAN DOOR FRAMING CONNECTIONS. RAFTER STYLE AND/OR OTHER DETAILS MAY NOT FULLY MATCH THE SPECIFICS FOR THIS PROJECT. SEE OTHER SHEETS FOR ORDER SPECIFIC DETAILS.

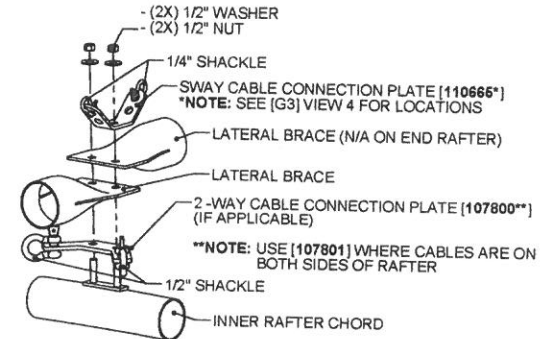


[G2] VIEW 4 - SIDE DOOR DETAIL (IF APPLICABLE)

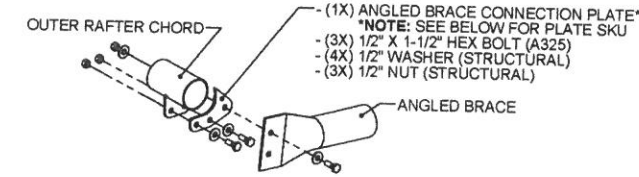
\*\*\*NOTE: N/A ON END RAFTERS.



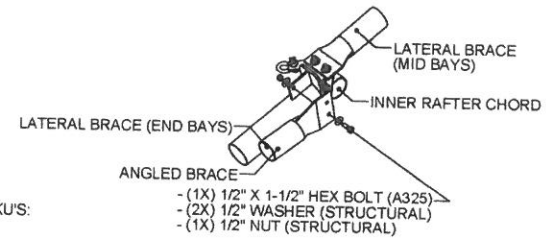
[G2] VIEW 2 - LATERAL BRACE CONNECTION (END BAY)



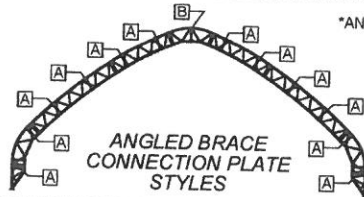
[G2] VIEW 3 - LATERAL BRACE CONNECTION (MID BAY TO MID BAY)



ANGLED BRACE CONNECTION TO OUTER RAFTER CHORD

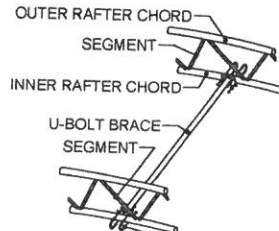


ANGLED BRACE CONNECTION TO END LATERAL BRACE



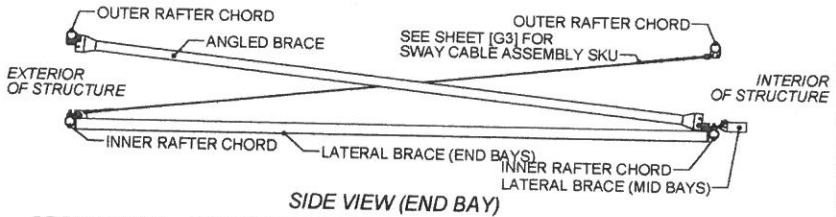
ANGLED BRACE CONNECTION PLATE STYLES

- \*ANGLED BRACE CONNECTION PLATE SKU'S:
- A PTPLTAB40S01A
  - B PTPLTAB40S01B



- PER END OF U-BOLT BRACE (TYP.):
- (2X) 1/2" U-BOLT AROUND CHORD
  - (4X) 1/2" WASHER
  - (4X) 1/2" NUT

[G2] VIEW 5 - U-BOLT BRACE CONNECTION (IF APPLICABLE)



[G2] VIEW 6 - ANGLED BRACE CONNECTION (END BAYS ONLY)

DEVELOPED BY  
  
 1440 NEW AVENUE SW  
 DUBLIN, ALABAMA  
 36828-2117  
 WWW.ONESPAN.COM

ORDER # \_\_\_\_\_  
 CUSTOMER # \_\_\_\_\_

STRUCTURE SKU #	STRUCTURE SIZE	STRUCTURE DESCRIPTION
1	1	1
CUSTOMER INFORMATION	CUSTOMER CONTACT	SHEET TITLE
1	1	GENERAL CONNECTION DETAILS

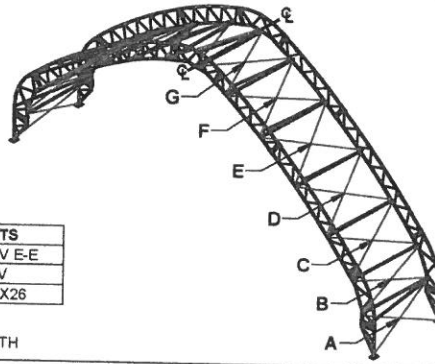
DRAWING DETAILS

DRAWN BY: BHW	CREATION DATE: 12/10/2019	
REVISIONS:		
NO.	BY	REVISION DATE
1		
2		
3		
4		

NOT TO SCALE SHEET SIZE: 11X17  
 SHEET: G2

**NOTES:**

- RAFTER VIEW SHOWN REPRESENTS TYPICAL CABLE SPAN LABELS TO ILLUSTRATE LOCATIONS OF SPANS IN THE TABLE. THE CABLE PATTERN SHOWN MAY NOT FULLY MATCH THE SPECIFICS FOR THIS PROJECT.
- CABLE PATTERN REPEATS ON OPPOSITE SIDE OF  $\mathcal{C}$  UNLESS NOTED OTHERWISE.
- CABLE IS NOT PRESENT IN BAY NUMBERS NOT LISTED IN TABLE.



CABLE ATTACHMENT COMPONENTS	
TURNBUCKLE	3/4" X 9" GALV E-E
SHACKLE	1/2" GALV
CABLE	1/2" GALV 6X26

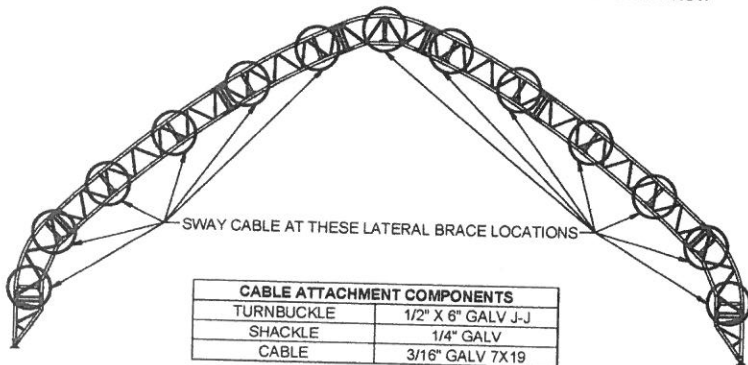
BAY 1 IS AT THE FRONT OF THE BUILDING AND INCREASES 1 FOR EVERY 20' OF LENGTH

**CABLE ASSEMBLY SKU'S**

BUILDING LENGTH	BAY NUMBER*	SPAN 'A'	SPAN 'B'	SPAN 'C'	SPAN 'D'	SPAN 'E'	SPAN 'F'	SPAN 'G'
60'	1 & 3	CAB50G1804	CAB50G1708	CAB50G1804	CAB50G1901	CAB50G1901	CAB50G1808	CAB50G1804
80'	1 & 4	CAB50G1804	CAB50G1708	CAB50G1804	CAB50G1901	CAB50G1901	CAB50G1808	CAB50G1804
100'	1 & 5	CAB50G1804	CAB50G1708	CAB50G1804	CAB50G1901	CAB50G1901	CAB50G1808	CAB50G1804
120'	1 & 6	CAB50G1804	CAB50G1708	CAB50G1804	CAB50G1901	CAB50G1901	CAB50G1808	CAB50G1804
140'	1 & 7	CAB50G1804	CAB50G1708	CAB50G1804	CAB50G1901	CAB50G1901	CAB50G1808	CAB50G1804
160'	1, 5 & 8	CAB50G1804	CAB50G1708	CAB50G1804	CAB50G1901	CAB50G1901	CAB50G1808	CAB50G1804
180'	1, 5 & 9	CAB50G1804	CAB50G1708	CAB50G1804	CAB50G1901	CAB50G1901	CAB50G1808	CAB50G1804
200'	1, 5 & 10	CAB50G1804	CAB50G1708	CAB50G1804	CAB50G1901	CAB50G1901	CAB50G1808	CAB50G1804

**[G3] VIEW 1 - CABLE SKU PER SPAN**

SWAY CABLE REPEATS DOWN LENGTH OF BUILDING AT LOCATIONS SHOWN BELOW

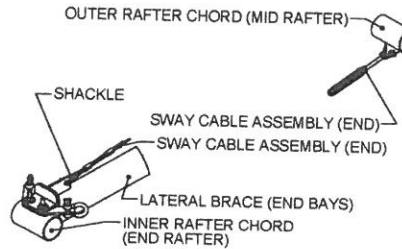


CABLE ATTACHMENT COMPONENTS	
TURNBUCKLE	1/2" X 6" GALV J-J
SHACKLE	1/4" GALV
CABLE	3/16" GALV 7X19

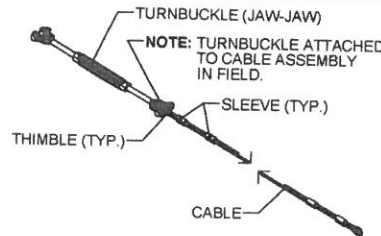
**SWAY CABLE ASSEMBLY SKU'S**

BUILDING LENGTH	BAY NUMBER*	SWAY CABLE SKU
ALL LENGTHS	END BAYS	CAB18G1802
ALL LENGTHS	MID BAYS	CAB18G1804

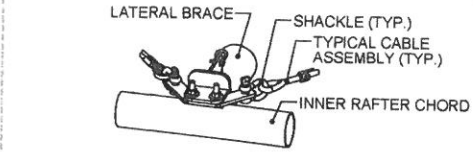
**[G3] VIEW 4 - SWAY CABLE LOCATIONS**



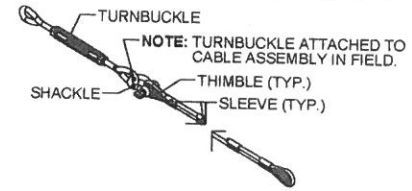
**[G3] VIEW 5 - SWAY CABLE CONNECTION (END BAY)**



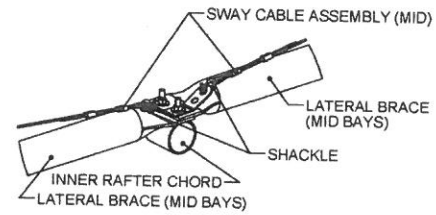
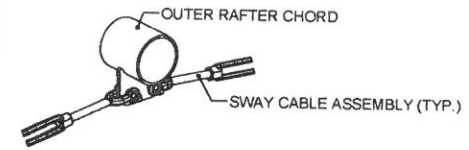
**[G3] VIEW 7 - TYPICAL SWAY CABLE ASSEMBLY**



**[G3] VIEW 2 - TYPICAL CABLE CONNECTION DETAIL**



**[G3] VIEW 3 - TYPICAL CABLE ASSEMBLY**



**[G3] VIEW 6 - SWAY CABLE CONNECTION (MID BAY TO MID BAY)**

DEVELOPED BY  
  
 ENGINEERING SERVICES & PRODUCTS CO.  
 146 18TH AVENUE SW  
 OVERBROOK, GA 30084  
 P: 502.875.5113  
 F: 502.875.2017  
 WWW.ES&P.CO.COM

ORDER # \_\_\_\_\_  
 CUSTOMER # \_\_\_\_\_

STRUCTURE SKU #	STRUCTURE SIZE	STRUCTURE DESCRIPTION
1	1	1
CUSTOMER INFORMATION	CUSTOMER CONTACT	SHEET TITLE
1	1	CABLE LAYOUT & DETAILS

**DRAWING DETAILS**

DRAWN BY: BHD  
 CREATION DATE: 3/10/2015

**REVISIONS:**

NO.	BY:	REVISION DATE:
1		
2		
3		
4		

NOT TO SCALE SHEET SIZE: 11X17  
 SHEET: G3

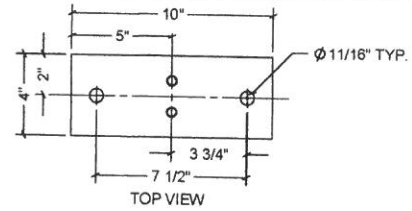
\*REFER TO SHEET [C1] FOR BAY NUMBERING

BAY NUMBER*	A (RAFTER SPACING)
ALL BAYS	20'-0"

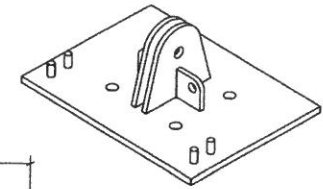
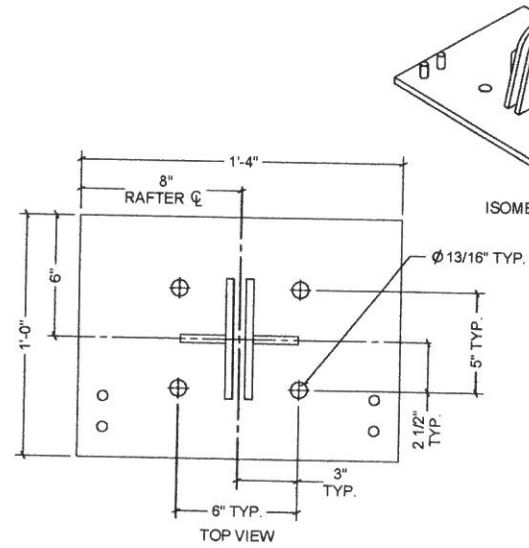
\*\*REFER TO SHEET [E1] FOR BASE LOCATIONS

RAFTER TYPE	LEFT BASE SKU**	RIGHT BASE SKU**
END	BP061GBM	BP061GBM
MID	BP061GBM	BP061GBM

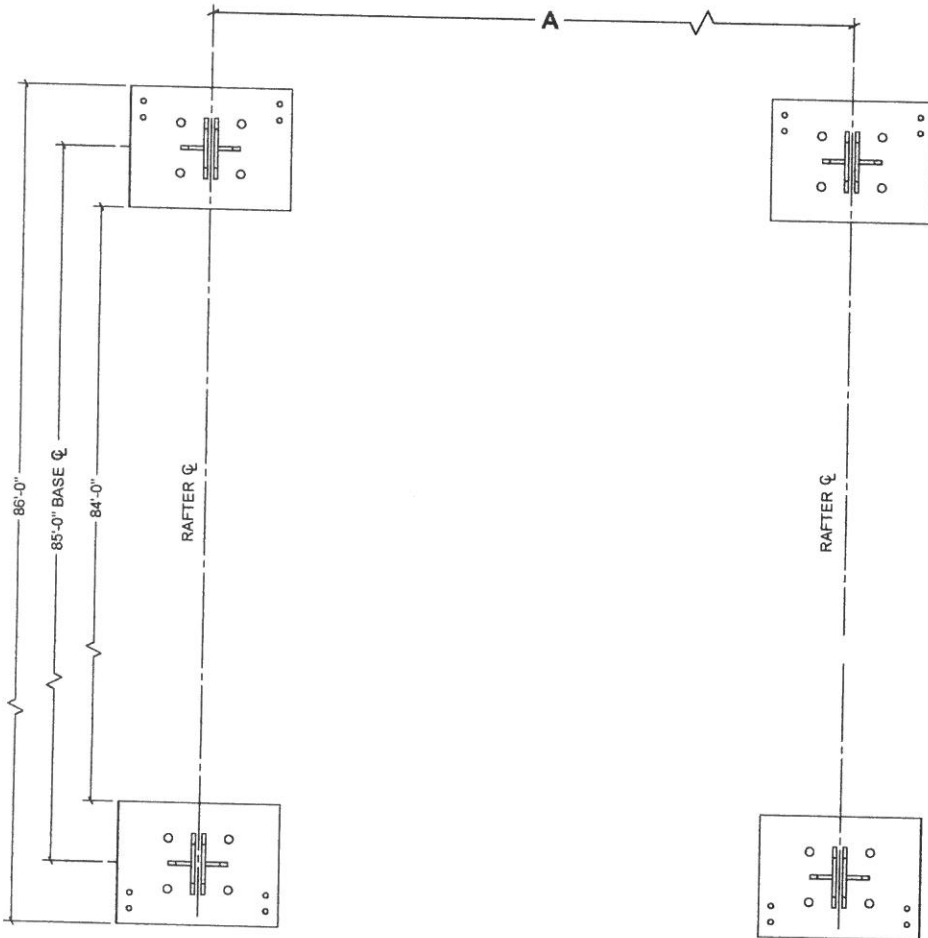
NOTE: REFER TO SHEET [F1] FOR WINCH PLATE LOCATIONS.



WP1004WS DETAILS (IF APPLICABLE)



BP061GBM DETAILS



DEVELOPED BY  
  
 A DIVISION OF  
 ENGINEERING SERVICES & PRODUCTS CO.  
 1400 18TH AVENUE SW  
 STEVENAGE, WA 98040  
 P. 360.276.2113  
 F. 360.253.2915  
 WWW.CLEARSPAN.COM

ORDER # \_\_\_\_\_  
 CUSTOMER # \_\_\_\_\_

CUSTOMER INFORMATION  
 STRUCTURE SKU # \_\_\_\_\_  
 STRUCTURE SIZE \_\_\_\_\_  
 STRUCTURE DESCRIPTION \_\_\_\_\_

CUSTOMER CONTACT  
 CONTACT PHONE \_\_\_\_\_  
 SHEET TITLE  
**BASE PLATE LAYOUT & DETAILS**

DRAWING DETAILS

DRAWN BY BMB	CREATION DATE 2/10/2015	
REVISIONS		
NO.	BY	REVISION DATE
1		
2		
3		
4		

NOT TO SCALE SHEET SIZE: 11x17

SHEET: **H1**

**FOUNDATION NOTES:**

- ESAPCO DOES NOT PROVIDE ANY MATERIAL OR DESIGN CRITERIA FOR THE CREATION OF THE FOUNDATION OR ANCHORING OF THIS BUILDING, UNLESS OTHERWISE NOTED.
- FOUNDATION AND ANCHORING SHALL BE ENGINEERED AND APPROVED BY A LICENSED STRUCTURAL ENGINEER OF OWNER'S CHOICE.
- FOUNDATION MUST MEET THE BUILDING REACTION DATA SHOWN BELOW.
- SEE ENDWALL DRAWINGS FOR ENDWALL REACTIONS (IF APPLICABLE).

**NO ENGINEERING REQUIRED, REACTIONS NOT PROVIDED**

DEVELOPED BY



ESAPCO  
ENGINEERING SERVICES & PRODUCTS CO.  
1400 STEVENSON DR  
DUBLAKE, IL 60008  
P. 630.945.1111  
WWW.ESAPCO.COM

ORDER #  
--

CUSTOMER #  
--

CUSTOMER INFORMATION	STRUCTURE SKU #	STRUCTURE SIZE	STRUCTURE DESCRIPTION
CUSTOMER CONTACT:	CONTACT PHONE	SHEET TITLE <b>BUILDING REACTION DATA</b>	

DRAWING DETAILS		
DRAWN BY	CREATION DATE	
BHB	3/19/2018	
REVISIONS		
NO.	BY	REVISION DATE
1		
2		
3		
4		
NOT TO SCALE		SHEET SIZE: 11X17
SHEET:		<b>J1</b>

# FRU88X-6 400

## MEMBRANE STRUCTURE FABRIC WITH ARMORKOTE™

# INTERTAPE POLYMER GROUP®

## TECHNICAL DATA SHEET

### DESCRIPTION

NovaShield® brand FRU88X-6 400 is a flame-retardant, heavyweight fabric for applications requiring UV stability, such as membrane structures and alternate daily landfill covers. The scrim is produced in a special weaving pattern to enhance thickness, flatness, abrasion resistance, and tear properties. The flame-retardant proprietary coating is used to enhance abrasion resistance, flex resistance, seam strength, UV resistance and longevity.

### FABRIC SPECIFICATIONS

Weave: Woven clear HDPE scrim using natural FR/UV tapes  
 Coating: LDPE, 4 mil average each side (95 g/m<sup>2</sup>/side)  
 Color: White, blue, green, grey, sandstone and other colors available upon request  
 Weight: 12.4 oz/yd<sup>2</sup> (407g/m<sup>2</sup>) +/- 5 %  
 Thickness: 23 mil (0.59 mm) ASTM D1777

### ROLL SPECIFICATIONS

Cores: 4 inch I.D. or 5 inch I.D. available  
 Width: Up to 144 inches (-0, +0.5) as ordered  
 Length: Minimum 250 yds/roll; up to 1000 yds/roll

*These values are typical data and are not intended as limiting specifications.*



100 Paramount Drive, Suite 300 | Sarasota, FL 34232 | USA  
 Customer Service: 800.565.2000  
[www.itape.com](http://www.itape.com) | [info@itape.com](mailto:info@itape.com)

### PERFORMANCE PROPERTIES

The following data are typical values based on ASTM standard tests. This data should not be considered specification.

<b>Grab Tensile</b> ASTM D5034	Warp 375 lb 1665 N / Weft 340 lb 1510 N
<b>Strip Tensile</b> (N/5cm) ASTM D5035	Warp 260 lb/in (2310)/Weft 240 lb/in (2131)
<b>Tongue Tear</b> ASTM D2261	Warp 120 lb 533 N / Weft 110 lb 489 N
<b>Trapezoidal Tear</b> ASTM D4533	Warp 110 lb 488 N / Weft 90 lb 400 N
<b>Mullen Burst</b> ASTM D3786	665 psi / 4581 kPa
<b>Accelerated UV Weathering<sup>1</sup></b> ASTM G154	>90 % strength retention after 2000 hrs exposure @ 0.77 W/m <sup>2</sup> /nm, or 1200 hrs exposure @ 1.35 W/m <sup>2</sup> /nm
<b>Accelerated Natural Weathering</b> ASTM G90	>80 % strength retention after 5 Florida Standard Years <sup>2</sup>
<b>Low Temperature Bend</b> ASTM D2136	-60°C

<sup>1</sup> Q.U.V [A-340 Lamps]; 8 hrs UV @ 60°C; 4hrs condensation @ 50°C <sup>2</sup> 1333 MJ

### FR PERFORMANCE

This product meets the requirements of NFPA 701 – 2010 (Method 1 and Method 2), 2004 (Method 1 and Method 2), 1989 (large and small scale) and 1996 (tests 1 and 2), CAN/ULC S109-M87 (small and large scale), CAN/ULC S102-03, CAN/ULC S102.2-03, ASTM E84-00a (Class 1), California Fire Marshal (F-51405).

While we believe them to be reliable, the statements and information herein are only for general guidance and are not warrants or guarantees for accuracy and completeness. The user must, by test or otherwise, determine suitability for this purpose. There is no warranty of fitness for a particular purpose. Our standard term and conditions of sale apply exclusively to all orders, and all liability for damages of any kind, including consequential, exceeding purchase price is excluded. No one is authorized by us to make oral warranties. We reserve the right to make changes without notice or obligation in our products and publications.

EFFECTIVE: 4/15

**NovaShield®**  
BRAND

## City of Independence

### ***Request for a Minor Subdivision to Allow a Lot Combination for the Property located at 3212 Independence Road***

---

*To:* City Council  
*From:* Mark Kaltsas, City Planner  
*Meeting Date:* February 28, 2017  
*Applicants:* Randall and Margaret Mason  
*Owners:* Randall and Margaret Mason  
*Location:* 3212 Independence Road

#### ***Request:***

Randall and Margaret Mason (Applicant/Owner) requests that the City consider the following actions for the property located at 3212 Independence Road (PID No.s 13-118-24-22-0008, 13-118-24-22-0009, 12-118-24-33-0004, 12-118-24-33-0004) in Independence, MN:

- a. A minor subdivision to combine the two existing lots into one lot.

#### ***Property/Site Information:***

The subject property is located along Independence Road just north of Lindgren Lane. There are currently four tax parcels on this property due to the location of the section line which separates school districts. The property has access onto Lake Independence. The property has the following site characteristics:

Property Information: 3212 Independence Road  
Zoning: *Rural Residential (Shoreland Overlay)*  
Comprehensive Plan: *Rural Residential*  
Acreage (Before): *Lot 1 – 18.5 acres*  
*Lot 2 – 2.74 acres*  
Acreage (After): *21.24*



**Discussion (Subdivision):**

In 2010 the previous owner of this parcel subdivided the original lot into two (2) buildable lots. The property was recently purchased by the applicants. They would like to combine the properties back into one (1) lot for the purpose of constructing a single-family home on the property. In discussing the property with the applicants, the City noted that structures constructed on the property would need to meet all applicable building setbacks from the existing property lines (cannot be constructed across property lines). In addition, the City noted that detached accessory structures could not be constructed on a lot without a principle structure. This would preclude the applicants from constructing a home on one side of the property and a detached accessory structure on the adjacent property. As a result of this information, the applicant made an application to the City for a minor subdivision to combine the two properties into one lot.

There are several unique aspects of this property that should be noted by the City during consideration of the application:

1. The property is bisected by a section line that separates the Delano and Orono School Districts. As a result, the property has four property identification (PID) numbers associated with the two lots. In the after condition, the property will still have two PID numbers, but only one buildable lot.



2. The previous owner paid for two sewer connections for the two properties. Any new home construction on this property will connect to the City's sewer on Independence Road.
3. There was a single-family home on this property that was razed by the previous homeowner. This property in the after condition can accommodate a new home and meet all applicable setbacks.
4. There is an existing driveway that provides access to this property from Independence Road.
5. The requisite drainage and utility easements will need to be re-dedicated based on the lot combination. The applicant shall provide the City with the requisite easement legal descriptions and execute the necessary documents to convey the required easements.

The proposed subdivision to allow a lot combination appears to meet all applicable standards of the City's zoning and subdivision ordinance. The combined lot will fit into the surrounding area and have minimal impacts on the surrounding properties.

***Neighbor Comments:***

The City has not received any written comments regarding the proposed subdivision or conditional use permit.

***Planning Commission Discussion:***

Planning Commissioners reviewed the request to combine the two existing properties. Commissioners found that the request was straight forward and met the criteria for a minor subdivision. Commissioners asked what would happen to the second sanitary sewer stub that was purchased by the previous property owner. Staff noted that the City did not install physical stubs along Independence Road and if the property ever subdivided in the future, the owner could request an additional connection. Commissioners recommended approval of the requested minor subdivision to permit a lot combination.

***Recommendation:***

The Planning Commission recommended approval for the requested Subdivision with the following findings:

1. The proposed subdivision to allow a lot combination meets all applicable criteria and conditions stated in Chapter V, Section 500, Planning and Land Use Regulations of the City of Independence Zoning Ordinance.
2. The Applicant shall pay for all costs associated with the City's review of the requested minor subdivision.
3. The Applicant shall record the subdivision and City Council Resolution with the county within six (6)

months of approval.

4. The Applicant provide the legal descriptions and execute and record the requisite drainage and utility easements with the county within six (6) months of approval.

***Attachments:***

1. Survey
2. Application



---

RESOLUTION NO. 17-0228-03

A RESOLUTION APPROVING A MINOR SUBDIVISION  
TO ALLOW A LOT COMBINATION AS REQUESTED BY RANDALL AND MARGARET  
MASON FOR THE PROPERTIES LOCATED AT 3212 INDEPENDENCE ROAD

WHEREAS, the City of Independence (the “City”) is a municipal corporation under the laws of Minnesota; and

WHEREAS, the City adopted a Comprehensive Plan in 2010 to guide the development of the community; and

WHEREAS, the City has adopted a Zoning Ordinance and other official controls to assist in implementing the Comprehensive Plan; and

WHEREAS, Randall and Margaret Mason so (the “Applicants”) have submitted a request for a minor subdivision to allow a lot combination to combine their two existing parcels into one parcel (PID No.s 13-118-24-22-0008, 13-118-24-22-0009, 12-118-24-33-0004, 12-118-24-33-0004) (the “Property”); and

WHEREAS, the Property is zoned Rural Residential; and

WHEREAS, the Property is legally described as shown and depicted on Exhibit A attached hereto.

WHEREAS the requested minor subdivision meets all requirements, standards and specifications of the City of Independence subdivision and zoning ordinance for rural Residential Property; and

WHEREAS the Planning Commission held a public hearing on February 21, 2017 to review the application for a minor subdivision, following mailed and published noticed as required by law; and

WHEREAS, the City Council has reviewed all materials submitted by the Applicant; considered the oral and written testimony offered by the applicant and all interested parties; and has

now concluded that the application is in compliance with all applicable standards and can be considered for approval.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF INDEPENDENCE, MINNESOTA, that it should and hereby does approve the application by Randall and Margaret Mason for a minor subdivision to allow a lot combination per the City's subdivision and zoning regulations with the following conditions:

1. The proposed subdivision to allow a lot combination meets all applicable criteria and conditions stated in Chapter V, Section 500, Planning and Land Use Regulations of the City of Independence Zoning Ordinance.
2. The Applicant shall pay for all costs associated with the City's review of the requested minor subdivision.
3. The Applicant shall record the subdivision and City Council Resolution with the county within six (6) months of approval.
4. The Applicant provide the necessary legal descriptions and execute and record the requisite drainage and utility easements with the county within six (6) months of approval.

This resolution was adopted by the City Council of the City of Independence on this 28<sup>th</sup> day of February, 2017, by a vote of \_\_\_ ayes and \_\_\_ nays.

\_\_\_\_\_  
Marvin Johnson, Mayor

ATTEST:

\_\_\_\_\_  
Mark Kaltsas, City Administrator

(SEAL)

**City of Independence**

The Independence City Code was established to protect both current and future residents from the negative impacts of improper development and to ensure a positive future for the city. The land use application review is the mechanism that allows the city to examine proposed uses to ensure compatibility with the surrounding environment, natural or otherwise. It is important to understand that a proposed use may be acceptable in some circumstances, but unacceptable in others—all applications are viewed on a case-by-case basis.

- Appeal
- Comprehensive Plan Amendment
- Concept Plan
- Conditional Use Permit
  - Residential
  - Commercial/Light Industrial
  - Telecommunications
  - Agriculture
  - Home Occupation
  - Non-Conforming Use
  - Guest/Bunk House
  - Institutional
  - CUP Amendment
- Extension Request
- Final Plat
- Interim Use Permit
- Lot Consolidation
- Minor Subdivision (Survey)
  - Lot Subdivision
  - Lot Combination
  - Lot Line Rearrangement
- Moving Buildings
- Preliminary Plat
- Rezoning
- Site Plan Review (Commercial)
- Vacation
- Variance
  - Subdivision Regulations
  - Zoning
  - Road Frontage
- Zoning Text Amendment

\*Please check all that apply

**Request:** We would like to combine  
the 4 parcels at ~~3212~~ 3212  
Independence Road so that we  
can build single family residence.

**Site Address or Property Identification Number(s):**

13-118-24-22-0008; 12-118-24-33-0005  
12-118-24-33-0004; 13-118-24-22-0009

NOTE: Minnesota State Statute 15.99 requires local governments to review an application within 15 days of its submission to determine if an application is complete and/or if additional information is needed to adequately review the subject request. **To ensure an expedited review, applicants shall schedule a pre-application meeting with the City Planner/Administrator at least one week prior to submittal.** Most applications have a review period of 60 days, with the City's ability to extend an additional 60 days if necessary due to insufficient information or schedule.

<b>Office Use Only</b>	
	<u>1/31/2017</u> Date
<u>1,250.<sup>00</sup></u> Application Amount	<u>4835</u> Application Check #
<u>750<sup>00</sup></u> Escrow Paid	<u>4835</u> Escrow Check #
_____ Date Accepted by Planner	_____ Accepted By
_____ City Planner	

**\*\*\*Note:** All parties with a fee interest in the real estate must sign this application before the City will review for consideration!

**Applicant Information:**

Name: Randall & Margaret Mason  
Address: 1652 Homestead Trail  
City, State, Zip: Medina, MN 55356  
Phone: 612-804-2976 763-350-5802  
Email: candy.w.mason@gmail.com  
margaret.g.mason@gmail.com  
Signature: Margaret G. Mason

**Owner Information (if different than applicant)**

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City, State, Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Email: \_\_\_\_\_  
Signature: \_\_\_\_\_

**Checklist:** Please review the checklist that goes with the request(s) as all materials in the checklist unless waived by the City.

**Review Deadline and Timeline:** All applications must be received by the deadline according to the schedule attached hereto. Failure to submit by the date shown will result in a delay in the scheduling of the application review by Planning Commission and City Council.

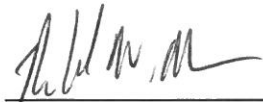
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***Application for Planning Consideration Fee Statement***

---

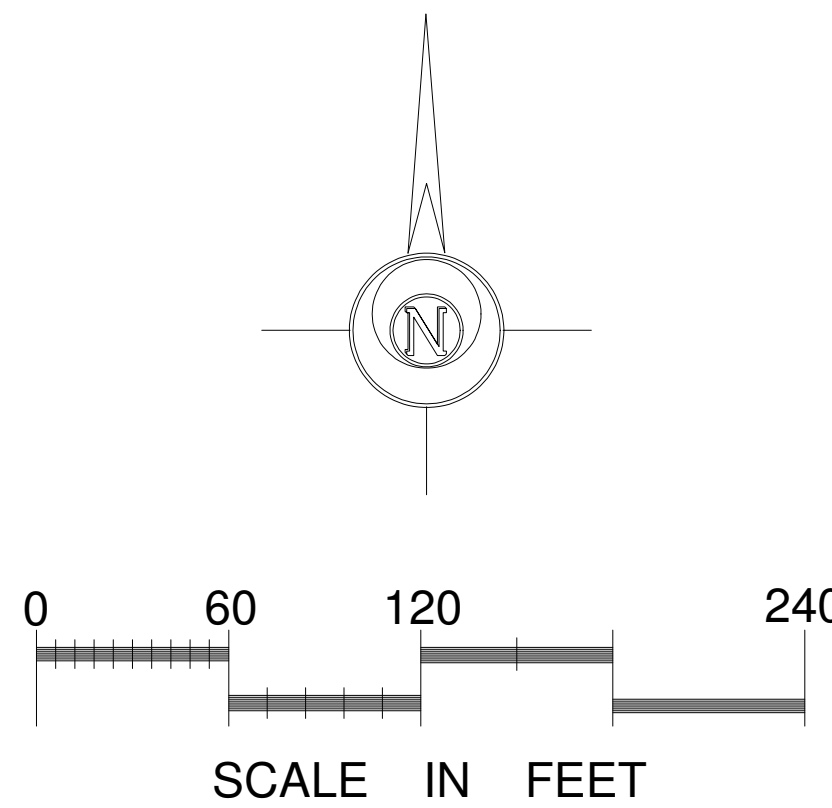
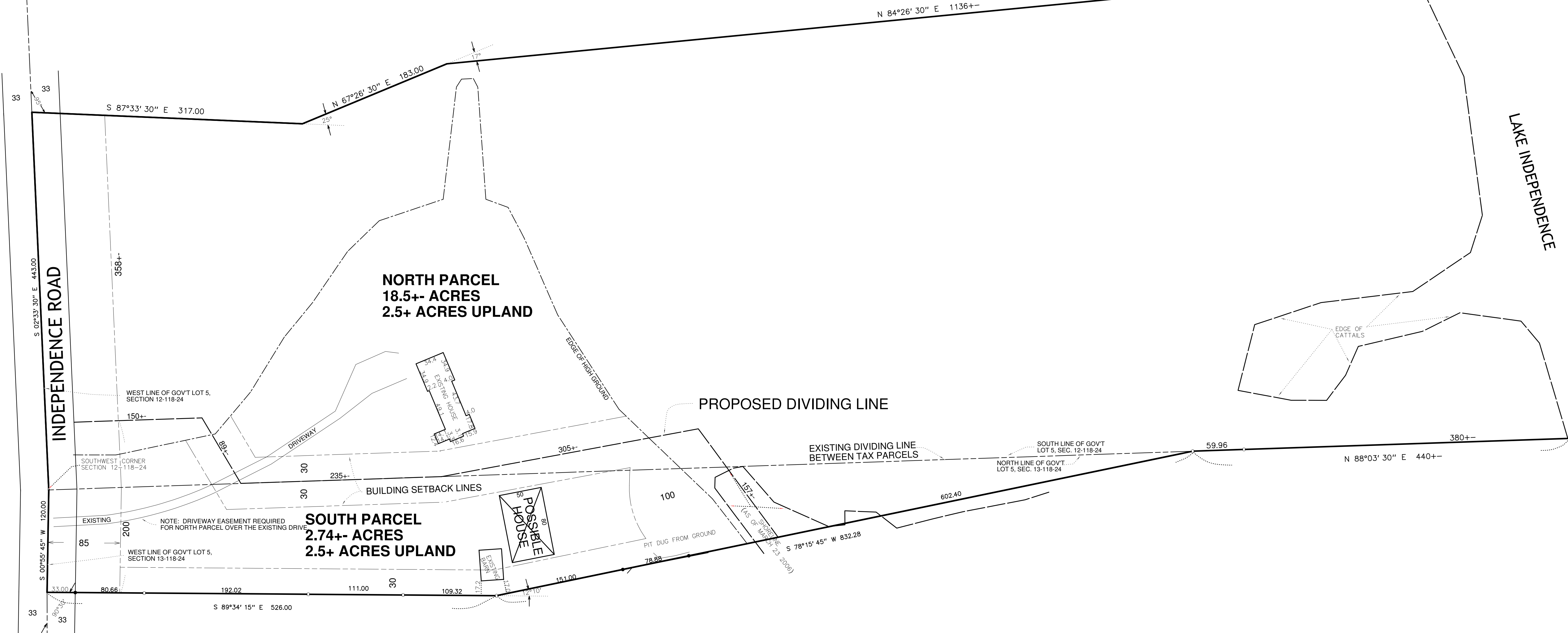
The City of Independence has set forth a fee schedule for the year 2014 by City Ordinance. However, projects of large scope that include two or more requests will be required to provide a larger deposit than the resolution sets forth as set by the City Administrator. The fees collected for land use projects are collected as deposits. All invoices associated with each land employ application will be billed to the applicant within 30 days upon receipt by the City for each project. The City of Independence often utilizes consulting firms to assist in the review of projects. The consultant and City rates are shown at the bottom of this form. By signing this form, the applicant recognizes that he/she is solely responsible for any and all fees associated with the land use application from the plan review stage to the construction monitoring stage through to the release of any financial guarantee for an approved project. If a project is denied by the City Council or withdrawn by the applicant, the fees associated for the project until such denial or withdrawal, remain the applicant's responsibility.

I UNDERSTAND THE FEE STATEMENT AND RESPONSIBILITIES ASSOCIATED WITH THIS LAND USE APPLICATION:

Applicant Signature:   
Date: 1-30-17

Owner Signature (if different):   
Date: 1-31-17

**LOT LINE REARRANGEMENT FOR  
STEVE LINDHOLM  
IN SECS. 12 & 13-118-23  
HENNEPIN COUNTY, MINNESOTA**



**LEGAL DESCRIPTION OF PREMISES**  
That part of Government Lot 5, Section 12, Township 118, Range 24 West of the 5th Principal Meridian, lying South of the following described:  
Commencing at the Southwest corner of said Government Lot; thence North along the West line of said Government Lot a distance of 443 feet to the point of beginning of the line to be described; thence deflecting right 95 degrees a distance of 317 feet; thence deflecting left 25 degrees a distance of 183 feet; thence deflecting right 17 degrees to the Easterly line of said Government Lot, and there ending.

**ALSO**  
That part of Government Lot 5, section 13, Township 118 North, Range 24 West of the 5th Principal Meridian, lying Northerly of the following described line:  
Commencing at the Northwest corner of said Government Lot 5, thence South on the West line of said Lot a distance of 120 feet to the point of beginning of the line being described; thence deflecting left 90 degrees 30 minutes a distance of 526 feet; thence deflecting left 12 degrees 10 minutes to the North line of said Government Lot, and there terminating.

• denotes iron marker found  
◊ denotes iron marker set

Bearings shown are based on assumed datum.

This survey shows the boundary of the South line of the property described, and the location of an existing house, driveway and barn thereon. It does not purport to show any other encroachments or improvements.

<b>GRONBERG &amp; ASSOCIATES, INC.</b> CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS 445 N. WILLOW DRIVE LONG LAKE, MN 55356 PHONE: 952-473-4141 FAX: 952-473-4435	
	DATE: 6-9-10 SCALE: 1" = 100' SHEET NO: 10-146 SHEET OF: 1
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER AND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.	
DESIGNED	MINN. LICENSE NUMBER
REVISIONS	DATE
BY	REMARKS
7-10	REVISED DIVIDING LINE
CHECKED	DATE

# City of Independence

## Quarterly Sewer Access Charge and Annual Sewer Availability Charge Increase

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*To:* City Council  
*From:* Mark Kaltsas, City Administrator  
*Meeting Date:* February 28, 2017

### ***Discussion:***

Based on direction from the City Council at the December, 2016 and February, 2017 Workshops, staff has prepared a rate increase for both the quarterly sewer access charge and annual sewer availability charge. The City initially commissioned the sewer rate study in 2015. Following an iterative and careful review of the information and possible rate increase scenarios, Council directed staff to bring forward a sewer rate increase. One of the primary discussion points during the evaluation of the sewer rates, was how to address those users that are not currently connected, but have availability of the sanitary sewer.

Staff evaluated the total cost of maintain the system versus the total cost of operating the system. This was done in an effort to understand if the amount proposed to be charged to those properties that have stubbed connections was adequate to cover the cost of maintaining the system. It was found is that the cost to maintain the system divided by the total number of connected and stubbed users is actually substantially higher than the proposed availability charge. It is estimated that the cost to maintain the system would actually be \$755 per property per year.

	Sewer fixed expenditures
MCES	25,750.00
Depreciation	123,600.00
Repair and Maint.	20,600.00
Capital outlay	20,600.00
Insurance	3,170.00
Claim	520.00
Total	<u>194,240.00</u>
# of users	<u>257.00</u>
Annual per user cost	755.80



The City has developed a rate increase projection that will allow those users paying the availability charge a gradual rate increase over five years. At the end of the five years, all residents that use or have availability to City sewer will pay the same quarterly/annual rate. Based on the recommended rate increases, the City will be able to meet its target cash reserve goal by the year 2025.

The proposed 2017 rate increases will be as follows:

Connected Properties:

2016 (CURRENT):	\$168 per quarter
2017 (8% INCREASE):	\$181 per quarter

The recommended 2017 rate represents a \$13 increase.

Stubbed Properties:

2016 (CURRENT):	\$32 per quarter
2017 (231% INCREASE):	\$74 per quarter

The recommended 2017 rate represents a \$42 quarterly increase.

It is anticipated that the City will reevaluate the sewer fund and potential rate increases annually to ensure a nexus between the rates charged and the cost of to provide the services to our residents. The City projects that additional rate increases will be necessary to ensure that the sewer fund continues to support the cost to operate and maintain the system. Should the City add additional users in the urban residential guided area, it is possible that reduced increases could be considered in the future.

***Recommendation:***

The City Council is being asked to consider **RESOLUTION 17-0228-04** which would amend the City's current fee schedule based on the recommended sewer rate increases.

**Attachments: RESOLUTION 17-0228-04**



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RESOLUTION NO. 17-0228-04

A RESOLUTION APPROVING AN UPDATE TO THE  
FEE SCHEDULE

WHEREAS, the City of Independence (the "City") is a municipal corporation under the laws of Minnesota; and

WHEREAS, the City has adopted a Fee Schedule to set forth fees for certain services provided by the City;

AND WHEREAS, the Fee Schedule is referred to in the City's Code of Ordinances and determined to be necessary to ensure that the City is reimbursed for the cost of providing the services.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INDEPENDENCE, MINNESOTA:

1. The Following Update to the Fee Schedule is hereby adopted.

Availability Charge Per Year     \$ 296.00  
Quarterly Sewer Access Charge   \$ 181.00

This resolution was adopted by the City Council of the City of Independence on this 28<sup>th</sup> day of February, 2017, by a vote of \_\_\_ ayes and \_\_\_ nays.

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Marvin Johnson, Mayor

ATTEST:

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Mark Kaltsas, City Administrator  
(SEAL)

# City of Independence

## Consider Purchase of New Public Works Pickup Truck and Mower and Trade of the Existing Mower

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*To:* City Council  
*From:* Mark Kaltsas, City Administrator  
*Meeting Date:* February 28, 2017

### ***Request:***

The City has budgeted \$35,000 in 2017 for a new utility pickup truck that would serve the City's public works department. The new truck will provide the City with a third all purpose vehicle that can be used for all aspects of the public works department. This vehicle will allow all three employees to have an available vehicle. Public works employees currently have to use a personal vehicle or a different piece of equipment to carry out general day to day functions of the department. City Council discussed the purchase of this vehicle at a recent workshop. Staff has since obtained quotations for both a new GMC Sierra 2500HD and a comparable Ford F250 pickup truck. Both trucks were bid out with similar specifications utilizing the state bid pricing as a base. The following quotations were provided to the City:

#### GMC Sierra 2500HD Regular Cab:

Delano Chevrolet - \$40,193.10

**Nelson Auto Center - \$36,411.02**

#### Ford F250:

Waconia Ford - \$37,727.63

Nelson Auto Center - \$36,249.41

Based on the quotations obtained for the new truck, staff is recommending that the City purchase a GMC Sierra 2500HD from Nelson Auto Center for \$36,411.02. The trucks specifications are attached to this report.

In addition to the pickup truck, City Council discussed the potential purchase and trade in of the City's primary lawn mower. The City has a 2012 Kubota 60" mower that is utilized for all mowing of the City's parks, City Hall and Public Works buildings and grounds. The City had historically contracted out the mowing of certain parks within the City. It was determined two years ago that the City could mow the areas for less cost than the available contract cost. The City evaluated the average annual cost to own and operate the mower. It was found that the cost to own and operate the existing mower versus the cost of trading in and purchasing a new mower was comparable. In addition, Public Works would like to purchase a mower that has a 72" mower deck versus the existing 60" deck. This will potentially allow the existing staff to more efficiently mow the parks and grounds around the City's buildings. Staff obtained two quotations for a new mower and trade value as follows:

John Deere 72" Mower:

New John Deer 72" Mower - \$28,501.33

Trade Value - \$4,000

Net Cost to City: \$24,501.33

Kubota 72" Mower:

New Kubota 72" Mower - \$20,900

Trade Value - \$8,000

**Net Cost to City: \$12,900**

Public Works believes that the timing is good to trade in the existing mower and recommends purchasing a new Kubota 72" Mower from Lano Equipment for \$12,900 (see attached quotation). The City would pay for the mower utilizing public works equipment capital funds. The City currently has an approximate \$100,000 balance in the equipment fund.

***Recommendation:***

It is recommended that the City Council consider approving the purchase of a new pickup truck from Nelson Auto Center for \$36,411.02. It is further recommended that the City Council consider approving the purchase of a new 72" mower from Lano Equipment for \$12,900 and trading in the 2012 mower for \$8,000.

*Attachments:*

1. Pickup Quotation
2. Mower Quotation

**Prepared For:**

Independence, City of

Larry Ende

Email: Independence TK25903

**Prepared By:**

Melissa Larson

MELISSA LARSON

2228 COLLEGE WAY/PO BOX 338

FERGUS FALLS, MN 565380338

Phone: (218) 998-8865

Fax: (218) 998-8813

Email: melissa.fleet@ymail.com

**2017 GMC Sierra 2500HD**

TK25903 4WD Reg Cab 133.6"

## STANDARD EQUIPMENT

### STANDARD EQUIPMENT - 2017 Fleet/Non-Retail TK25903 4WD Reg Cab 133.6"

#### ENTERTAINMENT

- Audio system, 4.2" Diagonal Color Display, AM/FM stereo with USB port and auxiliary jack (Upgradeable to (IOB) 7" diagonal color display radio with IntelliLink.)
- Audio system feature, 4-speaker system on Regular Cab models

#### EXTERIOR

- Wheels, 17" (43.2 cm) steel includes 17" x 7.5" (43.2 cm x 19.1 cm) steel spare wheel. Spare not included with (ZW9) pickup box delete unless a spare tire is ordered.
- Tires, LT245/75R17E all-season, blackwall
- Wheels, 17" x 7.5" (43.2 cm x 19.1 cm) full-size, steel spare Spare not included with (ZW9) pickup box delete unless a spare tire is ordered. (Requires 17" wheels and tires.)
- Tire carrier lock keyed cylinder lock that utilizes same key as ignition and door (Not included when (ZW9) pickup box delete or (9J4) rear bumper delete is ordered.)
- Bumper, front chrome
- CornerStep, rear bumper (Requires (E63) pickup box.)
- Bumper, rear chrome with bumper CornerSteps (Requires (E63) pickup box.)
- 4X4 chrome badge (Included and only available with 4X4 models.)
- Grille surround, chrome
- Headlamps, high intensity discharge (HID) projector-beam with GMC signature LED lighting
- Lamps, cargo area, cab mounted with switch on center switch bank
- Mirrors, outside manual, Black
- Glass, solar absorbing, tinted
- Door handles, Black
- Capless fuel fill (Requires gas engine and (E63) pickup box.)
- Tailgate and bed rail protection caps, top
- Tailgate, locking, utilizes same key as ignition and door (Not available with (AQQ) Remote Keyless Entry.)

#### INTERIOR

- Seats, front 40/20/40 split-bench, 3-passenger, driver and front passenger recline with outboard head restraints and center fold-down armrest with storage. Vinyl has fixed lumbar and cloth has manually adjustable driver lumbar.
- Seat trim, Cloth
- Steering column, manual Tilt-Wheel
- Steering wheel, base
- Floor covering, Graphite-colored rubberized-vinyl
- Instrumentation, 6-gauge cluster featuring speedometer, fuel level, engine temperature, tachometer, voltage and oil pressure
- Driver Information Center, 3.5-inch diagonal monochromatic display provides warning messages and basic vehicle information
- Door locks, power
- Cruise control, steering wheel-mounted
- Air conditioning, single-zone
- Assist handle, front passenger and driver on A-pillars

Report content is based on current data version referenced. Any performance-related calculations are offered solely as guidelines. Actual unit performance will depend on your operating conditions.

GM AutoBook, Data Version: 472.0, Data updated 1/3/2017

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Customer File: Independence TK25903

## STANDARD EQUIPMENT

### STANDARD EQUIPMENT - 2017 Fleet/Non-Retail TK25903 4WD Reg Cab 133.6"

#### MECHANICAL

- Engine, Vortec 6.0L Variable Valve Timing V8 SFI, E85-compatible, FlexFuel capable of running on unleaded or up to 85% ethanol (360 hp [268.4 kW] @ 5400 rpm, 380 lb-ft of torque [515.0 N-m] @ 4200 rpm (Does not include E85 capability with (ZW9) pickup box delete.)
- Transmission, 6-speed automatic, heavy-duty, electronically controlled with overdrive and tow/haul mode. Includes Cruise Grade Braking and Powertrain Grade Braking (Requires (L96) Vortec 6.0L V8 SFI engine.)
- Rear axle, 4.10 ratio (Requires (L96) Vortec 6.0L V8 SFI engine.)
- Suspension Package, Handling/Trailering, heavy-duty includes 51mm twin tube shock absorbers and 33mm front stabilizer bar
- Pickup box
- GVWR, 9500 lbs. (4309 kg) (Requires (L96) Vortec 6.0L V8 SFI engine. Not available with TK25943 or TC25903 model.)
- Air cleaner, high-capacity
- Transfer case, with floor-mounted shifter (included with 4WD models only.)
- Differential, heavy-duty locking rear
- Four wheel drive
- Cooling, external engine oil cooler
- Cooling, auxiliary external transmission oil cooler
- Battery, heavy-duty 720 cold-cranking amps/80 Amp-hr, maintenance-free with rundown protection and retained accessory power
- Alternator, 150 amps
- Frame, fully-boxed, hydroformed front section
- Recovery hooks, front, frame-mounted, black
- Cargo tie downs (4), movable upper (Requires (E63) pickup box.) (Not available with (ZW9) pickup box delete.)
- Steering, Recirculating Ball with smart flow power steering system
- Brakes, 4-wheel antilock, 4-wheel disc with DuraLife brake rotors
- Exhaust, aluminized stainless-steel muffler and tailpipe

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## STANDARD EQUIPMENT

### STANDARD EQUIPMENT - 2017 Fleet/Non-Retail TK25903 4WD Reg Cab 133.6"

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#### SAFETY

- StabiliTrak, stability control system with Proactive Roll Avoidance and traction control includes electronic trailer sway control and hill start assist
- Daytime Running Lamps with automatic exterior lamp control
- Air bags Double Cab and Regular Cab: Frontal Airbags- Driver single stage and Front Passenger dual-stage; Thorax side-impact, seat mounted, both driver and front passenger; Head-curtain front and rear outboard seating positions; Passenger Sensing System - Infant only suppression for passenger and passenger seat belt reminder status displayed on overhead console (With (ZW9) pickup box delete on Double and Regular Cab you will get single-stage frontal and thorax side-impact, driver and front passenger, and head curtain side-impact, front and rear outboard seating positions . Always use safety belts and child restraints. Children are safer when properly secured in a rear seat in the appropriate child restraint. See the Owner's Manual for more information.)
- Tire Pressure Monitoring System (does not apply to spare tire)
- Teen Driver mode a configurable feature that lets you activate customizable vehicle settings associated with a key fob, to encourage safe driving behavior. It can limit certain vehicle features, and it prevents certain safety systems from being turned off. An in-vehicle report gives you information on your teen's driving habits and helps you to continue to coach your new driver

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Customer File: Independence TK25903



# WINDOW STICKER

2017 GMC Sierra 2500HD 4WD Reg Cab 133.6"  
 \* 6.6L/403 CID \* Turbocharged Diesel V8  
 6-Speed Automatic

Interior: - No color has been selected.  
 Exterior 1: - No color has been selected.  
 Exterior 2: - No color has been selected.

CODE	MODEL	MSRP
TK25903	2017 GMC Sierra 2500HD 4WD Reg Cab 133.6"	\$36,845.00
<b>OPTIONS</b>		
E63	PICKUP BOX	\$0.00
Z85	SUSPENSION PACKAGE, HANDLING/TRAILERING, HEAVY-DUTY	\$0.00
FE9	EMISSIONS, FEDERAL REQUIREMENTS	\$0.00
L5P	ENGINE, DURAMAX 6.6L TURBO DIESEL V8, B20-DIESEL COMPATIBLE	\$9,005.00
MW7	TRANSMISSION, ALLISON 1000 6-SPEED AUTOMATIC, ELECTRONICALLY CO	\$0.00
C4M	GVWR, 9900 LBS. (4490 KG)	\$0.00
GT4	REAR AXLE, 3.73 RATIO	\$0.00
1SA	WORK TRUCK PREFERRED EQUIPMENT GROUP	\$0.00
PYN	WHEELS, 17" (43.2 CM) STEEL	\$0.00
QXT	TIRES, LT265/70R17E ALL-TERRAIN, BLACKWALL	\$200.00
ZY1	PAINT, SOLID	\$0.00
G7C	CARDINAL RED	\$0.00
AE7	SEATS, FRONT 40/20/40 SPLIT-BENCH, 3-PASSENGER, DRIVER AND FRONT	\$0.00
H2R	JET BLACK/DARK ASH, CLOTH SEAT TRIM	\$0.00
IO3	AUDIO SYSTEM, 4.2" DIAGONAL COLOR DISPLAY, AM/FM STEREO	\$0.00
PCR	SIERRA FLEET CONVENIENCE PACKAGE	\$725.00
VYU	SNOW PLOW PREP PACKAGE	\$385.00
K05	ENGINE BLOCK HEATER	INC
—	BATTERY, HEAVY-DUTY DUAL 730 COLD-CRANKING AMPS/70 AMP-HR, MAIN	INC
KW5	ALTERNATOR, 220 AMPS	INC
NZZ	UNDERBODY SHIELD, FRAME-MOUNTED SHIELDS	INC
K40	EXHAUST BRAKE	INC
TRW	PROVISION FOR CAB ROOF-MOUNTED LAMP/BEACON	INC
DL8	MIRRORS, OUTSIDE HEATED POWER-ADJUSTABLE	INC
A91	REMOTE LOCKING TAILGATE	INC
A31	WINDOWS, POWER WITH DRIVER EXPRESS UP AND DOWN AND EXPRESS	INC
AQQ	REMOTE KEYLESS ENTRY	INC
VQ2	FLEET PROCESSING OPTION	\$0.00
<b>SPECIAL EQUIPMENT OPTIONS</b>		
8S3	BACKUP ALARM, 97 DECIBELS	\$138.00
<b>SUBTOTAL</b>		<b>\$47,298.00</b>

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# WINDOW STICKER

Advert/Adjustments	\$0.00
Destination Charge	\$1,195.00
<b>TOTAL PRICE</b>	<b>\$48,493.00</b>
Est City: mpg	
Est Highway: mpg	
Est Highway Cruising Range: mi	

Report content is based on current data version referenced. Any performance-related calculations are offered solely as guidelines. Actual unit performance will depend on your operating conditions.

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